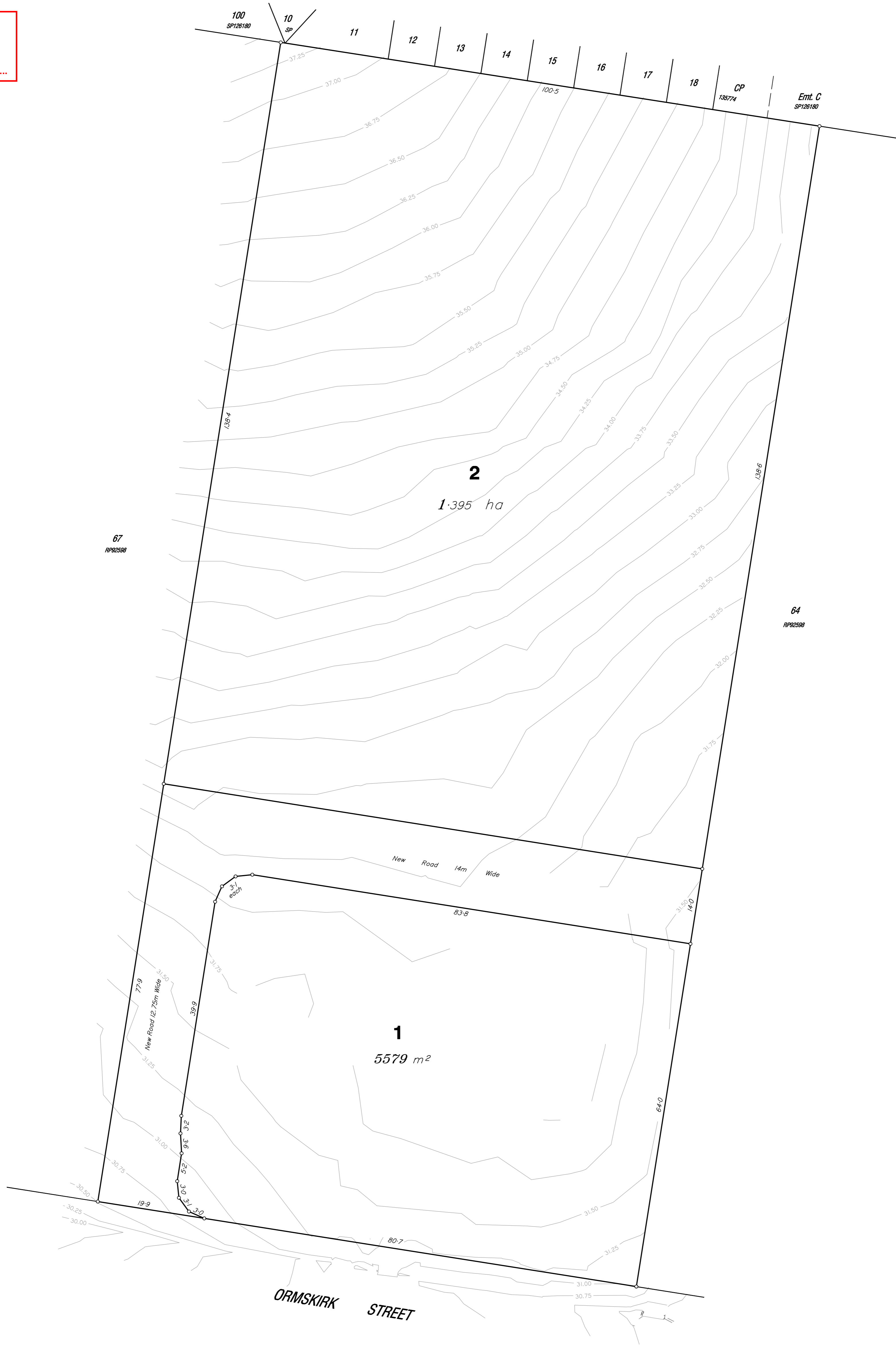
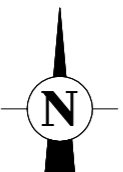


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PLANS AND DOCUMENTS referred to in the DEVELOPMENT PERMIT  
Dated: 13/11/2015



Received  
20/05/2015  
BCC DA



Scale 1:400 @ A1 - Lengths are in Metres.

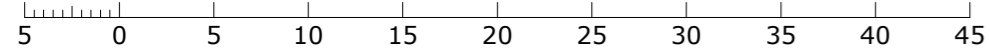



TABLE OF DEVELOPMENT	
GROSS AREA OF SUBJECT LAND.....	2.18 ha
AREA OF PROPOSED PARK AND OPEN SPACE.....	0.2258 ha
AREA OF NEW ROAD.....	166m
LENGTH OF NEW ROAD.....	1.954 ha
NET AREA OF SUBDIVISION.....	2
NUMBER OF PROPOSED LOTS.....	2
NUMBER OF EXISTING LOTS.....	2

NOTES  
1. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR SHIELD AGREEMENT BETWEEN WOLTER CONSULTING GROUP AND THE INSTRUCTING PARTY.  
2. DESIGN SUBJECT TO LOCAL AUTHORITY APPROVAL & DETAILED ENGINEERING REQUIREMENTS - AREAS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY.

Client : <b>HERAN BUILDING GROUP</b>	
R.P. Description	LOTS 65 & 66 ON RP92598
Parish	YEERONGPILLY
County	STANLEY
Date Drawn	01-09-2014

**PLAN OF RECONFIGURATION  
PROPOSED LOTS 1 & 2**  
  
**29 & 39 ORMSKIRK ROAD,  
CALAMVALE**


 LICENSED SURVEYORS TOWN PLANNERS  
 DEVELOPMENT CONSULTANTS  
 SUITE 2, LEVEL 2  
 1 BREAKFAST CREEK RD (07) 3666200  
 NEWSTEAD P.O. Box 436 F (07) 3666202  
 NEW FARM QLD 4005 E surveying@wolverconsulting.com.au  
 wolverconsulting.com.au

Reference Number: SB3079-02-C

**DEVELOPMENT SUMMARY**

**SITE AREA**.....21,787.0m<sup>2</sup>

- 3 Bed double garage 34
- 3 Bed single garage 46
- Total Townhomes 80**
- Vehicular accommodation
- Visitor Parks..... 20
- Tandem Parks..... 2
- Covered Parks.....114
- Total Vehicle Parks..... 136**
- Total Required (Ux1.25)..... 100**

**SITE CALCULATIONS:**  
80 TOWNHOMES  
GFA: 7,712.0 sqm = 35.4%

TOWNHOMES DWELLINGS	BLOCKS	UNIT
2 STOREY - DUAL OCCUPANCY.....	17	34
2 STOREY - TRIPLE OCCUPANCY.....	6	18
2 STOREY - QUAD OCCUPANCY.....	7	28
<b>TOTAL BLOCKS</b>		<b>30</b>
<b>TOTAL TOWNHOMES</b>		<b>80</b>

**OPEN SPACE SUMMARY**  
Public Open Space..... 2,639m<sup>2</sup> - 12%  
Private Courtyard Space..... 4,282m<sup>2</sup> - 20%  
**TOTAL IMPERVIOUS AREA** 12,382m<sup>2</sup> - 57%  
Including Roofs, Driveways, Roads, Parking Spaces, Paths & Pool Area

- Southport = 34
- Monterey = 12
- Coolangatta = 23
- Ashmore = 7
- Royale = 4

**KEY LEGEND**

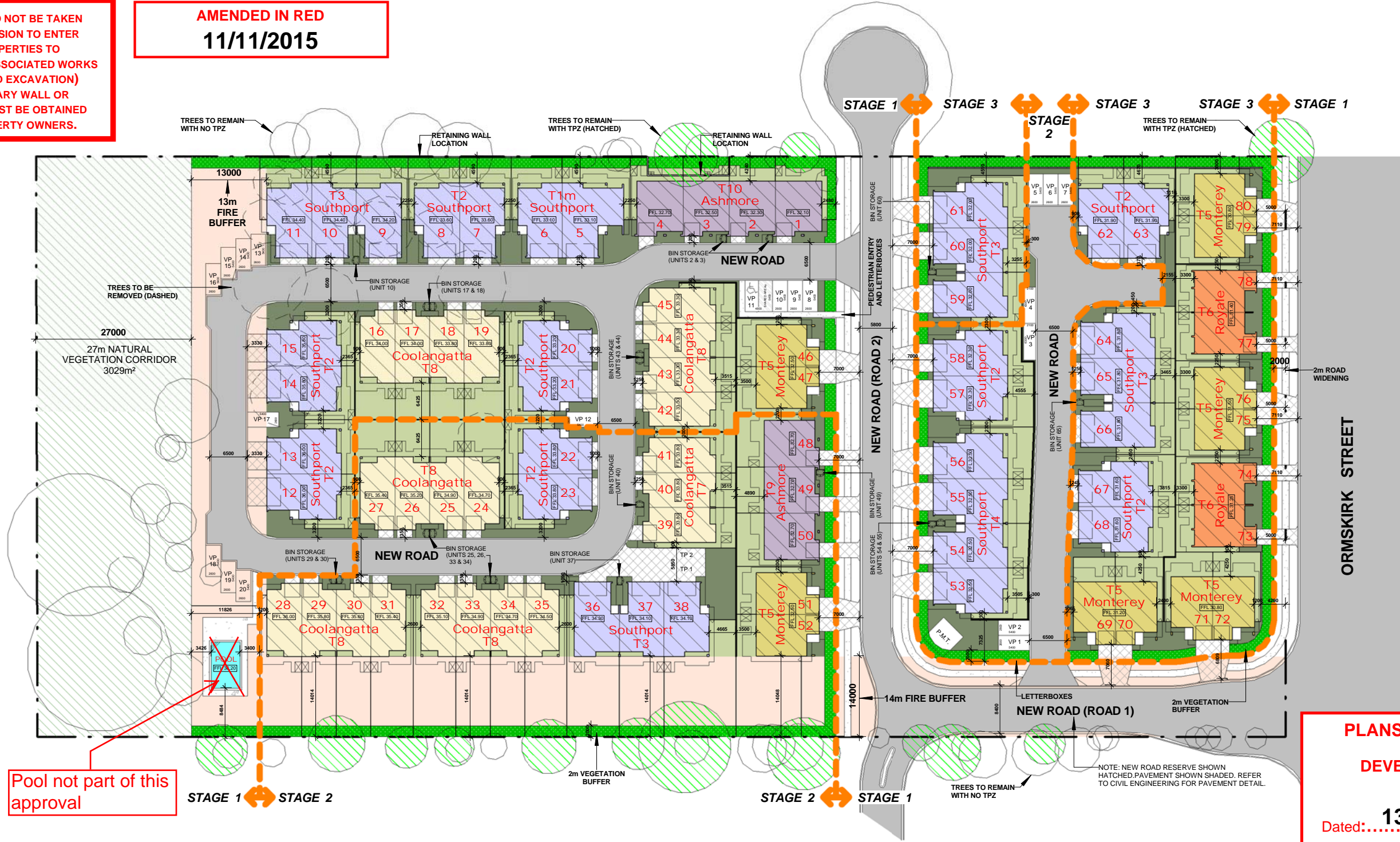
VP 1	Visitor Park (5400 x 2600) - Parallel *nominal (6300 x 2100) *end (6600 x 2100) -Disabled* (2 x 5400 x 2400)	TP 1	Tandem Park (5400 x 2600)
[Green Box]	PRIVATE COURTYARD	[Grey Line]	RETAINING WALL
[Hatched Box]	PRIVATE COURTYARD (balcony)	[Green Circle]	TPZ OF TREES TO BE RETAINED
[Dark Green Box]	COMMUNAL OPEN SPACE		
[Light Green Box]	LANDSCAPE BUFFER		

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**11/11/2015**

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**21/10/2015**  
**BCC DA**

**Tree retention must be in accordance with the approved Vegetation Management Plan**



**Pool not part of this approval**

**PLANS AND DOCUMENTS** referred to in the **DEVELOPMENT PERMIT**  
**Dated: 13/11/2015**



ABN 22 010 071 744  
DESIGNERS AND BUILDERS OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project  
**MULTIPLE DWELLING UNITS**  
Location  
29-39 ORMSKIRK STREET, CALAMVALE QLD 4116  
Client  
CANNON VIEW DEV PTY LTD

Sheet Name		
<b>SITE PLAN (OVERALL)</b>		
Scale	Drawn by	Date
1 : 750	TB & MD	OCT 2015
Project Number	Drawing Number	Revision
3250	DA-01	A



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Received  
21/10/2015  
BCC DA

- Southport = 34
- Monterey = 12
- Coolangatta = 23
- Ashmore = 7
- Royale = 4

**KEY LEGEND**

VP 1 Visitor Park (5400 x 2600)  
- Parallel \*nominal (6300 x 2100)  
- \*end (6600 x 2100)  
- \*Disabled\* (2 x 5400 x 2400)

PRIVATE COURTYARD  
PRIVATE COURTYARD (balcony)  
COMMUNAL OPEN SPACE  
LANDSCAPE BUFFER

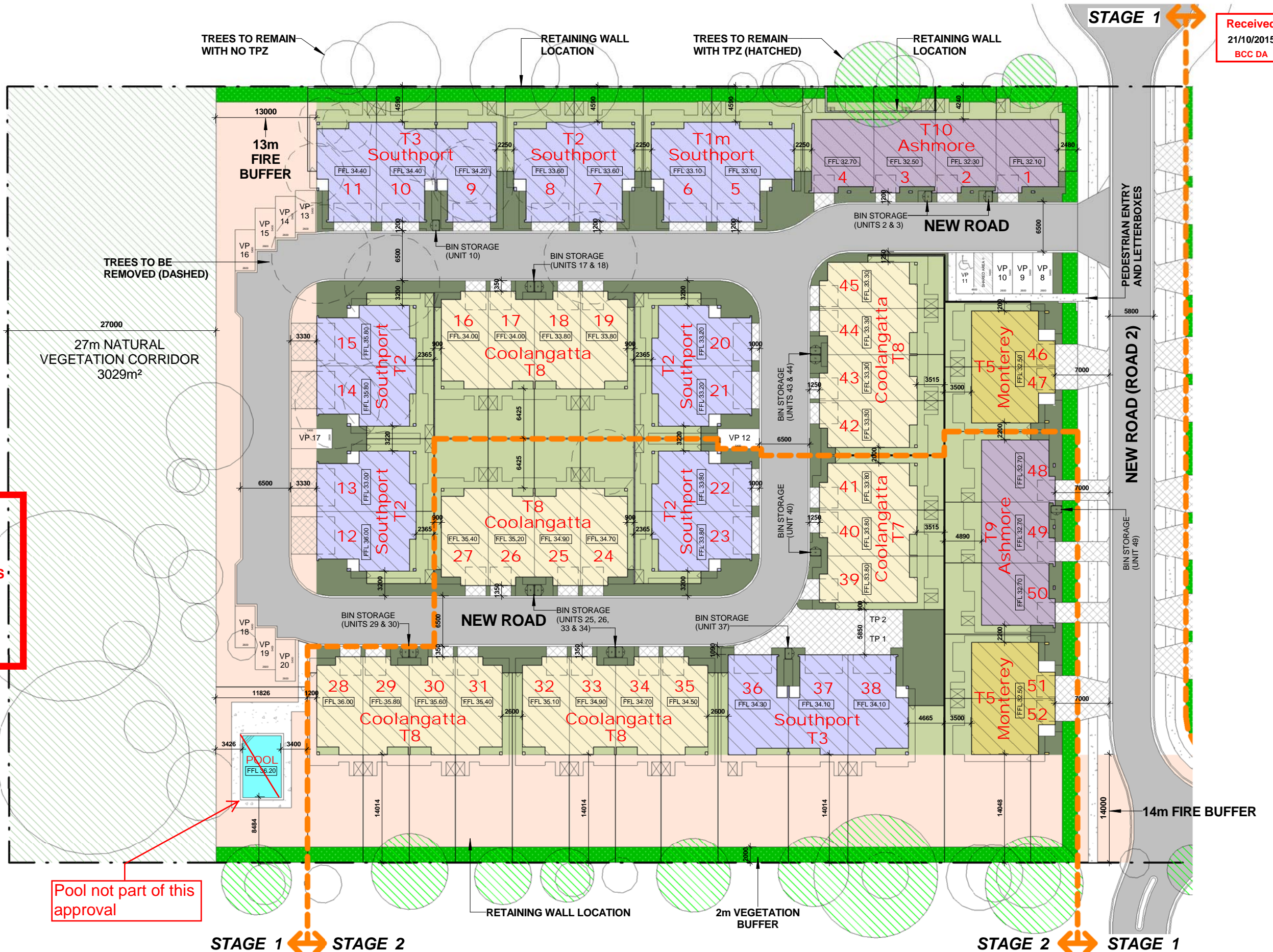
TP 1 Tandem Park (5400 x 2600)

RETAINING WALL  
TPZ OF TREES TO BE RETAINED

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Pool not part of this approval



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301/50 MARINE PARADE  
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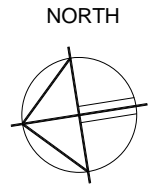
No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project  
**MULTIPLE DWELLING UNITS**

Location  
29-39 ORMSKIRK STREET, CALAMVALE QLD 4116

Client  
CANNON VIEW DEV PTY LTD

Sheet Name		
<b>SITE PLAN (NORTH)</b>		
Scale	Drawn by	Date
1 : 500	TB & MD	OCT 2015
Project Number	Drawing Number	Revision
3250	DA-02	A



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	Southport =	34
	Monterey =	12
	Coolangatta =	23
	Ashmore =	7
	Royale =	4

**KEY LEGEND**

	Visitor Park (5400 x 2600) - Parallel *nominal (6300 x 2100) *end (6600 x 2100) -Disabled* (2 x 5400 x 2400)
	PRIVATE COURTYARD
	PRIVATE COURTYARD (balcony)
	COMMUNAL OPEN SPACE
	LANDSCAPE BUFFER
	Tandem Park (5400 x 2600)
	RETAINING WALL
	TPZ OF TREES TO BE RETAINED

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Dated: **13/11/2015**



NOTE: NEW ROAD RESERVE SHOWN HATCHED. PAVEMENT SHOWN SHADED. REFER TO CIVIL ENGINEERING FOR PAVEMENT DETAIL.

