

24 June 2026

Brisbane City Council
Chief Executive Officer
GPO Box 1434
BRISBANE QLD 4001

Via Email: DSPlanningSupport@brisbane.qld.gov.au

ATTN: Kayal Chandrasekar

Dear Kayal,

RE: OTHER CHANGE APPLICATION UPON LAND AT 4 MACDONALD STREET, KANGAROO POINT (COUNCIL REFERENCE A006989590)

We write in relation to the abovementioned application and Council's Information Request dated 29 April 2026.

Pursuant to section 13.2 of the Development Assessment Rules under the Planning Act 2016, we provide the following response to Council's Information Request.

1. Built Form and View Corridor

The proposed roof located on the roof top terrace along the northern boundary introduces additional building height and impacts the designated view corridor within the Kangaroo Point peninsula neighbourhood plan code. The roof north of the lift shaft is not supported to the extent indicated and should be removed to avoid additional impacts on the view corridor to comply with PO1, PO6 of the Kangaroo Point peninsula neighbourhood plan code and PO4, PO40 and PO41 of the Multiple dwelling code. Submit amended plans with the following changes:

- a) Remove the roof indicated over the dining area, alternatively
- b) Where roofing over the roof top outdoor terrace is desired, this should be relocated in front of the lift and lobby and not to extend to the side north of the lift wall.
- c) Additionally, submit a model of Virtual Brisbane to accurately allow assessment of the impact caused by the proposed changes and to demonstrate that the development appropriately manages the impacts on views and vistas to the Story Bridge. A Virtual Brisbane model can be submitted via the following link: <https://www.brisbane.qld.gov.au/virtualbrisbane3drequirements>

Note: It is recommended that the floor-to-floor height is reduced to minimise the overall building height.

- d) Show on amended plans the RL levels for the proposed roofing at the Roof terrace plan level including the Lift run area.

As requested the roof over the previous dining area has been substantially reduced in order to preserve view lines between the Storey Bridge and the Brisbane River. The covered dining area has been repositioned in front of the building core to provide a climatically responsive and useable roof terrace in Queensland's hot summers. These changes will have minimal impact on view corridors and are consistent with the expectation of facilities for high quality apartments in premium developments