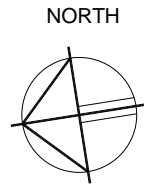


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DESIGNERS AND BUILDERS OF QUALITY HOMES EST. 1952  
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SOUTHPORT Q 4215  
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No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project  
**MULTIPLE DWELLING UNITS**  
Location  
29-39 ORMSKIRK STREET, CALAMVALE QLD 4116  
Client  
CANNON VIEW DEV PTY LTD

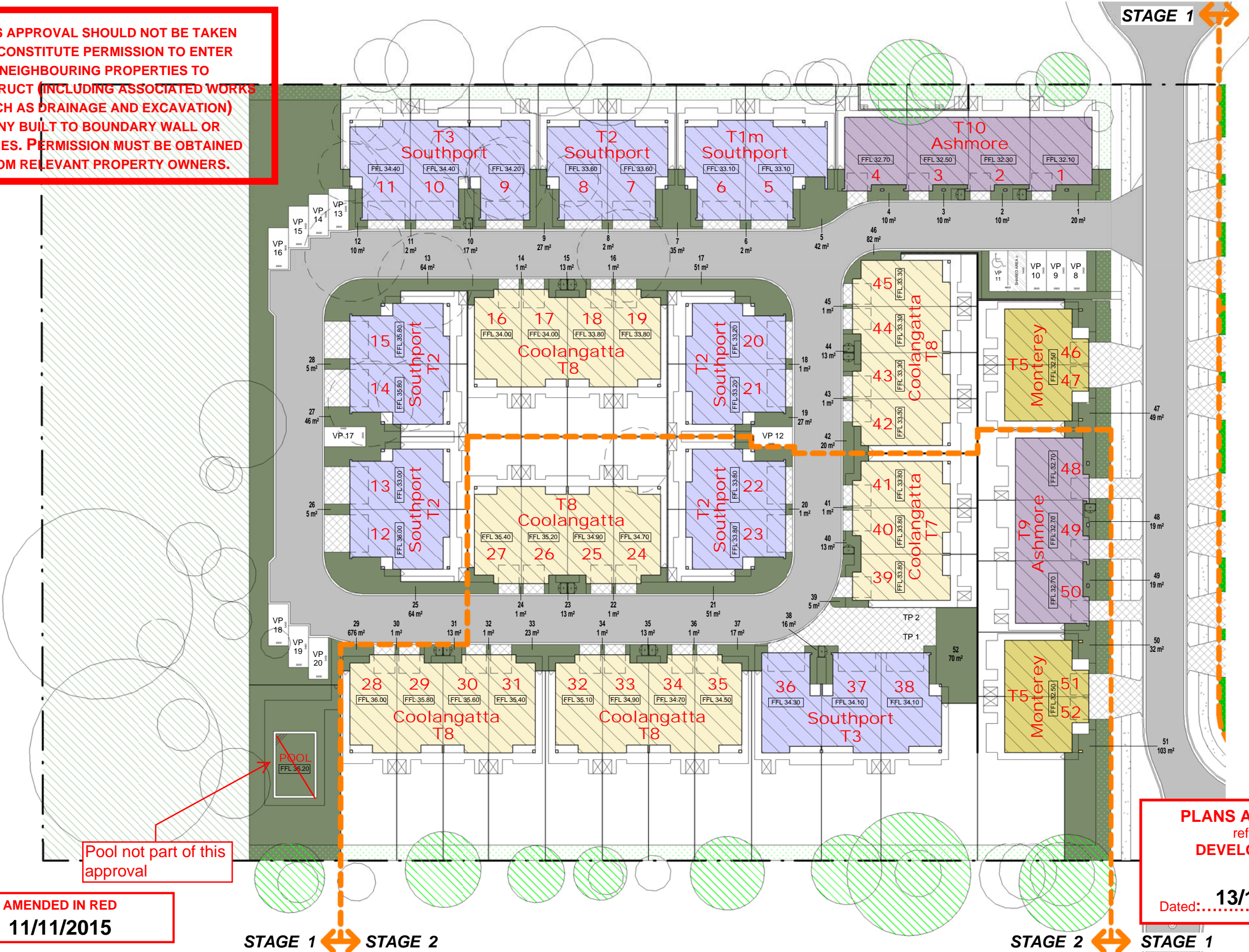
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Scale <b>1 : 500</b>	Drawn by <b>TB &amp; MD</b>	Date <b>OCT 2015</b>
Project Number <b>3250</b>	Drawing Number <b>DA-03</b>	Revision <b>A</b>



COMMUNAL OPEN SPACE

1	20 m <sup>2</sup>
2	10 m <sup>2</sup>
3	10 m <sup>2</sup>
4	10 m <sup>2</sup>
5	42 m <sup>2</sup>
6	2 m <sup>2</sup>
7	35 m <sup>2</sup>
8	2 m <sup>2</sup>
9	27 m <sup>2</sup>
10	17 m <sup>2</sup>
11	2 m <sup>2</sup>
12	10 m <sup>2</sup>
13	64 m <sup>2</sup>
14	1 m <sup>2</sup>
15	13 m <sup>2</sup>
16	1 m <sup>2</sup>
17	51 m <sup>2</sup>
18	1 m <sup>2</sup>
19	27 m <sup>2</sup>
20	1 m <sup>2</sup>
21	51 m <sup>2</sup>
22	1 m <sup>2</sup>
23	13 m <sup>2</sup>
24	1 m <sup>2</sup>
25	64 m <sup>2</sup>
26	5 m <sup>2</sup>
27	46 m <sup>2</sup>
28	5 m <sup>2</sup>
29	676 m <sup>2</sup>
30	1 m <sup>2</sup>
31	13 m <sup>2</sup>
32	1 m <sup>2</sup>
33	23 m <sup>2</sup>
34	1 m <sup>2</sup>
35	13 m <sup>2</sup>
36	1 m <sup>2</sup>
37	17 m <sup>2</sup>
38	16 m <sup>2</sup>
39	5 m <sup>2</sup>
40	13 m <sup>2</sup>
41	1 m <sup>2</sup>
42	20 m <sup>2</sup>
43	1 m <sup>2</sup>
44	13 m <sup>2</sup>
45	1 m <sup>2</sup>
46	82 m <sup>2</sup>
47	49 m <sup>2</sup>
48	19 m <sup>2</sup>
49	19 m <sup>2</sup>
50	32 m <sup>2</sup>
51	103 m <sup>2</sup>
52	70 m <sup>2</sup>
53	111 m <sup>2</sup>
54	4 m <sup>2</sup>
55	24 m <sup>2</sup>
56	4 m <sup>2</sup>
57	48 m <sup>2</sup>
58	4 m <sup>2</sup>
59	37 m <sup>2</sup>
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61	4 m <sup>2</sup>
62	164 m <sup>2</sup>
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64	53 m <sup>2</sup>
65	2 m <sup>2</sup>
66	17 m <sup>2</sup>
67	29 m <sup>2</sup>
68	2 m <sup>2</sup>
69	55 m <sup>2</sup>
70	55 m <sup>2</sup>
71	64 m <sup>2</sup>
72	41 m <sup>2</sup>
73	33 m <sup>2</sup>
74	33 m <sup>2</sup>
75	41 m <sup>2</sup>
76	33 m <sup>2</sup>
77	36 m <sup>2</sup>
2638 m <sup>2</sup>	

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11/11/2015**

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT PERMIT**  
  
Dated: **13/11/2015**

STAGE 1 ↔ STAGE 2

STAGE 2 ↔ STAGE 1

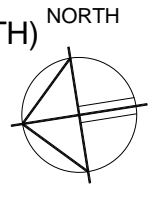


ABN 22 010 071 744  
DESIGNERS AND BUILDERS OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project  
**MULTIPLE DWELLING UNITS**  
Location  
**29-39 ORMSKIRK STREET, CALAMVALE QLD 4116**  
Client  
**CANNON VIEW DEV PTY LTD**

Sheet Name  
**COMMUNAL OPEN SPACE PLAN (NORTH)**  
Scale  
**1 : 500**  
Project Number  
**3250**  
Drawn by  
**TB & MD**  
Drawing Number  
**DA-04**  
Date  
**OCT 2015**  
Revision  
**A**



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COMMUNAL OPEN SPACE	
1	20 m <sup>2</sup>
2	10 m <sup>2</sup>
3	10 m <sup>2</sup>
4	10 m <sup>2</sup>
5	42 m <sup>2</sup>
6	2 m <sup>2</sup>
7	35 m <sup>2</sup>
8	2 m <sup>2</sup>
9	27 m <sup>2</sup>
10	17 m <sup>2</sup>
11	2 m <sup>2</sup>
12	10 m <sup>2</sup>
13	64 m <sup>2</sup>
14	1 m <sup>2</sup>
15	13 m <sup>2</sup>
16	1 m <sup>2</sup>
17	51 m <sup>2</sup>
18	1 m <sup>2</sup>
19	27 m <sup>2</sup>
20	1 m <sup>2</sup>
21	51 m <sup>2</sup>
22	1 m <sup>2</sup>
23	13 m <sup>2</sup>
24	1 m <sup>2</sup>
25	64 m <sup>2</sup>
26	5 m <sup>2</sup>
27	46 m <sup>2</sup>
28	5 m <sup>2</sup>
29	676 m <sup>2</sup>
30	1 m <sup>2</sup>
31	13 m <sup>2</sup>
32	1 m <sup>2</sup>
33	23 m <sup>2</sup>
34	1 m <sup>2</sup>
35	13 m <sup>2</sup>
36	1 m <sup>2</sup>
37	17 m <sup>2</sup>
38	16 m <sup>2</sup>
39	5 m <sup>2</sup>
40	13 m <sup>2</sup>
41	1 m <sup>2</sup>
42	20 m <sup>2</sup>
43	1 m <sup>2</sup>
44	13 m <sup>2</sup>
45	1 m <sup>2</sup>
46	82 m <sup>2</sup>
47	49 m <sup>2</sup>
48	19 m <sup>2</sup>
49	19 m <sup>2</sup>
50	32 m <sup>2</sup>
51	103 m <sup>2</sup>
52	70 m <sup>2</sup>
53	111 m <sup>2</sup>
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55	24 m <sup>2</sup>
56	4 m <sup>2</sup>
57	48 m <sup>2</sup>
58	4 m <sup>2</sup>
59	37 m <sup>2</sup>
60	25 m <sup>2</sup>
61	4 m <sup>2</sup>
62	164 m <sup>2</sup>
63	2 m <sup>2</sup>
64	53 m <sup>2</sup>
65	2 m <sup>2</sup>
66	17 m <sup>2</sup>
67	29 m <sup>2</sup>
68	2 m <sup>2</sup>
69	55 m <sup>2</sup>
70	55 m <sup>2</sup>
71	64 m <sup>2</sup>
72	41 m <sup>2</sup>
73	33 m <sup>2</sup>
74	33 m <sup>2</sup>
75	41 m <sup>2</sup>
76	33 m <sup>2</sup>
77	36 m <sup>2</sup>
	2638 m <sup>2</sup>



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**DEVELOPMENT PERMIT**

Dated: **13/11/2015**

**ORMSKIRK STREET**



ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

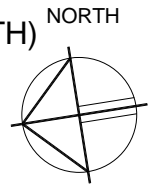
No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project  
**MULTIPLE DWELLING UNITS**

Location  
**29-39 ORMSKIRK STREET, CALAMVALE QLD 4116**

Client  
**CANNON VIEW DEV PTY LTD**

Sheet Name		
<b>COMMUNAL OPEN SPACE PLAN (SOUTH)</b>		
Scale	Drawn by	Date
<b>1 : 500</b>	<b>TB &amp; MD</b>	<b>OCT 2015</b>
Project Number	Drawing Number	Revision
<b>3250</b>	<b>DA-05</b>	<b>A</b>

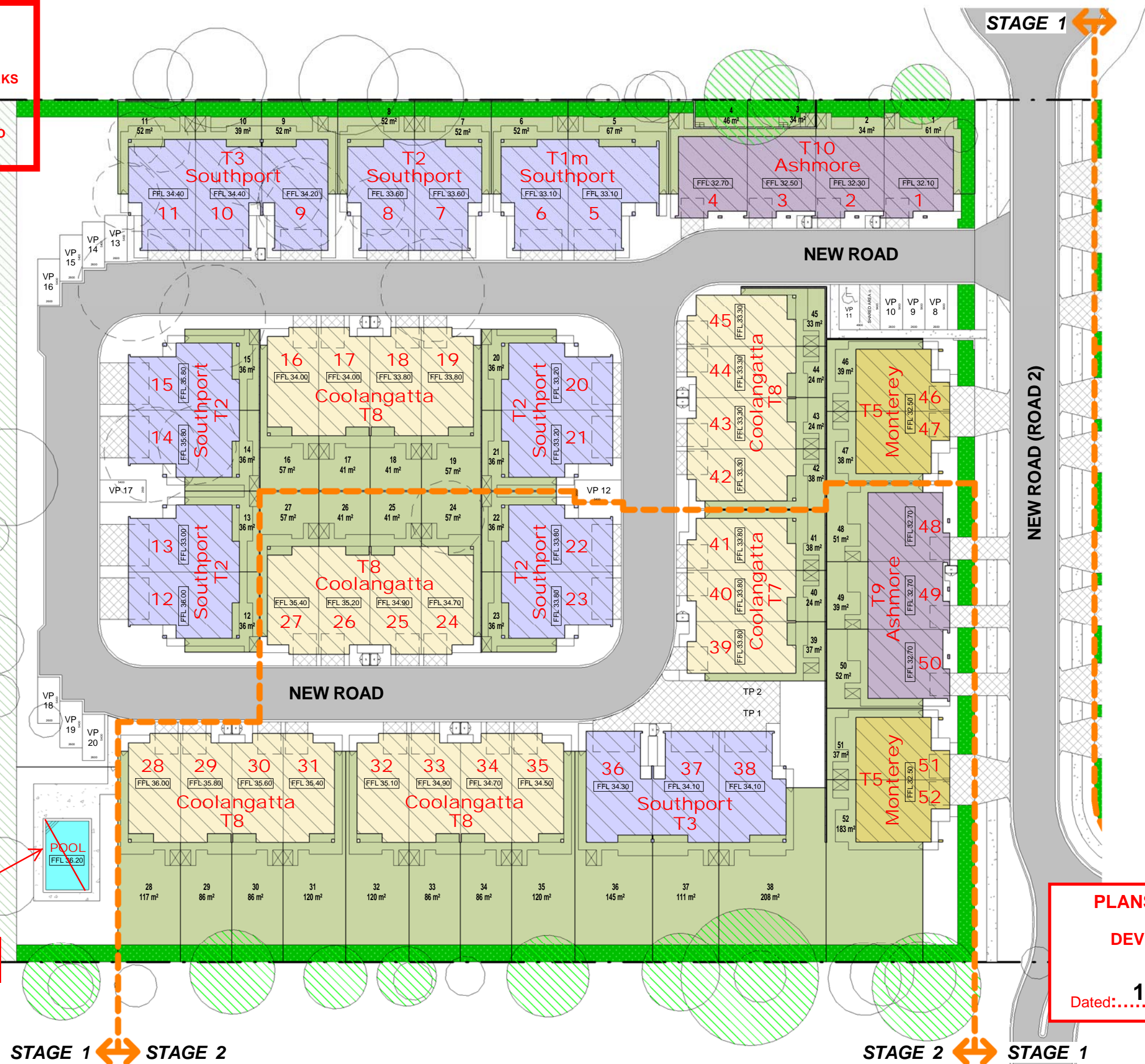


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PRIVATE COURTYARD SPACE	Area
1	61 m <sup>2</sup>
2	34 m <sup>2</sup>
3	34 m <sup>2</sup>
4	46 m <sup>2</sup>
5	67 m <sup>2</sup>
6	52 m <sup>2</sup>
7	52 m <sup>2</sup>
8	52 m <sup>2</sup>
9	52 m <sup>2</sup>
10	39 m <sup>2</sup>
11	52 m <sup>2</sup>
12	36 m <sup>2</sup>
13	36 m <sup>2</sup>
14	36 m <sup>2</sup>
15	36 m <sup>2</sup>
16	57 m <sup>2</sup>
17	41 m <sup>2</sup>
18	41 m <sup>2</sup>
19	57 m <sup>2</sup>
20	36 m <sup>2</sup>
21	36 m <sup>2</sup>
22	36 m <sup>2</sup>
23	36 m <sup>2</sup>
24	57 m <sup>2</sup>
25	41 m <sup>2</sup>
26	41 m <sup>2</sup>
27	57 m <sup>2</sup>
28	117 m <sup>2</sup>
29	86 m <sup>2</sup>
30	86 m <sup>2</sup>
31	120 m <sup>2</sup>
32	120 m <sup>2</sup>
33	86 m <sup>2</sup>
34	86 m <sup>2</sup>
35	120 m <sup>2</sup>
36	145 m <sup>2</sup>
37	111 m <sup>2</sup>
38	208 m <sup>2</sup>
39	37 m <sup>2</sup>
40	24 m <sup>2</sup>
41	38 m <sup>2</sup>
42	38 m <sup>2</sup>
43	24 m <sup>2</sup>
44	24 m <sup>2</sup>
45	33 m <sup>2</sup>
46	39 m <sup>2</sup>
47	38 m <sup>2</sup>
48	51 m <sup>2</sup>
49	39 m <sup>2</sup>
50	52 m <sup>2</sup>
51	37 m <sup>2</sup>
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65	30 m <sup>2</sup>
66	43 m <sup>2</sup>
67	46 m <sup>2</sup>
68	43 m <sup>2</sup>
69	31 m <sup>2</sup>
70	44 m <sup>2</sup>
71	43 m <sup>2</sup>
72	45 m <sup>2</sup>
73	34 m <sup>2</sup>
74	36 m <sup>2</sup>
75	36 m <sup>2</sup>
76	36 m <sup>2</sup>
77	36 m <sup>2</sup>
78	36 m <sup>2</sup>
79	36 m <sup>2</sup>
80	57 m <sup>2</sup>
4282	m <sup>2</sup>



Pool not part of this approval

**AMENDED IN RED**  
**11/11/2015**

**PLANS AND DOCUMENTS**  
referred to in the  
**DEVELOPMENT PERMIT**  
  
Dated: **13/11/2015**

STAGE 1 ↔ STAGE 2

STAGE 2 ↔ STAGE 1

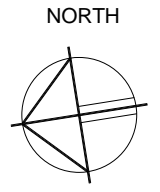


ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
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301/50 MARINE PARADE  
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P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project  
**MULTIPLE DWELLING UNITS**  
Location  
29-39 ORMSKIRK STREET, CALAMVALE QLD 4116  
Client  
CANNON VIEW DEV PTY LTD

Sheet Name  
**PRIVATE COURTYARD PLAN (NORTH)**  
Scale  
**1 : 500**  
Project Number  
**3250**  
Drawn by  
**TB & MD**  
Drawing Number  
**DA-06**  
Date  
**OCT 2015**  
Revision  
**A**



S:\Town House Developments\ Current\Ormskirk Street 29, CALAMVALE\05 - DA\SITE PLANS\29-39 ORMSKIRK ST\_SITE PLANS.rvt

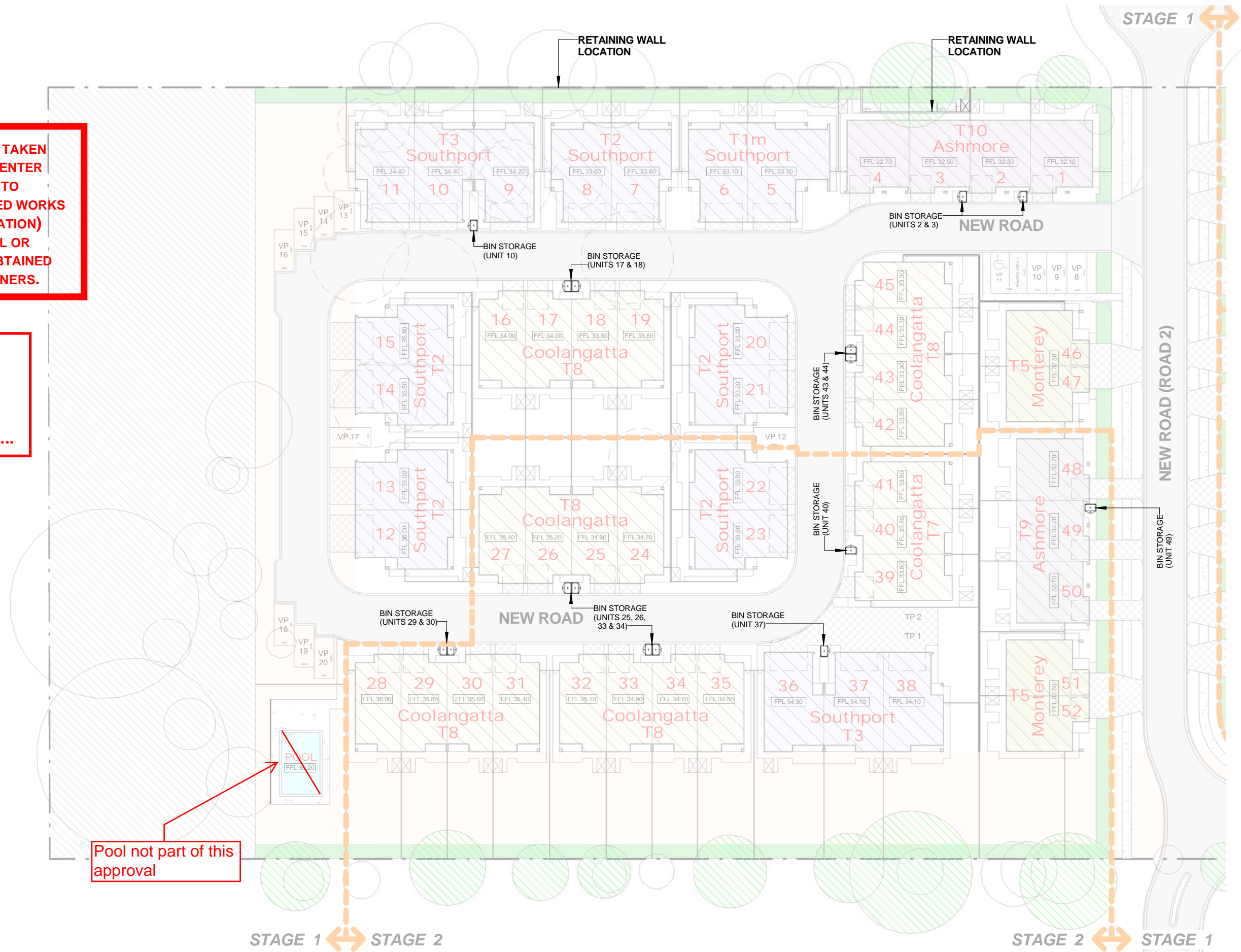


NOTE:  
ALL BIN COLLECTION TO  
BE TAKEN FROM DRIVEWAY  
KERB FROM ALL UNITS

**THIS APPROVAL SHOULD NOT BE TAKEN  
TO CONSTITUTE PERMISSION TO ENTER  
NEIGHBOURING PROPERTIES TO  
CONSTRUCT (INCLUDING ASSOCIATED WORKS  
SUCH AS DRAINAGE AND EXCAVATION)  
ANY BUILT TO BOUNDARY WALL OR  
FENCES. PERMISSION MUST BE OBTAINED  
FROM RELEVANT PROPERTY OWNERS.**

**PLANS AND DOCUMENTS**  
referred to in the  
**DEVELOPMENT PERMIT**

Dated: **13/11/2015**



Pool not part of this approval

**AMENDED IN RED**  
**11/11/2015**

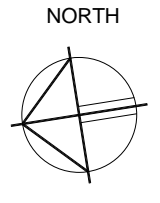
No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project	MULTIPLE DWELLING UNITS
Location	29-39 ORMSKIRK STREET, CALAMVALE QLD 4116
Client	CANNON VIEW DEV PTY LTD
Project	S:\Town House Developments\ Current\Ormskirk Street 29, CALAMVALE\05 - DA\SITE PLANS\29-39 ORMSKIRK ST_SITE PLANS.rvt

Sheet Name	WASTE MANAGEMENT PLAN (NORTH)		
Scale	1 : 500	Drawn by	TB & MD
Project Number	3250	Drawing Number	DA-08
Date	OCT 2015	Revision	A



ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

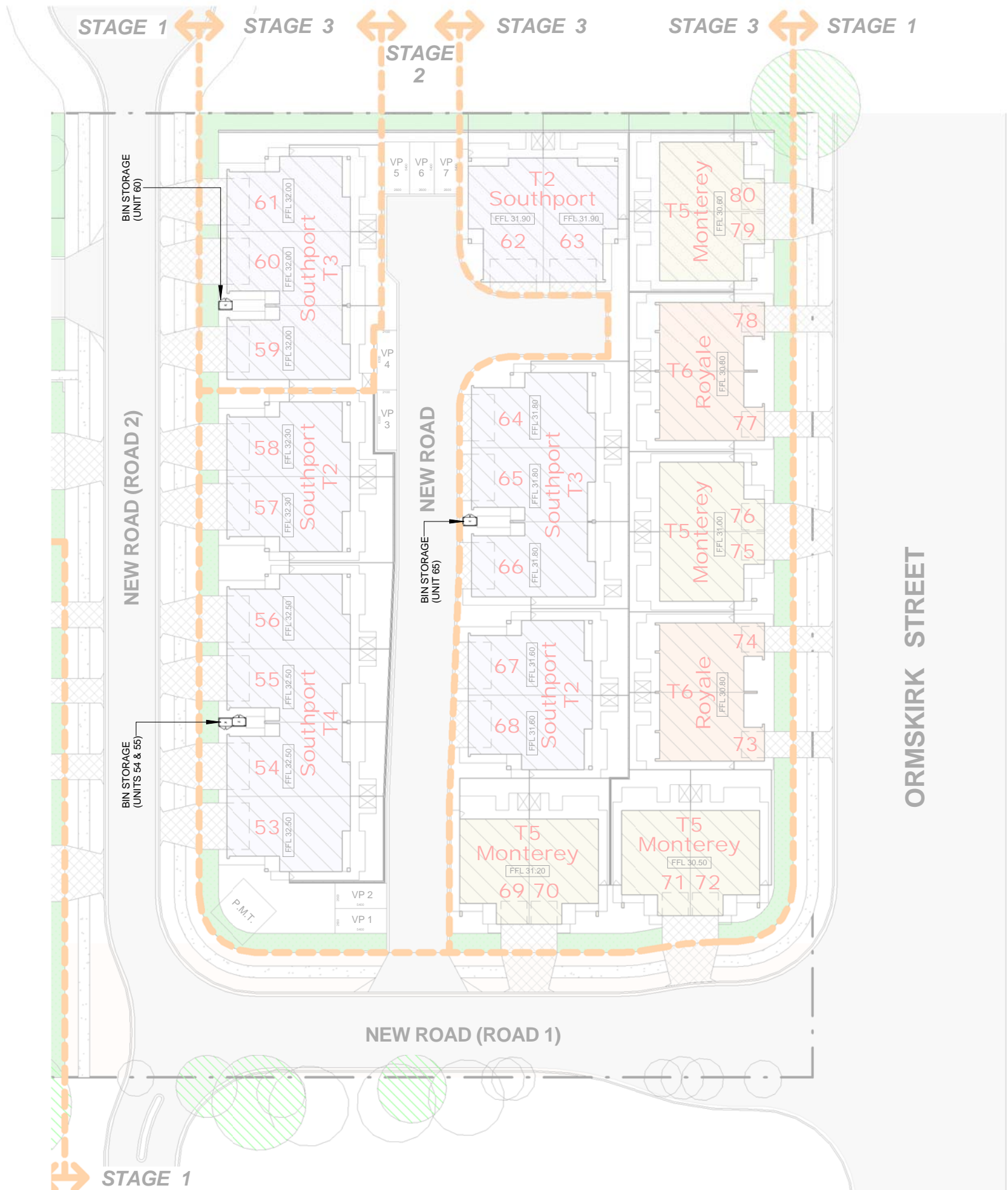


NOTE:  
ALL BIN COLLECTION TO  
BE TAKEN FROM DRIVEWAY  
KERB FROM ALL UNITS

**THIS APPROVAL SHOULD NOT BE TAKEN  
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**PLANS AND DOCUMENTS**  
referred to in the  
**DEVELOPMENT PERMIT**

Dated: **13/11/2015**



ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project  
**MULTIPLE DWELLING UNITS**

Location  
**29-39 ORMSKIRK STREET, CALAMVALE QLD 4116**

Client  
**CANNON VIEW DEV PTY LTD**

Sheet Name  
**WASTE MANAGEMENT PLAN (SOUTH)**

Scale  
**1 : 500**

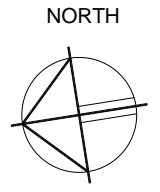
Project Number  
**3250**




Drawn by  
**TB & MD**

Drawing Number  
**DA-09**

Date  
**OCT 2015**

Revision  
**A**



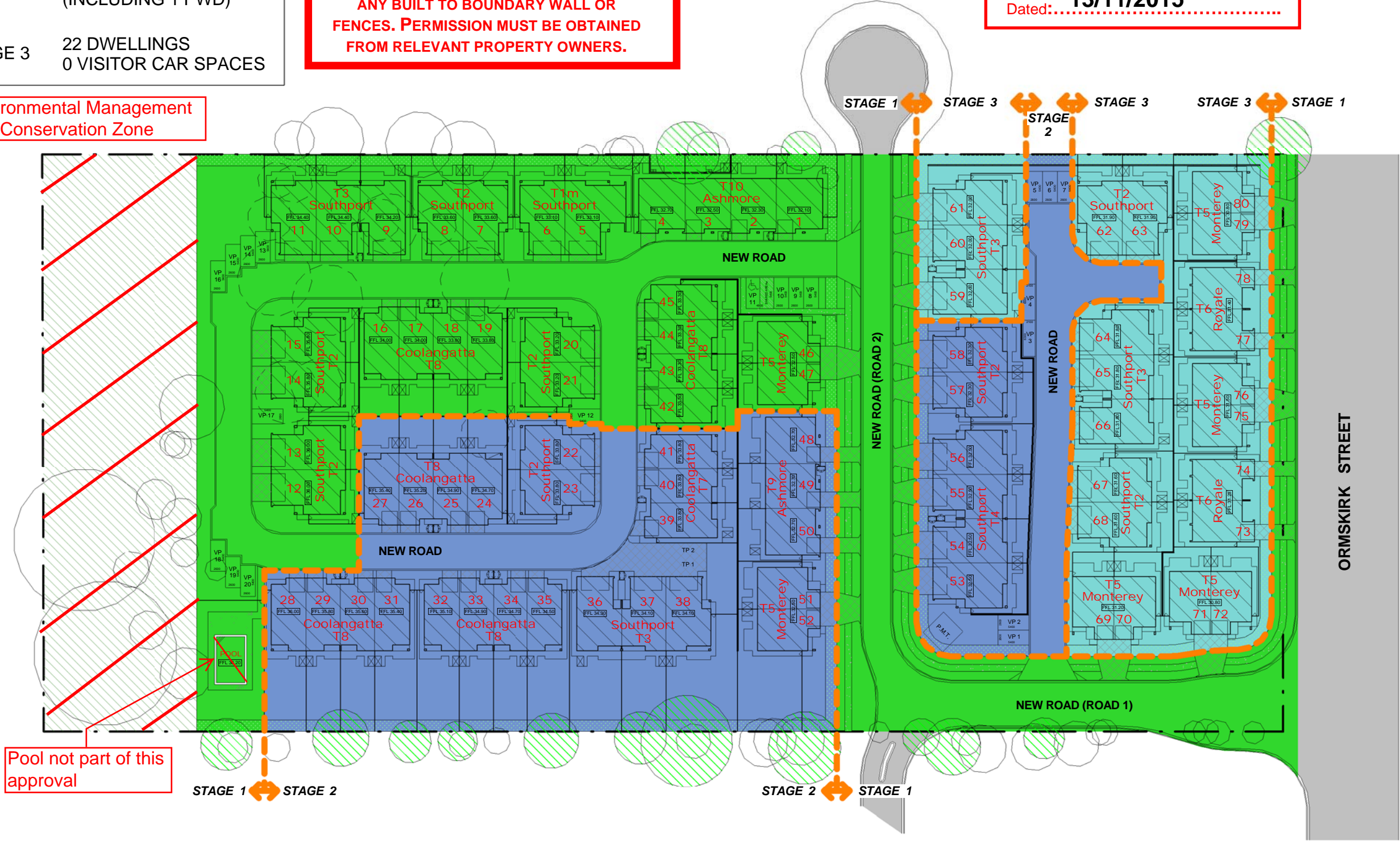
	STAGE 1	27 DWELLINGS 12 VISITOR CAR SPACES
	STAGE 2	31 DWELLINGS 7 VISITOR CAR SPACES (INCLUDING 1 PWD)
	STAGE 3	22 DWELLINGS 0 VISITOR CAR SPACES

**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**

**AMENDED IN RED  
11/11/2015**

**PLANS AND DOCUMENTS**  
referred to in the  
**DEVELOPMENT PERMIT**  
Dated: **13/11/2015**

 Environmental Management and Conservation Zone



**HERAN**  
BUILDING GROUP PTY. LTD.

ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

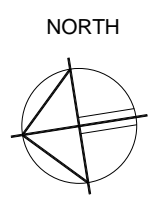
Project  
**MULTIPLE DWELLING UNITS**

Location  
29-39 ORMSKIRK STREET, CALAMVALE QLD 4116

Client  
CANNON VIEW DEV PTY LTD

Sheet Name		
<b>STAGING PLAN</b>		
Scale	Drawn by	Date
1 : 750	TB & MD	OCT 2015
Project Number	Drawing Number	Revision
3250	DA-10	A

S:\Town House Developments\ Current\Ormskirk Street 29, CALAMVALE\05 - DA\SITE PLANS\29-39 ORMSKIRK ST\_SITE PLANS.rvt





**1** ORMSKIRK STREET (OVERVIEW)  
DA-11 SCALE - 1 : 300

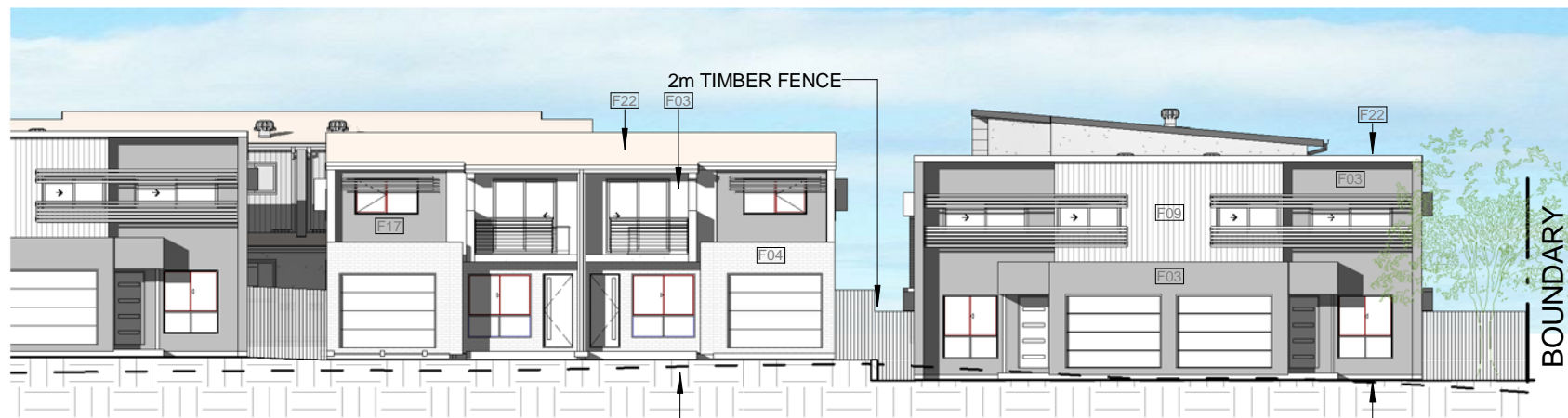
**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**



**2** ORMSKIRK STREET (LEFT)  
DA-11 SCALE - 1 : 200

**PLANS AND DOCUMENTS** referred to in the **DEVELOPMENT PERMIT**  
  
Dated: **13/11/2015**

KEYNOTE LEGEND	
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F04	BRICKWORK WITH RENDER FINISH (COLOUR 2)
F08	SCYON STRIA CLADDING
F09	SCYON AXON CLADDING
F10	SCYON MATRIX CLADDING
F11	COLORBOND CUSTOM ORB SHEET WALL CLADDING
F14	HARDIES LINEA BOARDING
F17	PAINTED (COLOUR 1) F.C. CLADDING
F20	CONCRETE ROOF TILES (AS SELECTED)
F21	COLORBOND CUSTOM ORB METAL ROOF SHEETING (AS SELECTED)
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F29	AWNING (NRG BOARD)



**3** ORMSKIRK STREET (RIGHT)  
DA-11 SCALE - 1 : 200



ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project  
**MULTIPLE DWELLING UNITS**  
Location  
**29-39 ORMSKIRK STREET, CALAMVALE QLD 4116**  
Client  
**CANNON VIEW DEV PTY LTD**

Sheet Name  
**STREETScape PLAN (ORMSKIRK ST)**  
Scale  
**As indicated**  
Project Number  
**3250**  
Drawn by  
**TB & MD**  
Drawing Number  
**DA-11**  
Date  
**OCT 2015**  
Revision  
**A**

**AMENDED IN RED**  
**12/11/2015**



**1 EAST ELEVATION (OVERALL)**  
DA-12 SCALE - 1 : 500

Where any windows of habitable rooms of the proposed dwelling(s) are within 2m at ground floor level or 9m above ground floor level of adjoining neighbourings' windows to habitable rooms, provide suitable screening in accordance with the conditions of approval

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**2 EAST ELEVATION (LEFT)**  
DA-12 SCALE - 1 : 200



**3 EAST ELEVATION (MIDDLE)**  
DA-12 SCALE - 1 : 200



**4 EAST ELEVATION (RIGHT)**  
DA-12 SCALE - 1 : 200

KEYNOTE LEGEND	
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F04	BRICKWORK WITH RENDER FINISH (COLOUR 2)
F08	SCYON STRIA CLADDING
F09	SCYON AXON CLADDING
F10	SCYON MATRIX CLADDING
F11	COLORBOND CUSTOM ORB SHEET WALL CLADDING
F14	HARDIES LINEA BOARDING
F17	PAINTED (COLOUR 1) F.C. CLADDING
F20	CONCRETE ROOF TILES (AS SELECTED)
F21	COLORBOND CUSTOM ORB METAL ROOF SHEETING (AS SELECTED)
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F29	AWNING (NRG BOARD)



ABN 22 010 071 744  
DESIGNERS AND BUILDERS OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT PERMIT**  
**Dated: 13/11/2015**

Project  
**MULTIPLE DWELLING UNITS**  
Location  
29-39 ORMSKIRK STREET, CALAMVALE QLD 4116  
Client  
CANNON VIEW DEV PTY LTD

Sheet Name  
**STREETSCAPE PLAN (EAST ELEVATION)**  
Scale  
**As indicated**  
Project Number  
**3250**  
Drawn by  
**TB & MD**  
Drawing Number  
**DA-12**  
Date  
**OCT 2015**  
Revision  
**A**



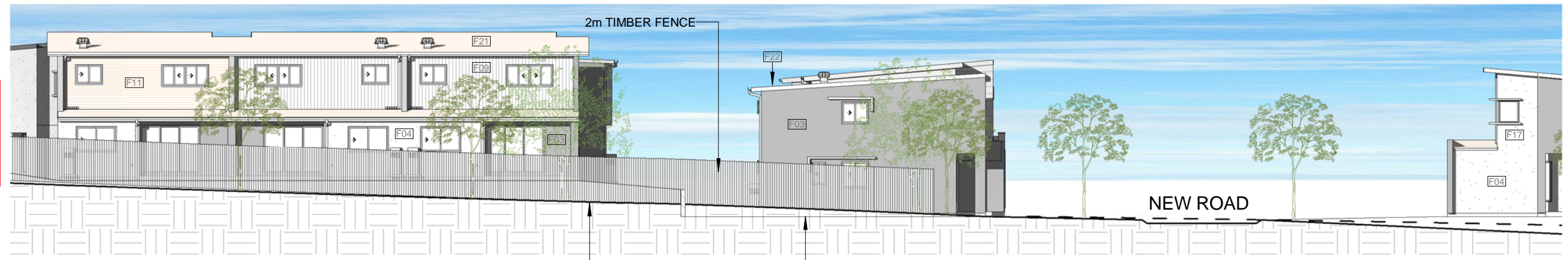
**1** WEST ELEVATION (OVERALL)  
DA-13 SCALE - 1 : 500

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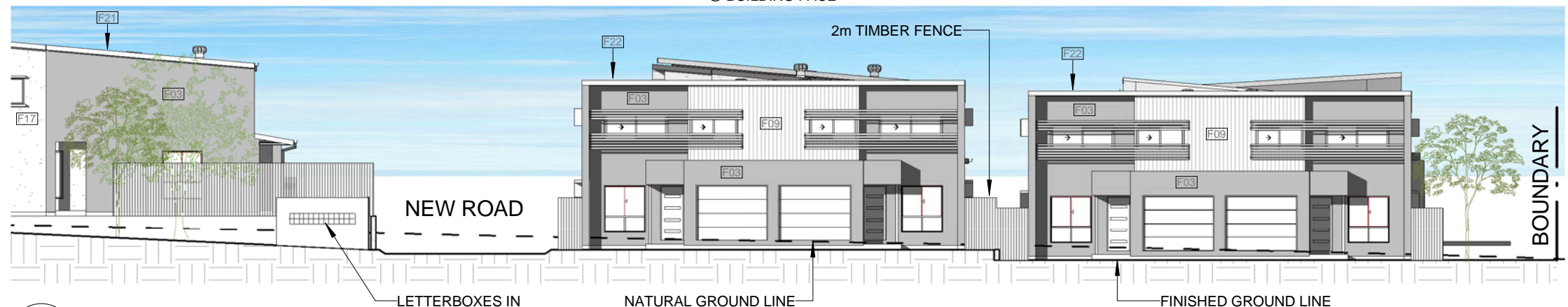
**2** WEST ELEVATION (LEFT)  
DA-13 SCALE - 1 : 200

**PLANS AND DOCUMENTS** referred to in the **DEVELOPMENT PERMIT**  
Dated: **13/11/2015**



**3** WEST ELEVATION (MIDDLE)  
DA-13 SCALE - 1 : 200

KEYNOTE LEGEND	
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F04	BRICKWORK WITH RENDER FINISH (COLOUR 2)
F08	SCYON STRIA CLADDING
F09	SCYON AXON CLADDING
F10	SCYON MATRIX CLADDING
F11	COLORBOND CUSTOM ORB SHEET WALL CLADDING
F14	HARDIES LINEA BOARDING
F17	PAINTED (COLOUR 1) F.C. CLADDING
F20	CONCRETE ROOF TILES (AS SELECTED)
F21	COLORBOND CUSTOM ORB METAL ROOF SHEETING (AS SELECTED)
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F29	AWNING (NRG BOARD)



**4** WEST ELEVATION (RIGHT)  
DA-13 SCALE - 1 : 200

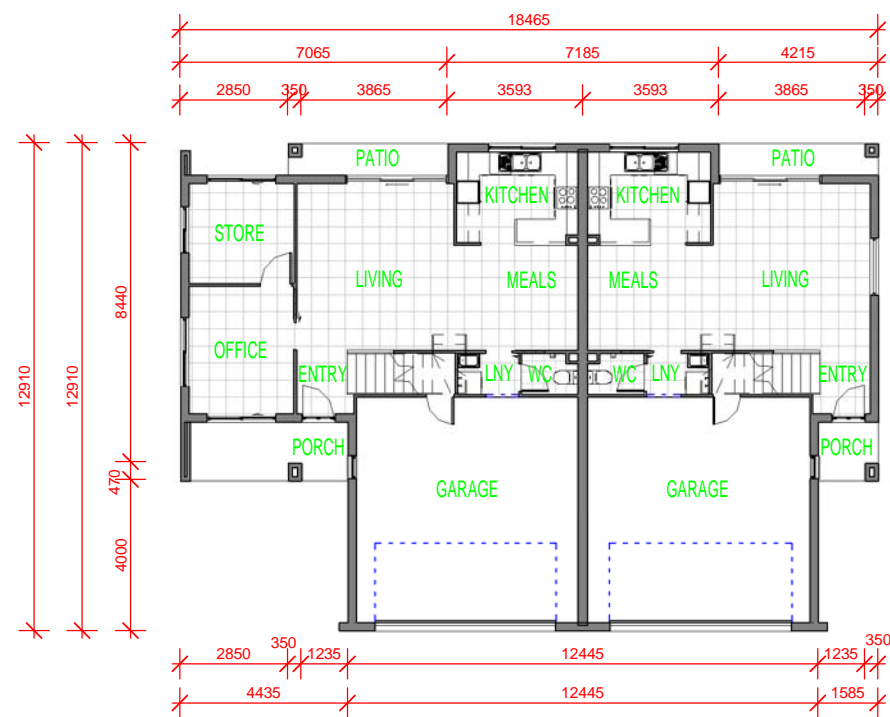


ABN 22 010 071 744  
DESIGNERS AND BUILDERS OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE SOUTHPORT Q 4215  
P. 07 5528 0111 F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	01.10.2015

Project  
**MULTIPLE DWELLING UNITS**  
Location  
29-39 ORMSKIRK STREET, CALAMVALE QLD 4116  
Client  
CANNON VIEW DEV PTY LTD

Sheet Name  
**STREETSCAPE PLAN (WEST ELEVATION)**  
Scale  
**As indicated**  
Project Number  
**3250**  
Drawn by  
**TB & MD**  
Drawing Number  
**DA-13**  
Date  
**OCT 2015**  
Revision  
**A**



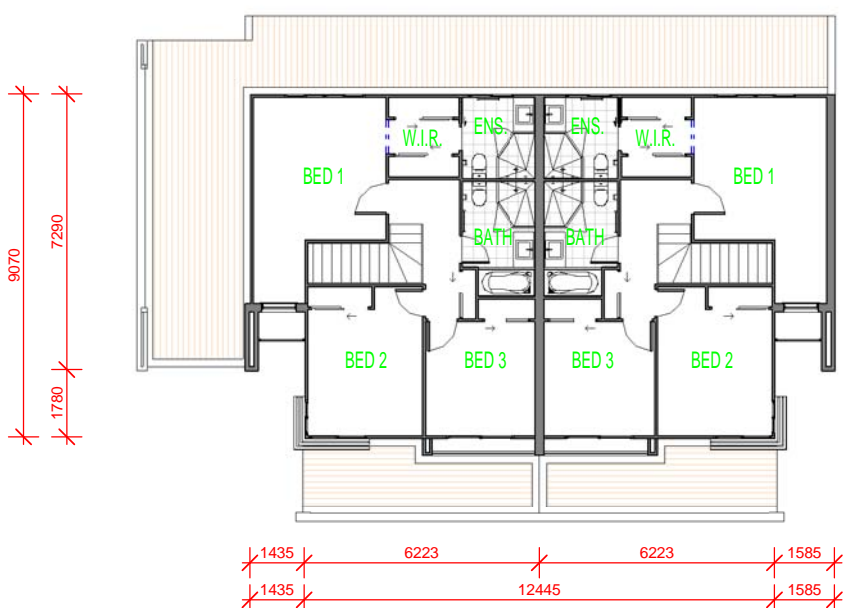
**1** GROUND FLOOR PLAN (1-200)  
DA-14 SCALE - 1 : 200

**TYPE T1**  
**GFA 212.3 m<sup>2</sup>**  
**Site Cover 209.9 m<sup>2</sup>**

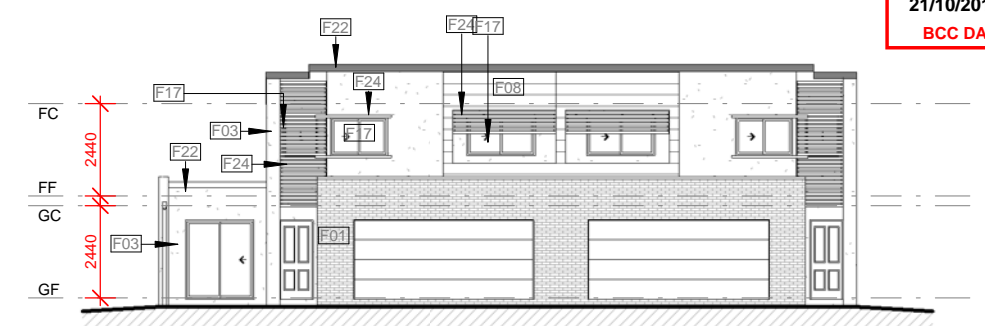
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**PLANS AND DOCUMENTS** referred to in the **DEVELOPMENT PERMIT**  
Dated: **13/11/2015**

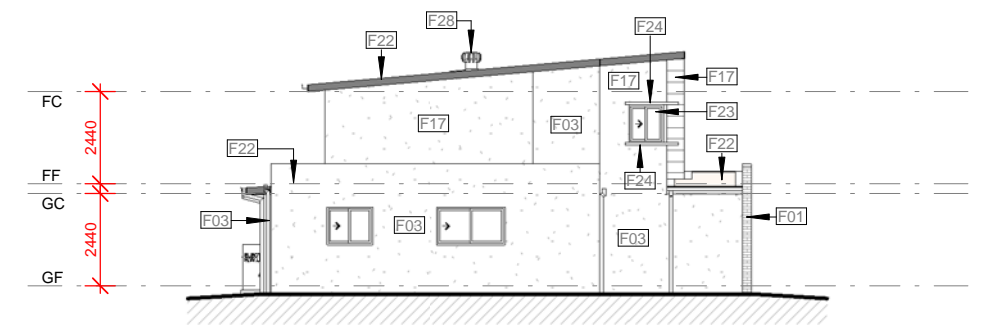
EXTERNAL FINISHES	
F01	FACE BRICKWORK (AS SELECTED)
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F08	SCYON STRIA CLADDING
F17	PAINTED (COLOUR 1) F.C. CLADDING
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F23	ALUMINIUM FRAMED GLAZING
F24	ALUMINIUM SHADING SCREEN
F25	ALUMINIUM FRAMED MECH VENTILATED SKYLIGHT WINDOW
F28	WHIRLY BIRD VENTILATOR



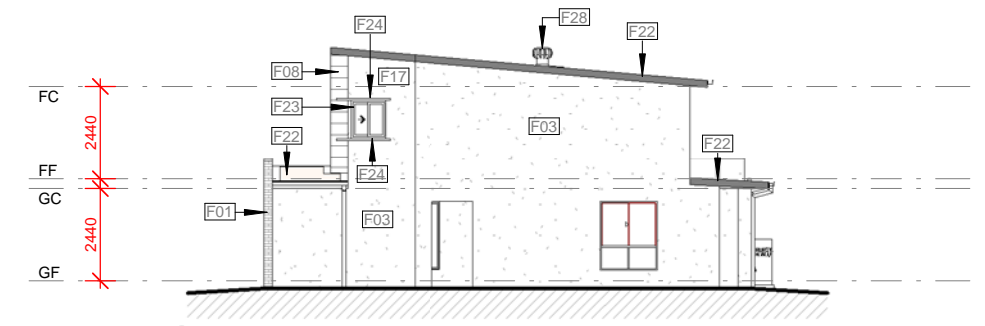
**2** FIRST FLOOR PLAN (1-200)  
DA-14 SCALE - 1 : 200



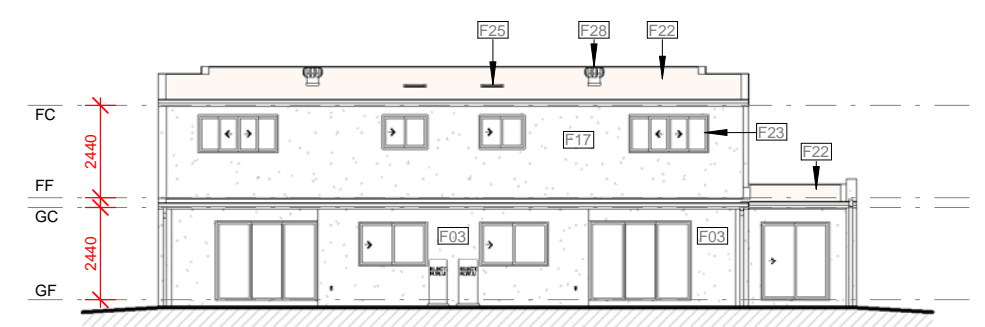
**3** 1/200 FRONT ELEVATION  
DA-14 SCALE - 1 : 200



**4** 1/200 LEFT ELEVATION  
DA-14 SCALE - 1 : 200



**5** 1/200 RIGHT ELEVATION  
DA-14 SCALE - 1 : 200



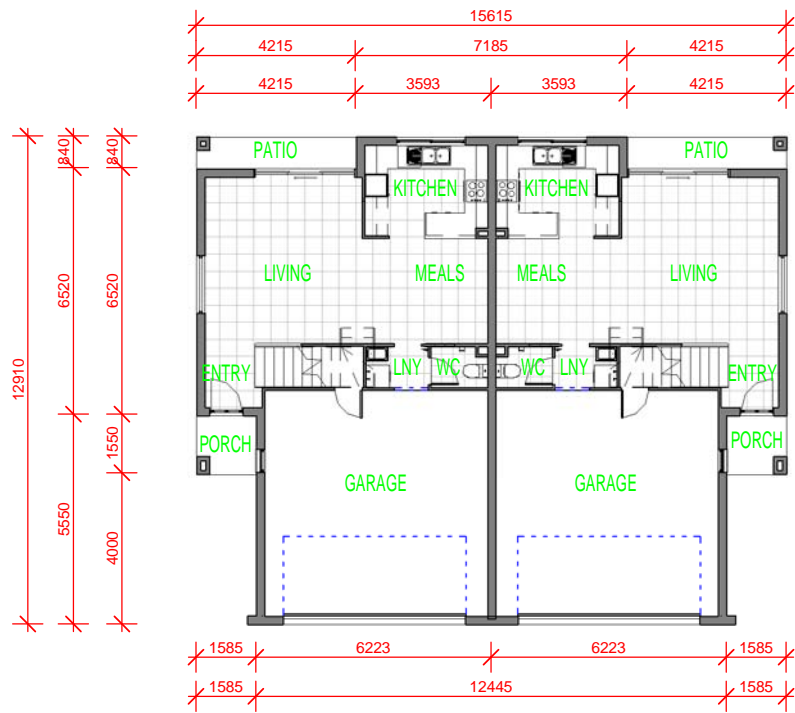
**6** 1/200 REAR ELEVATION  
DA-14 SCALE - 1 : 200



ABN 22 010 071 744  
DESIGNERS AND BUILDERS OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE SOUTHPORT Q 4215  
P. 07 5528 0111 F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	13.10.2015

Project	Unit Type	Sheet Name
TOWNHOMES & LOTS	T1m-SOUTHPORT Manager Duplex Modern	DA SHEET
Location	Unit Number	Scale
29 ORMSKIRK STREET, CALAMVALE	UNIT 5-6	1 : 200
Client	Drawing Number	Date
CANNON VIEW DEV PTY LTD	DA-14	13.10.2015
Project Number	Drawing Number	Revision
3250	DA-14	A



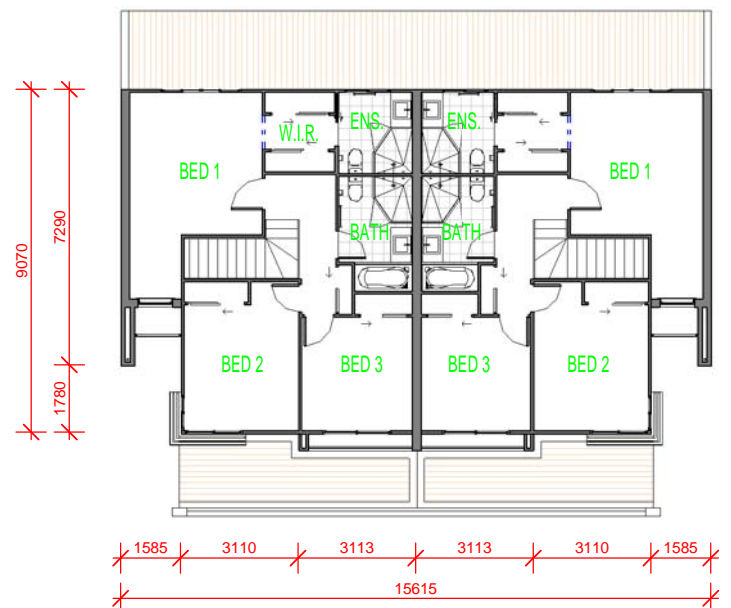
**1** GROUND FLOOR PLAN (1-200)  
DA-15 SCALE - 1 : 200

**TYPE T2**  
GFA **196.5 m<sup>2</sup>**  
Site Cover **189.0 m<sup>2</sup>**

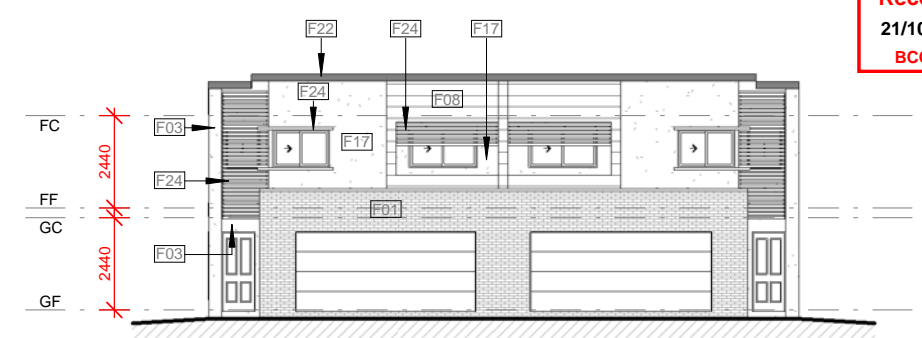
**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**

**PLANS AND DOCUMENTS** referred to in the **DEVELOPMENT PERMIT**  
Dated: **13/11/2015**

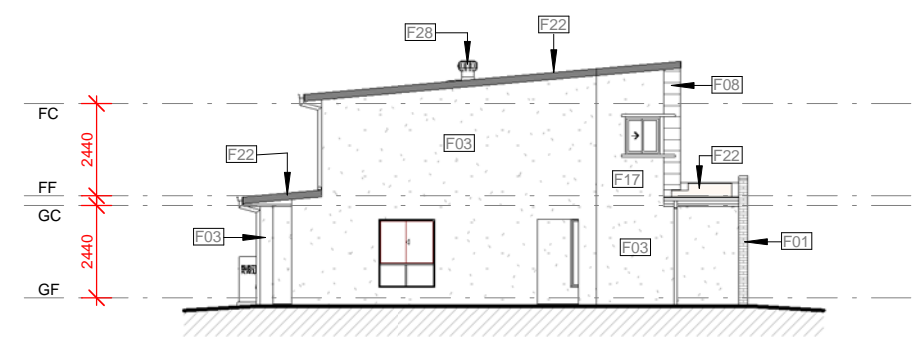
EXTERNAL FINISHES	
F01	FACE BRICKWORK (AS SELECTED)
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F08	SCYON STRIA CLADDING
F17	PAINTED (COLOUR 1) F.C. CLADDING
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F23	ALUMINIUM FRAMED GLAZING
F24	ALUMINIUM SHADING SCREEN
F25	ALUMINIUM FRAMED MECH VENTILATED SKYLIGHT WINDOW
F28	WHIRLY BIRD VENTILATOR



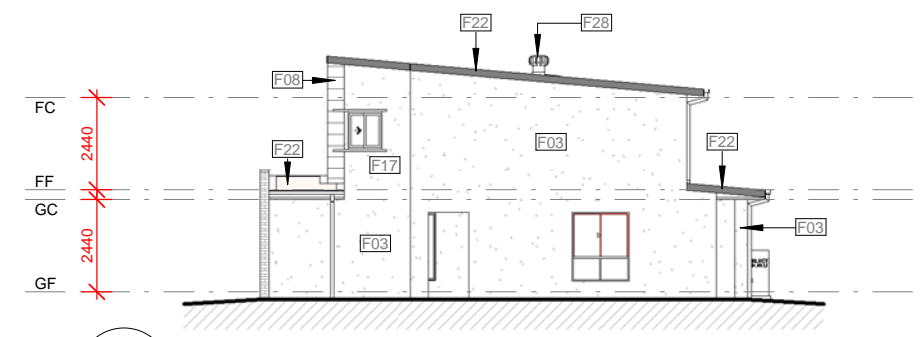
**2** FIRST FLOOR PLAN (1-200)  
DA-15 SCALE - 1 : 200



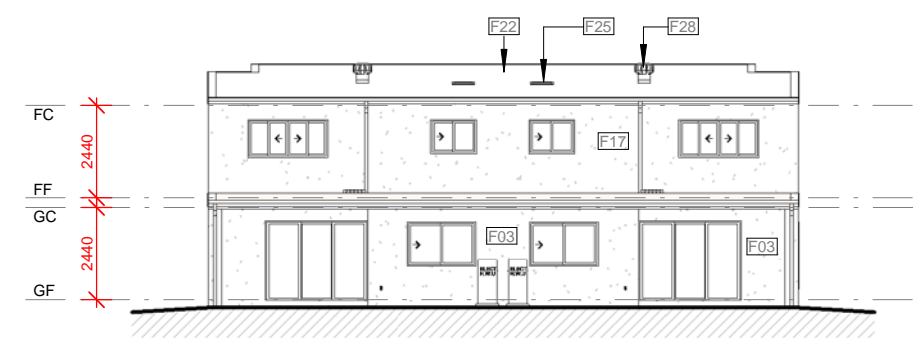
**3** 1/200 FRONT ELEVATION  
DA-15 SCALE - 1 : 200



**4** 1/200 LEFT ELEVATION  
DA-15 SCALE - 1 : 200



**5** 1/200 RIGHT ELEVATION  
DA-15 SCALE - 1 : 200



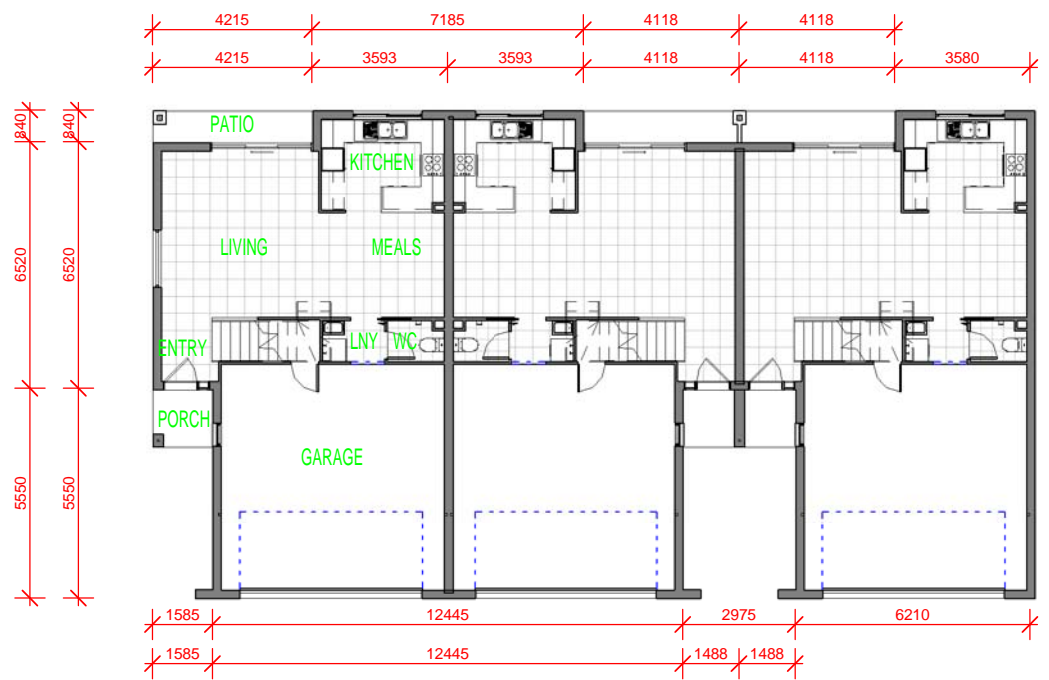
**6** 1/200 REAR ELEVATION  
DA-15 SCALE - 1 : 200



ABN 22 010 071 744  
DESIGNERS AND BUILDERS OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	12.10.2015

Project	Unit Type	Sheet Name		
TOWNHOMES & LOTS	T2-SOUTHPORT Duplex Modern	DA SHEET		
Location	Unit Number	Scale	Drawn by	Date
29 ORMSKIRK STREET, CALAMVALE	UNIT 7-8, 12-15, 20-23, 57-58, 62-53, 67-68	1 : 200	MD	12.10.2015
Client	Project Number	Drawing Number	Revision	
CANNON VIEW DEV No2 PTY LTD	3250	DA-15	A	



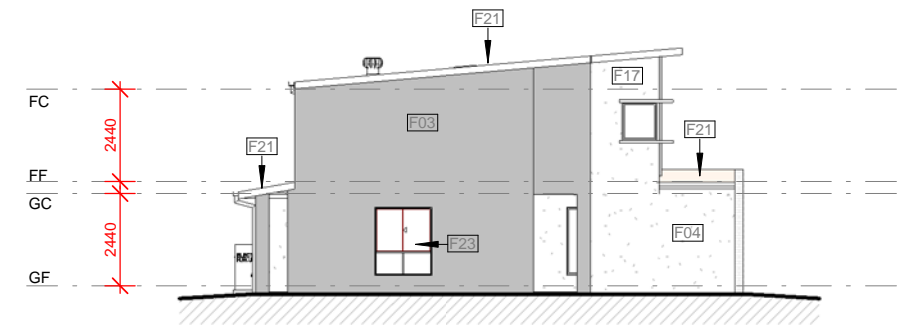
**1** GROUND FLOOR PLAN (1-200)  
DA-16 SCALE - 1 : 200

**TYPE T3**  
**GFA 294.0 m<sup>2</sup>**

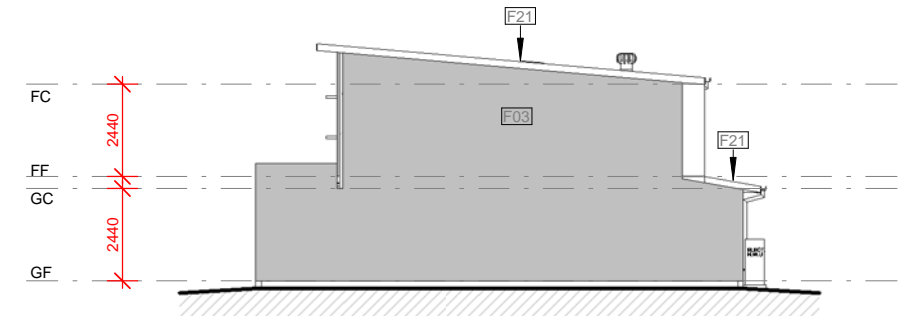
EXTERNAL FINISHES	
F01	FACE BRICKWORK (AS SELECTED)
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F04	BRICKWORK WITH RENDER FINISH (COLOUR 2)
F09	SCYON AXON CLADDING
F11	COLORBOND CUSTOM ORB SHEET WALL CLADDING
F17	PAINTED (COLOUR 1) F.C. CLADDING
F18	PAINTED (COLOUR 2) F.C. CLADDING
F21	COLORBOND CUSTOM ORB METAL ROOF SHEETING (AS SELECTED)
F23	ALUMINIUM FRAMED GLAZING
F24	ALUMINIUM SHADING SCREEN



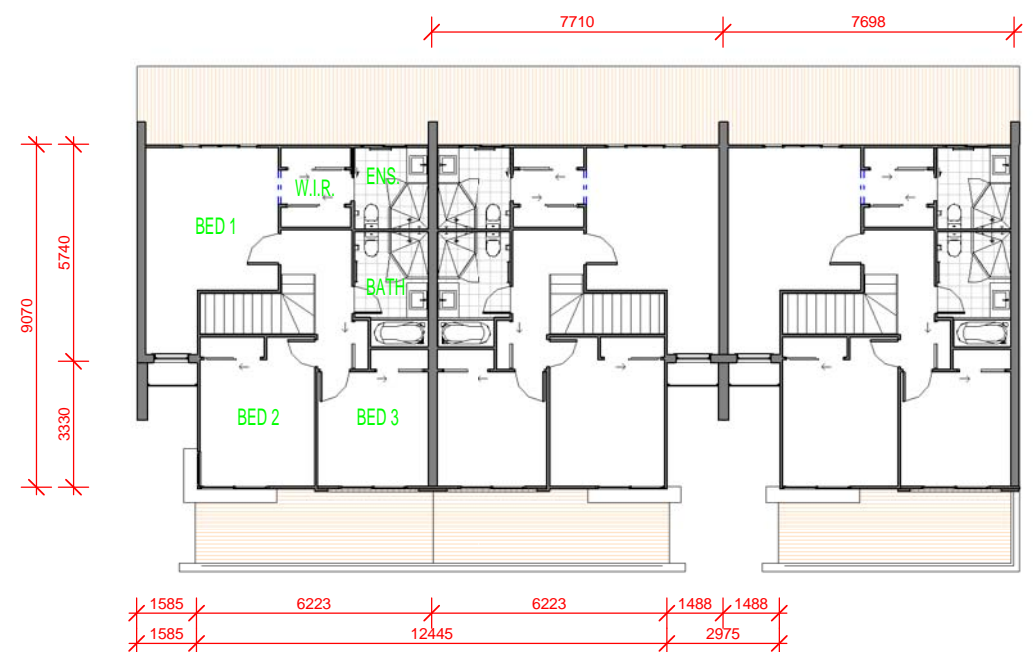
**3** 1/200 FRONT ELEVATION  
DA-16 SCALE - 1 : 200



**4** 1/200 LEFT ELEVATION  
DA-16 SCALE - 1 : 200



**5** 1/200 RIGHT ELEVATION  
DA-16 SCALE - 1 : 200



**2** FIRST FLOOR PLAN (1-200)  
DA-16 SCALE - 1 : 200

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**PLANS AND DOCUMENTS** referred to in the **DEVELOPMENT PERMIT**  
Dated: **13/11/2015**



**6** 1/200 REAR ELEVATION  
DA-16 SCALE - 1 : 200

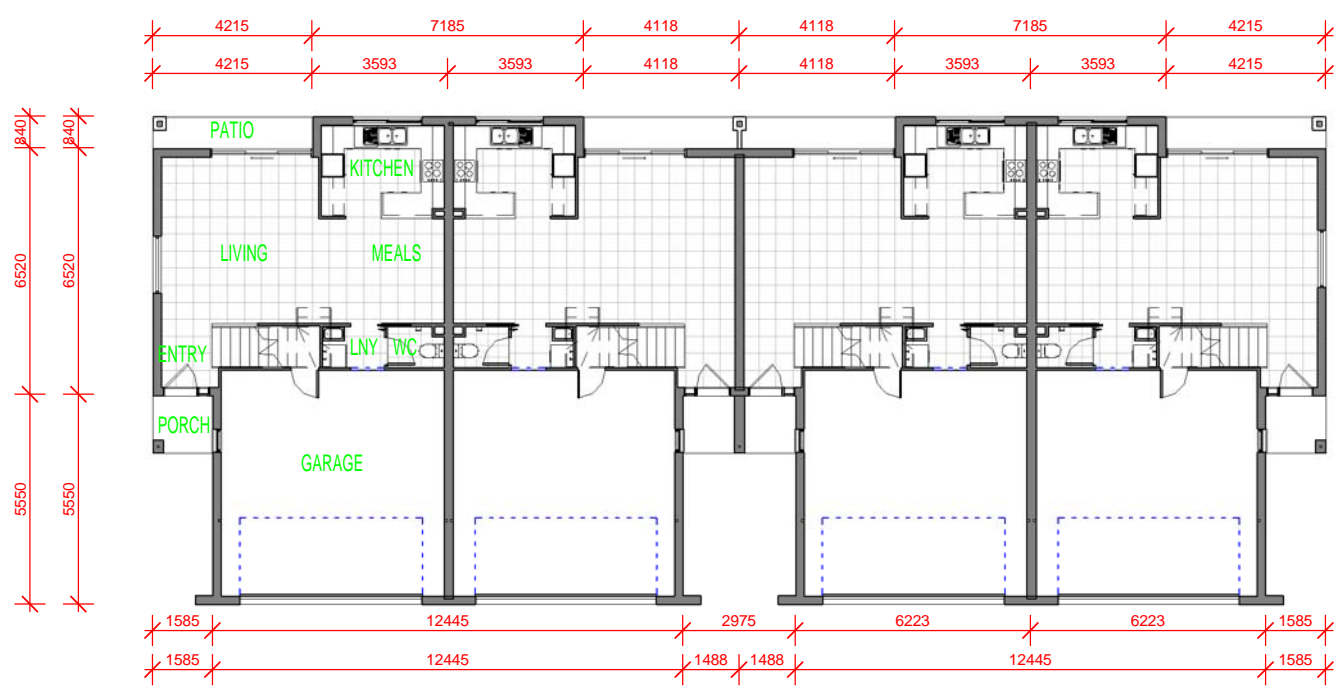


ABN 22 010 071 744  
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P. 07 5528 0111  
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No.	Description	Date
A	DA ISSUE SET (DA 26)	12.10.2015

Project	Unit Type	Sheet Name
TOWNHOMES & LOTS	T3-SOUTHPORT TRIPLEX Modern	DA SHEET
Location	Unit Number	Scale
29 ORMSKIRK STREET, CALAMVALE	UNIT 9-11, 36-38, 59-61, 64-66	1 : 200
Client	Project Number	Drawn by
CANNON VIEW DEV PTY LTD	3250	MD

Date	Revision
12.10.2015	A



**1** GROUND FLOOR PLAN (1-200)  
DA-17 SCALE - 1 : 200

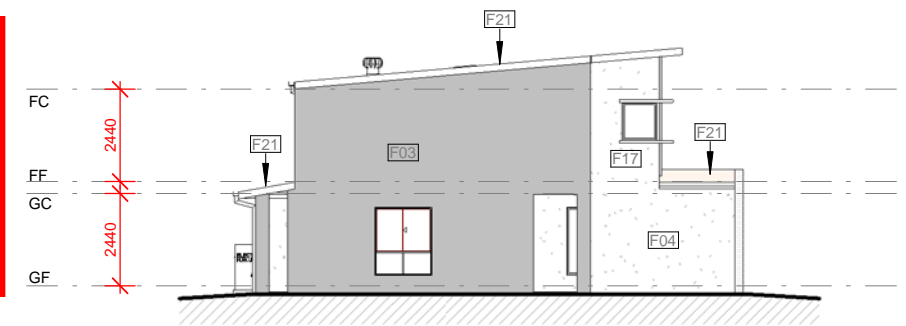
**TYPE T4**  
GFA **392.1 m<sup>2</sup>**  
Site Cover **380.1 m<sup>2</sup>**

EXTERNAL FINISHES	
F01	FACE BRICKWORK (AS SELECTED)
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F04	BRICKWORK WITH RENDER FINISH (COLOUR 2)
F09	SCYON AXON CLADDING
F11	COLORBOND CUSTOM ORB SHEET WALL CLADDING
F17	PAINTED (COLOUR 1) F.C. CLADDING
F18	PAINTED (COLOUR 2) F.C. CLADDING
F21	COLORBOND CUSTOM ORB METAL ROOF SHEETING (AS SELECTED)
F23	ALUMINIUM FRAMED GLAZING
F24	ALUMINIUM SHADING SCREEN
F28	WHIRLY BIRD VENTILATOR

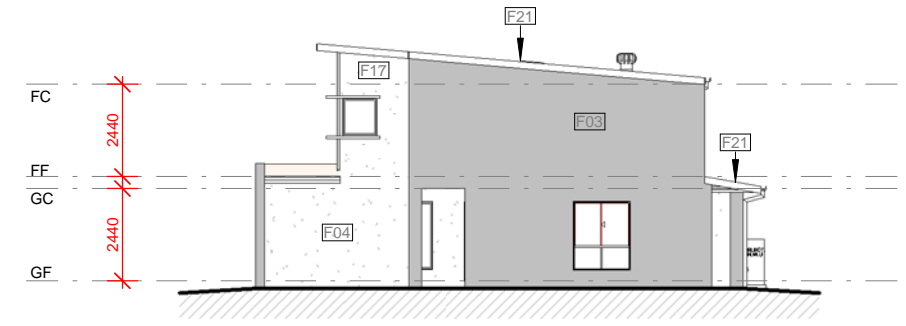
**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**



**3** 1/200 FRONT ELEVATION  
DA-17 SCALE - 1 : 200

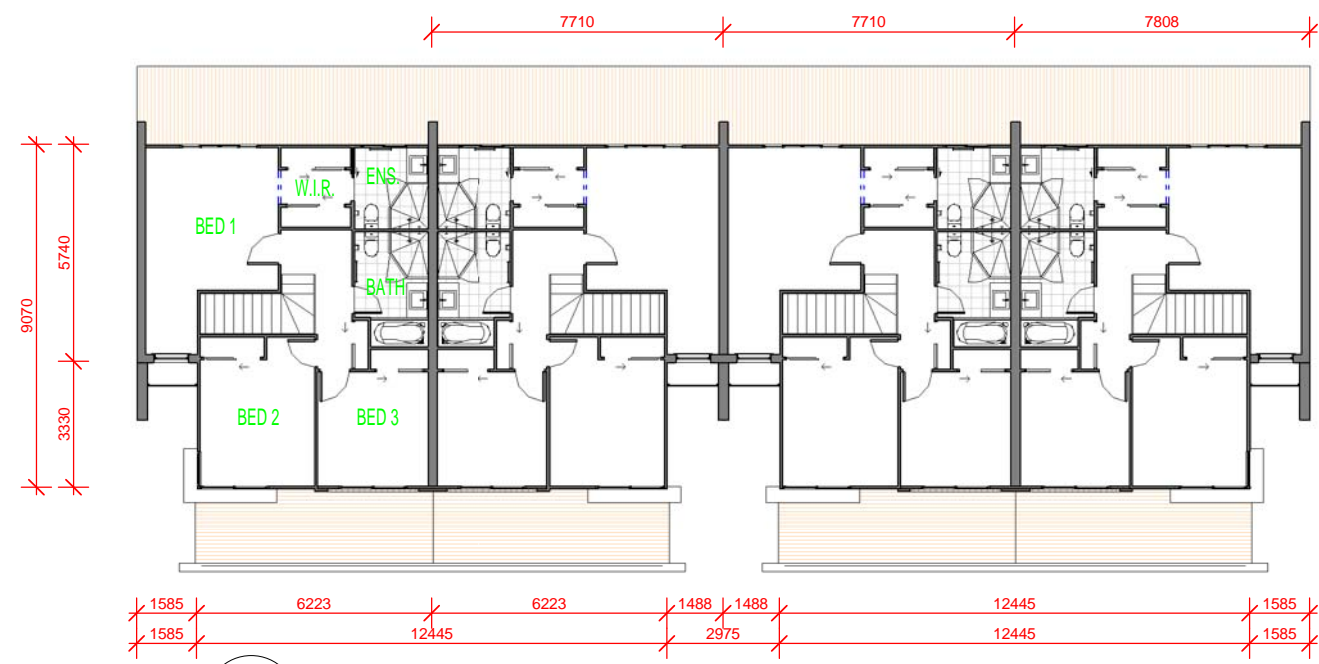


**4** 1/200 LEFT ELEVATION  
DA-17 SCALE - 1 : 200



**5** 1/200 RIGHT ELEVATION  
DA-17 SCALE - 1 : 200

**PLANS AND DOCUMENTS** referred to in the **DEVELOPMENT PERMIT**  
Dated: **13/11/2015**



**2** FIRST FLOOR PLAN (1-200)  
DA-17 SCALE - 1 : 200



**6** 1/200 REAR ELEVATION  
DA-17 SCALE - 1 : 200



ABN 22 010 071 744  
DESIGNERS AND BUILDERS OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	12.10.2015

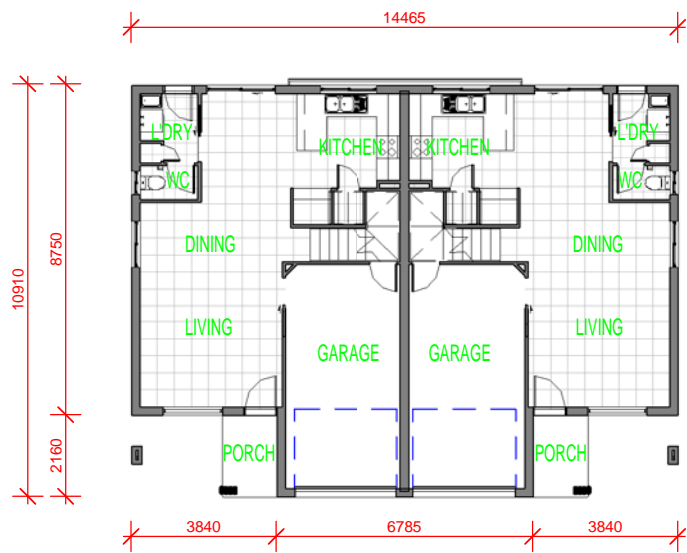
Project: **TOWNHOMES & LOTS**  
Unit Type: **T4-SOUTHPORT Quad Modern**  
Location: **29 ORMSKIRK STREET, CALAMVALE**  
Unit Number: **UNIT 53-56**  
Client: **CANNON VIEW DEV No2 PTY LTD**

Sheet Name		
<b>DA SHEET</b>		
Scale	Drawn by	Date
<b>1 : 200</b>	<b>MD</b>	<b>12.10.2015</b>
Project Number	Drawing Number	Revision
<b>3250</b>	<b>DA-17</b>	<b>A</b>

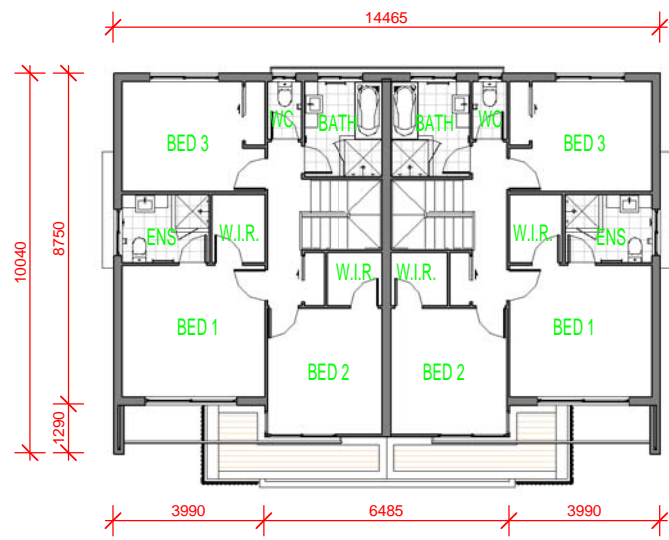
**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**

**PLANS AND DOCUMENTS**  
referred to in the  
**DEVELOPMENT PERMIT**  
Dated: **13/11/2015**

**TYPE T5**  
**GFA 193.3 m<sup>2</sup>**  
**Site Cover 147.5 m<sup>2</sup>**

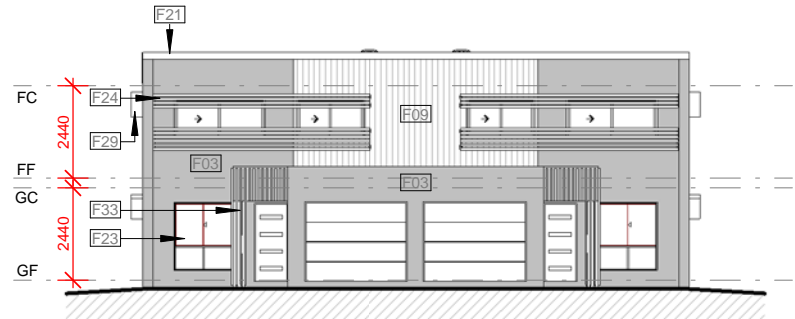


**1 GROUND FLOOR PLAN**  
DA-18 SCALE - 1 : 200

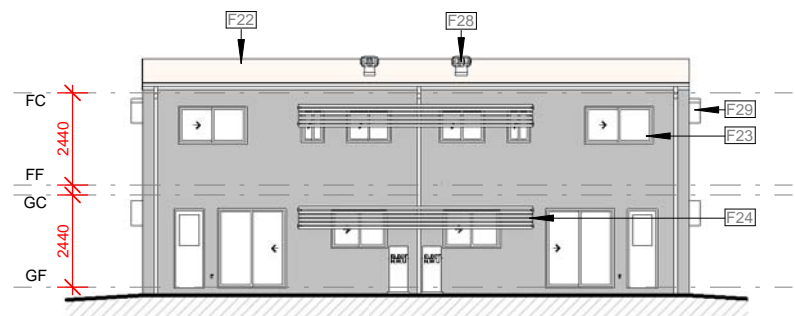


**2 FIRST FLOOR PLAN**  
DA-18 SCALE - 1 : 200

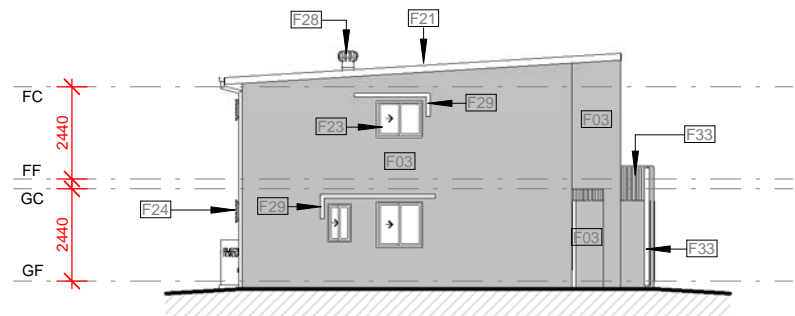
EXTERNAL FINISHES	
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F09	SCYON AXON CLADDING
F21	COLORBOND CUSTOM ORB METAL ROOF SHEETING (AS SELECTED)
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F23	ALUMINIUM FRAMED GLAZING
F24	ALUMINIUM SHADING SCREEN
F28	WHIRLY BIRD VENTILATOR
F29	AWNING (NRG BOARD)
F33	TIMBER BATTENS



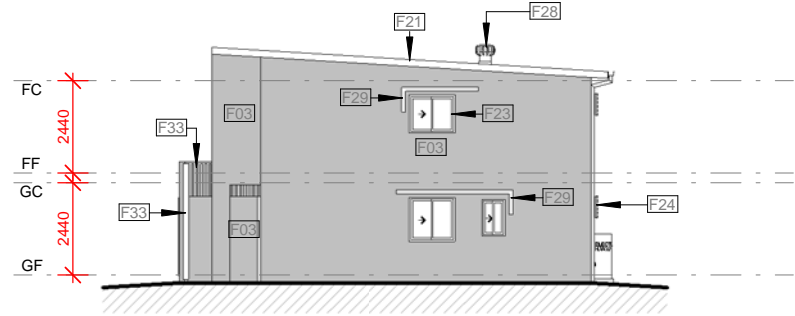
**3 FRONT ELEVATION**  
DA-18 SCALE - 1 : 200



**4 REAR ELEVATION**  
DA-18 SCALE - 1 : 200



**5 LEFT ELEVATION**  
DA-18 SCALE - 1 : 200



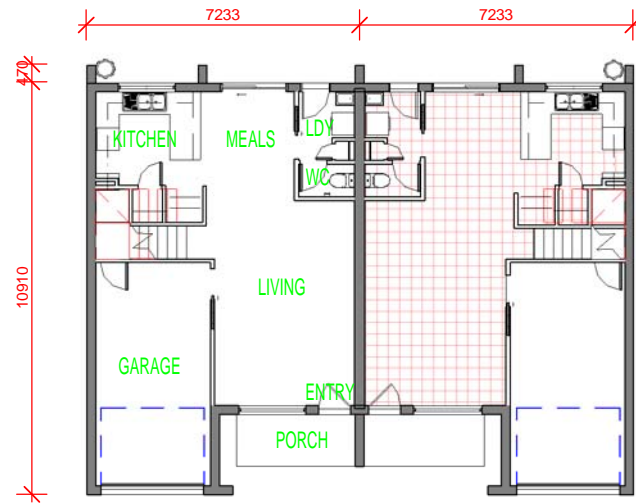
**6 RIGHT ELEVATION**  
DA-18 SCALE - 1 : 200



ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	13.10.2015

Project	Unit Type	Sheet Name
TOWNHOMES & LOTS	T5-MONTEREY Duplex Modern	DA SHEET
Location	Unit Number	Scale
29 ORMSKIRK STREET, CALAMVALE	UNIT 46-47, 51-52, 69-72, 75-76, 79-80	1 : 200
Client	Project Number	Drawn by
CANNON VIEW DEV PTY LTD	3250	TB & MD
		Date
		13.10.2015
		Revision
		A



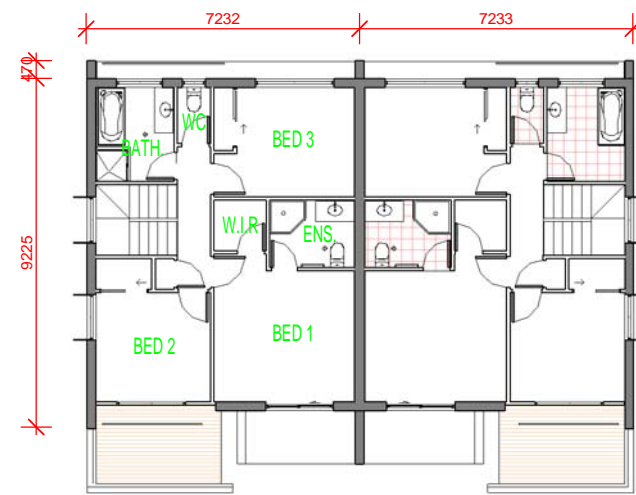
**1**  
DA-19 1/200 GROUND FLOOR PLAN  
SCALE - 1 : 200

**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**

**PLANS AND DOCUMENTS**  
referred to in the  
**DEVELOPMENT PERMIT**  
  
Dated: **13/11/2015**

**TYPE T6**  
**GFA 195.0 m<sup>2</sup>**  
**Site Cover 191.0 m<sup>2</sup>**

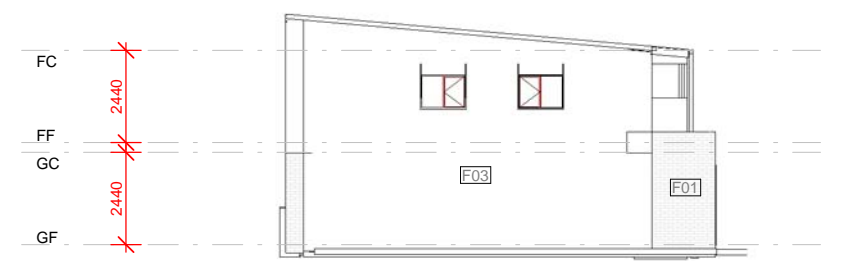
EXTERNAL FINISHES	
F01	FACE BRICKWORK (AS SELECTED)
F02	BRICKWORK WITH TEXTURE FINISH
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F07	BLOCKWORK WITH RENDER FINISH
F17	PAINTED (COLOUR 1) F.C. CLADDING
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F30	BRICK CORBELING



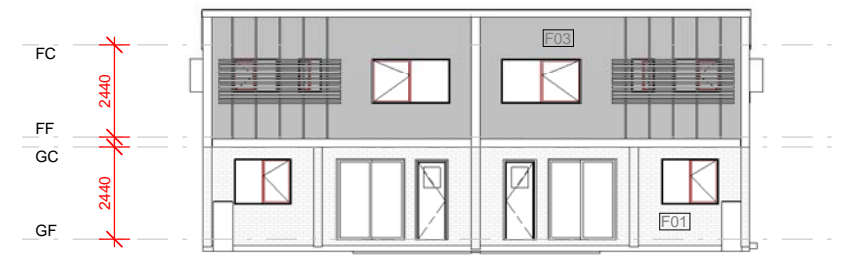
**2**  
DA-19 1/200 FIRST FLOOR PLAN  
SCALE - 1 : 200



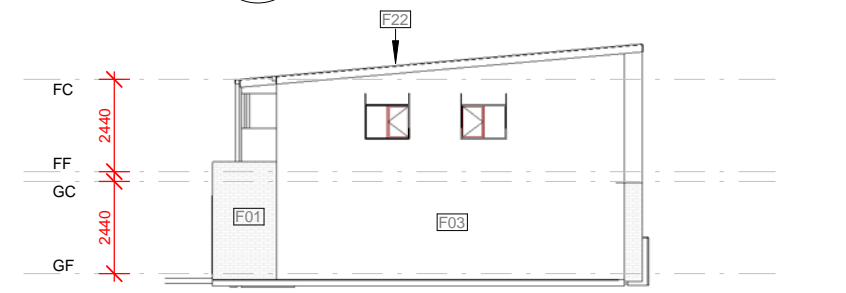
**3**  
DA-19 1/200 FRONT ELEVATION  
SCALE - 1 : 200



**4**  
DA-19 1/200 LEFT ELEVATION  
SCALE - 1 : 200



**5**  
DA-19 1/200 REAR ELEVATION  
SCALE - 1 : 200



**6**  
DA-19 1/200 RIGHT ELEVATION  
SCALE - 1 : 200

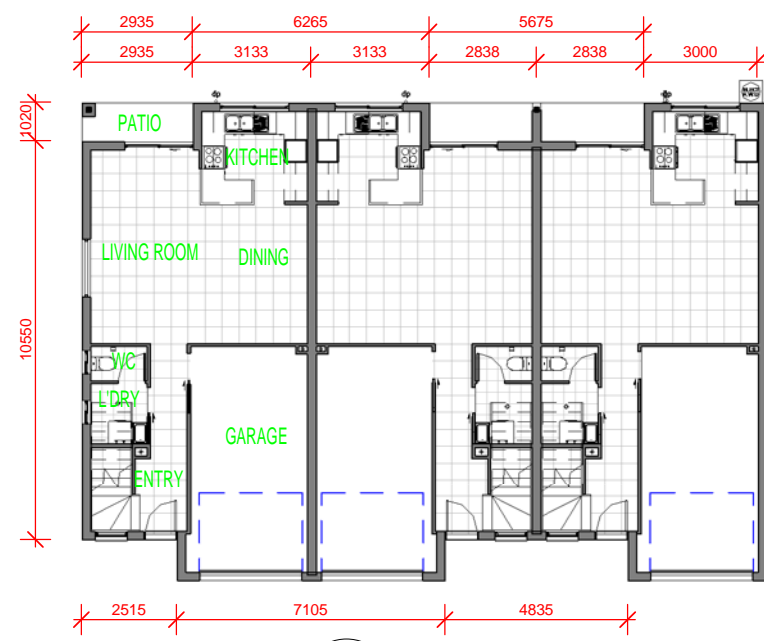


ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	13.10.2015

Project: TOWNHOMES & LOTS  
Unit Type: T6-ROYALE Duplex Modern  
Location: 29 ORMSKIRK STREET, CALAMVALE UNIT 73-74, 77-78  
Client: CANNON VIEW DEV PTY LTD

Sheet Name: DA SHEET  
Scale: 1 : 200  
Project Number: 3250  
Drawn by: TB & MD  
Drawing Number: DA-19  
Date: 13.10.2015  
Revision: A



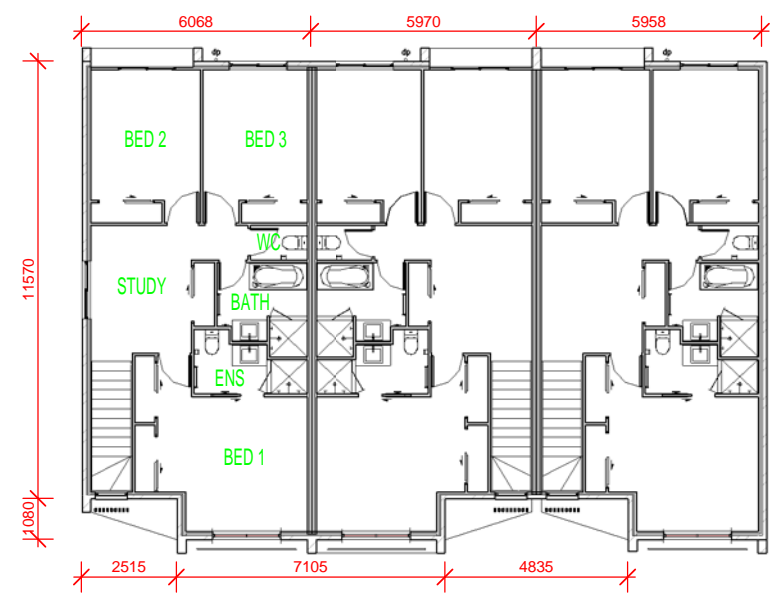
**1 GROUND FLOOR PLAN**  
DA-20 SCALE - 1 : 200

**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**

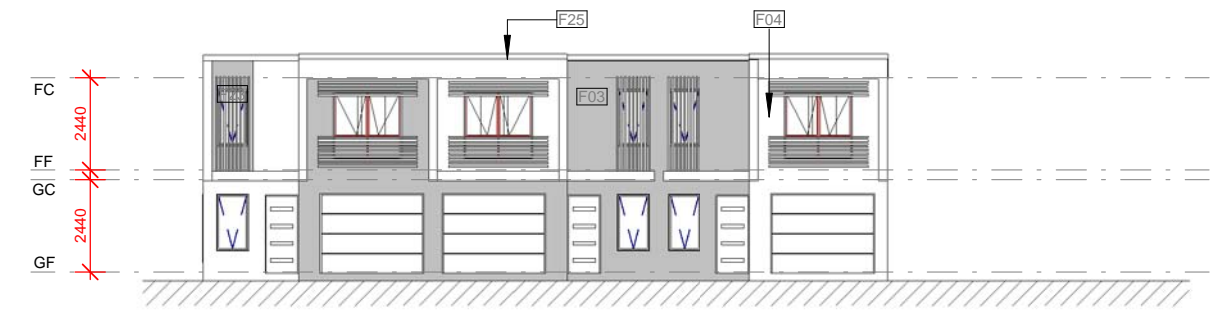
**PLANS AND DOCUMENTS** referred to in the **DEVELOPMENT PERMIT**  
Dated: **13/11/2015**

EXTERNAL FINISHES	
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F04	BRICKWORK WITH RENDER FINISH (COLOUR 2)
F14	HARDIES LINEA BOARDING
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F23	ALUMINIUM FRAMED GLAZING
F25	ALUMINIUM FRAMED MECH VENTILATED SKYLIGHT WINDOW

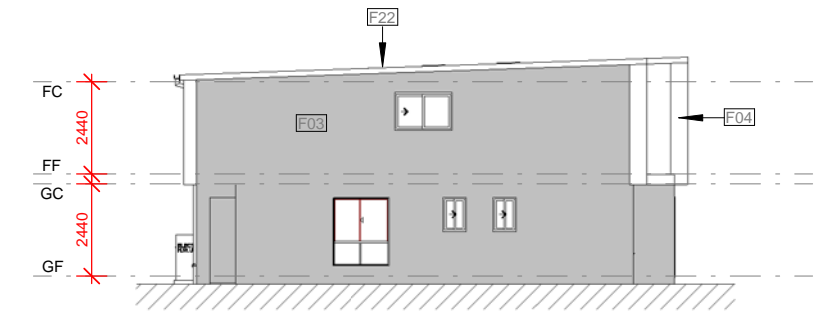
**TYPE T7**  
GFA **419.1 m<sup>2</sup>**  
Site Cover **297.9 m<sup>2</sup>**



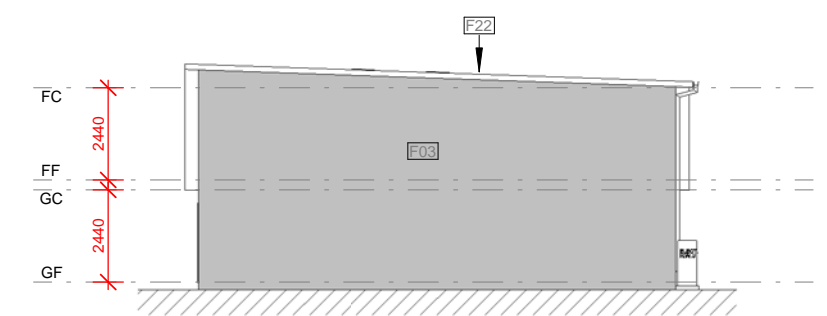
**2 FIRST FLOOR PLAN**  
DA-20 SCALE - 1 : 200



**3 FRONT ELEVATION**  
DA-20 SCALE - 1 : 200



**4 LEFT ELEVATION**  
DA-20 SCALE - 1 : 200



**5 RIGHT ELEVATION**  
DA-20 SCALE - 1 : 200



**6 REAR ELEVATION**  
DA-20 SCALE - 1 : 200



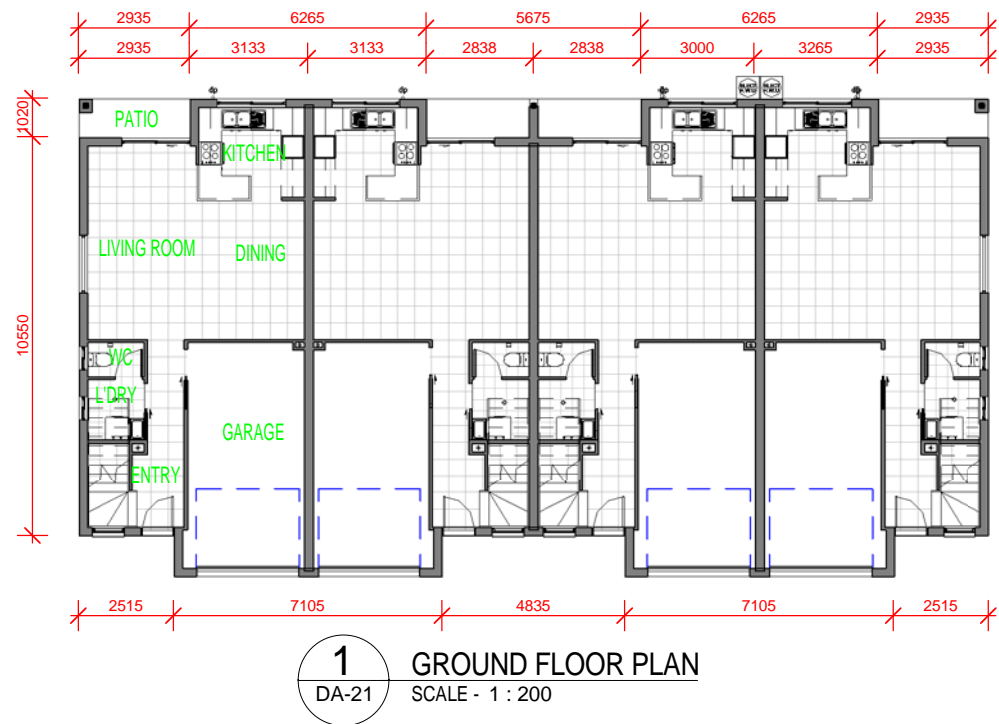
ABN 22 010 071 744  
DESIGNERS AND BUILDERS OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE SOUTHPORT Q 4215  
P. 07 5528 0111 F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	13.10.2015

Project: **TOWNHOMES & LOTS**  
Location: **29 ORMSKIRK STREET, CALAMVALE**  
Client: **CANNON VIEW DEV PTY LTD**

Unit Type: **T7-COOLANGATTA Triplex Modern**  
Unit Number: **UNIT 39-41**

Sheet Name		
<b>DA SHEET</b>		
Scale	Drawn by	Date
<b>1 : 200</b>	<b>TB &amp; MD</b>	<b>13.10.2015</b>
Project Number	Drawing Number	Revision
<b>3250</b>	<b>DA-20</b>	<b>A</b>

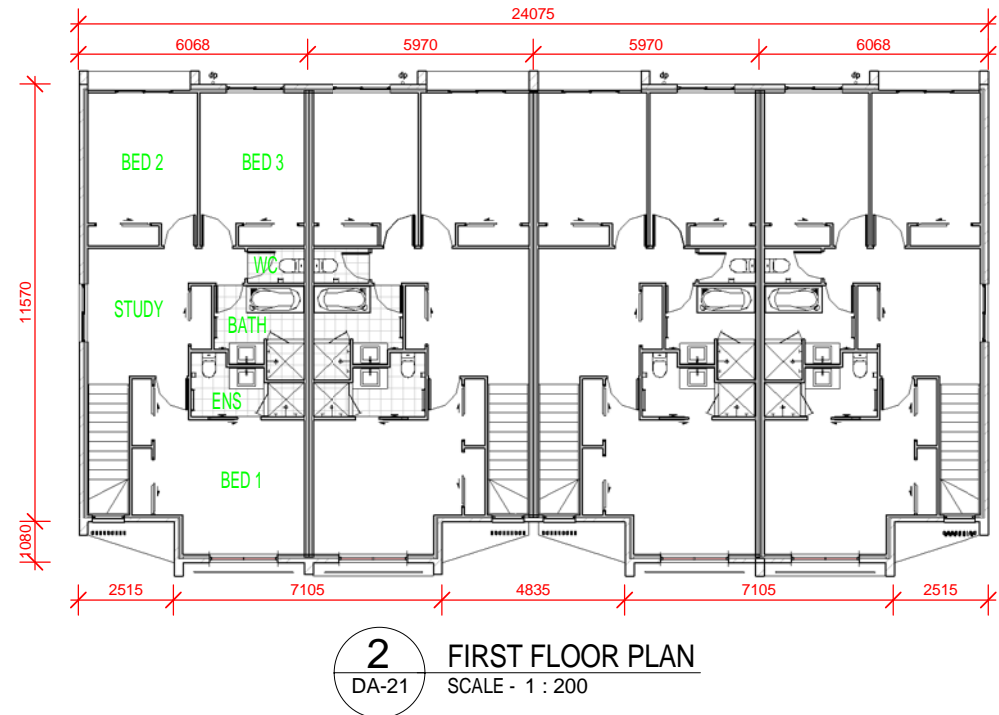
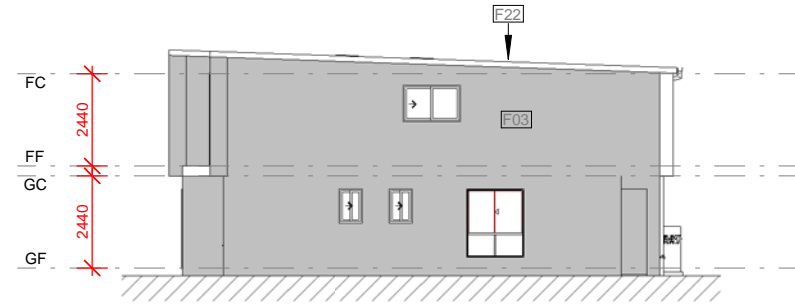
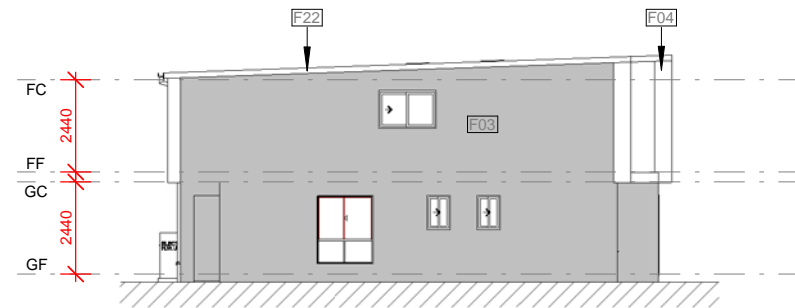
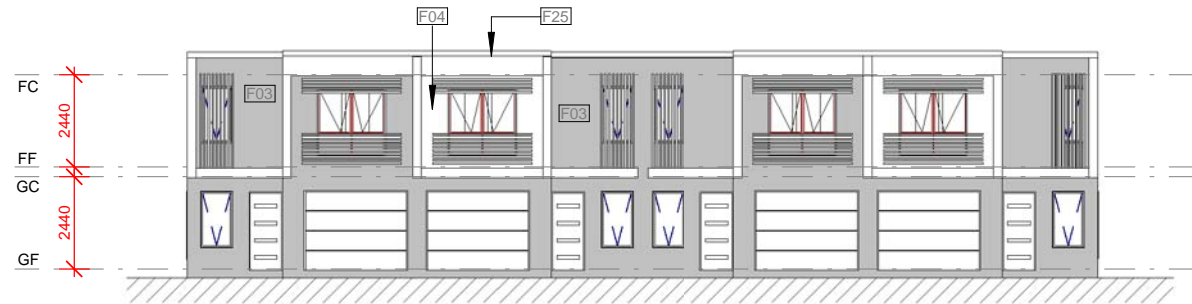


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EXTERNAL FINISHES	
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F04	BRICKWORK WITH RENDER FINISH (COLOUR 2)
F14	HARDIES LINEA BOARDING
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F23	ALUMINIUM FRAMED GLAZING
F25	ALUMINIUM FRAMED MECH VENTILATED SKYLIGHT WINDOW

**TYPE T8**  
GFA 419.1 m<sup>2</sup>  
Site Cover 297.9 m<sup>2</sup>

**PLANS AND DOCUMENTS**  
referred to in the  
**DEVELOPMENT PERMIT**  
Dated: 13/11/2015



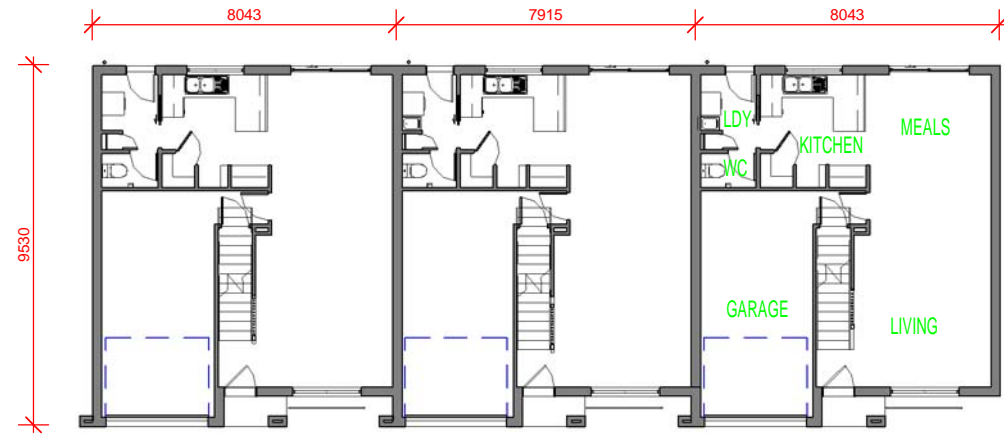
ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	13.10.2015

Project: TOWNHOMES & LOTS  
Location: 29 ORMSKIRK STREET, CALAMVALE  
Client: CANNON VIEW DEV PTY LTD

Unit Type: T8-COOLANGATTA Quad Modern  
Unit Number: UNIT 16-19, 24-35, 42-45

Sheet Name: DA SHEET  
Scale: 1 : 200  
Project Number: 3250  
Drawing Number: DA-21  
Date: 13.10.2015  
Drawn by: TB & MD  
Revision: A



**1** 1/200 GROUND FLOOR PLAN  
DA-22 SCALE - 1 : 200

WALL FINISHES	
F02	BRICKWORK WITH TEXTURE FINISH
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F04	BRICKWORK WITH RENDER FINISH (COLOUR 2)
F05	BRICKWORK WITH RENDER FINISH (COLOUR 3)
F06	MASONRY WITH TEXTURE FINISH
F09	SCYON AXON CLADDING
F11	COLORBOND CUSTOM ORB SHEET WALL CLADDING
F14	HARDIES LINEA BOARDING
F17	PAINTED (COLOUR 1) F.C. CLADDING
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F24	ALUMINIUM SHADING SCREEN

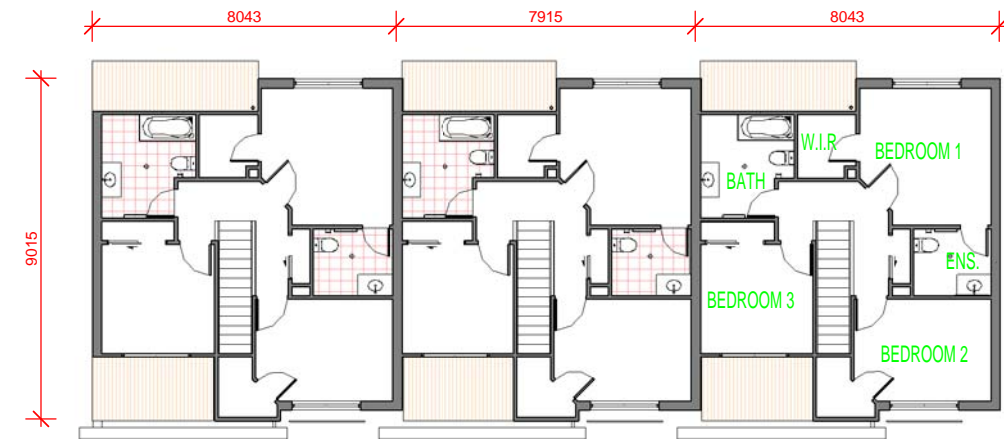
**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**

**TYPE T9**

**GFA 437.2 m<sup>2</sup>**  
**Site Cover 216.7 m<sup>2</sup>**

**PLANS AND DOCUMENTS**  
referred to in the  
**DEVELOPMENT PERMIT**

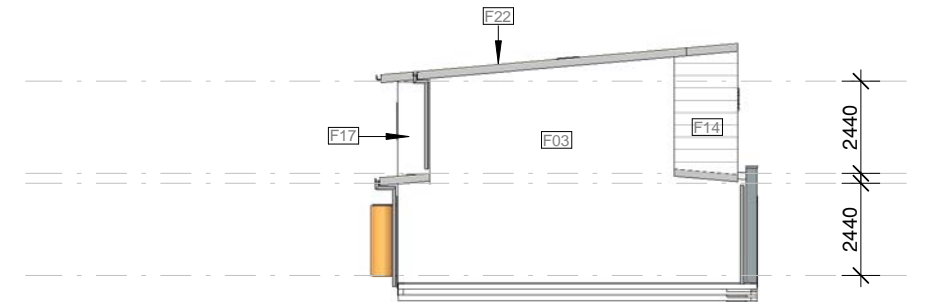
Dated: **13/11/2015**



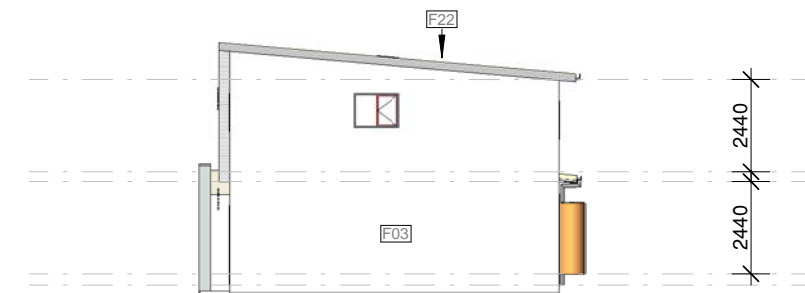
**2** 1/200 FIRST FLOOR PLAN  
DA-22 SCALE - 1 : 200



**3** 1/200 FRONT ELEVATION  
DA-22 SCALE - 1 : 200



**4** 1/200 RIGHT ELEVATION  
DA-22 SCALE - 1 : 200



**5** 1/200 LEFT ELEVATION  
DA-22 SCALE - 1 : 200



**6** 1/200 REAR ELEVATION  
DA-22 SCALE - 1 : 200

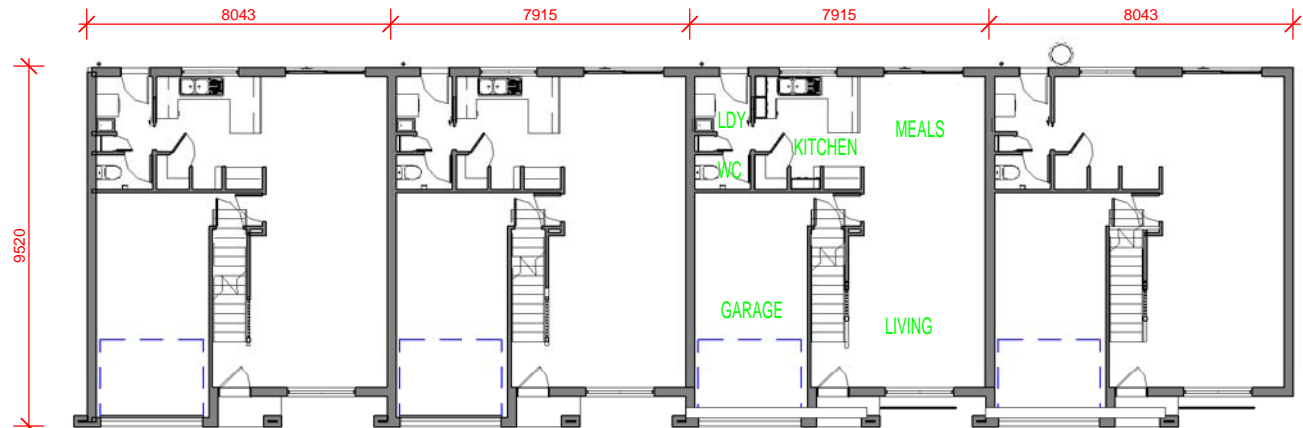


ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	14.10.2015

Project: TOWNHOMES & LOTS  
Location: 29 ORMSKIRK STREET, CALAMVALE  
Client: CANNON VIEW DEV PTY LTD  
Unit Type: T9-ASHMORE MODERN - Triplex  
Unit Number: UNIT 48-50

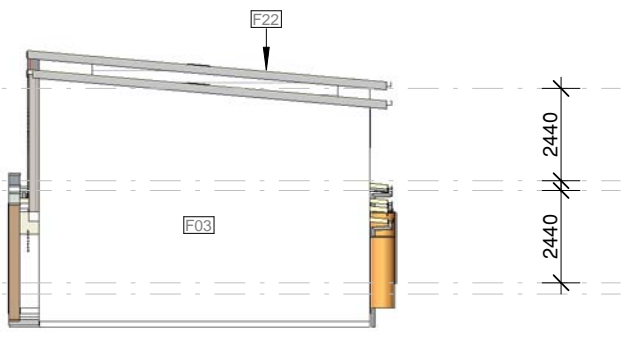
Sheet Name: DA SHEET  
Scale: 1 : 200  
Project Number: 3250  
Drawing Number: DA-22  
Date: 14.10.2015  
Drawn by: TB & MD  
Revision: A



**1** 1/200 GROUND FLOOR PLAN  
DA-23 SCALE - 1 : 200



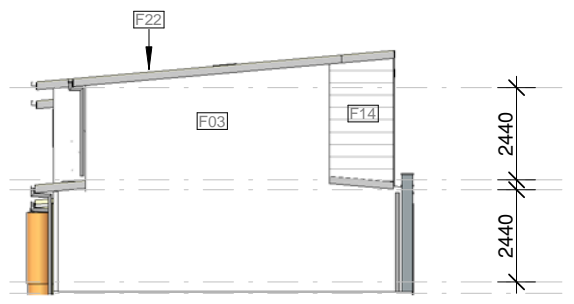
**3** 1/200 FRONT ELEVATION  
DA-23 SCALE - 1 : 200



**4** 1/200 LEFT ELEVATION  
DA-23 SCALE - 1 : 200



**5** 1/200 REAR ELEVATION  
DA-23 SCALE - 1 : 200



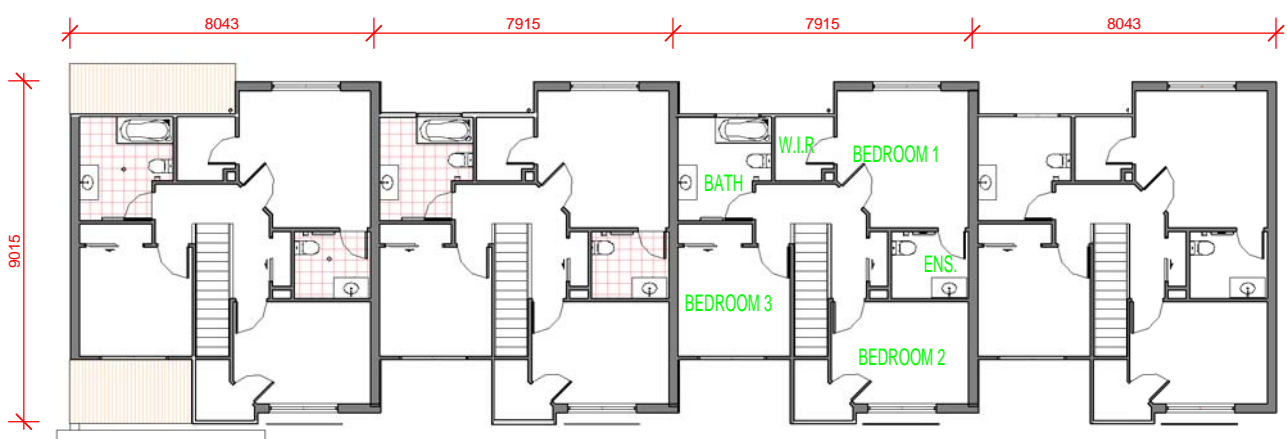
**6** 1/200 RIGHT ELEVATION  
DA-23 SCALE - 1 : 200

**PLANS AND DOCUMENTS**  
referred to in the  
**DEVELOPMENT PERMIT**

Dated: **13/11/2015**

**TYPE T10**  
GFA **583.0 m<sup>2</sup>**  
Site Cover **289.0 m<sup>2</sup>**

WALL FINISHES	
F02	BRICKWORK WITH TEXTURE FINISH
F03	BRICKWORK WITH RENDER FINISH (COLOUR 1)
F04	BRICKWORK WITH RENDER FINISH (COLOUR 2)
F05	BRICKWORK WITH RENDER FINISH (COLOUR 3)
F06	BRICKWORK WITH RENDER FINISH (COLOUR 4)
F08	SCYON STRIA CLADDING
F09	SCYON AXON CLADDING
F10	SCYON MATRIX CLADDING
F11	COLORBOND CUSTOM ORB SHEET WALL CLADDING
F14	HARDIES LINEA BOARDING
F22	COLORBOND TRIMDEK METAL ROOF SHEETING (AS SELECTED)
F24	ALUMINIUM SHADING SCREEN



**2** 1/200 FIRST FLOOR PLAN  
DA-23 SCALE - 1 : 200

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ABN 22 010 071 744  
DESIGNERS AND BUILDERS  
OF QUALITY HOMES EST. 1952  
301/50 MARINE PARADE  
SOUTHPORT Q 4215  
P. 07 5528 0111  
F. 07 5528 0333

No.	Description	Date
A	DA ISSUE SET (DA 26)	13.10.2015

Project **TOWNHOMES & LOTS**  
Location **29 ORMSKIRK STREET, CALAMVALE**  
Client **CANNON VIEW DEV PTY LTD**

Unit Type **T10-ASHMORE MODERN - Quad**  
Unit Number **UNIT 1-4**

Sheet Name **DA SHEET**  
Scale **1 : 200**  
Project Number **3250**  
Drawn by **TB & MD**  
Drawing Number **DA-23**  
Date **13.10.2015**  
Revision **A**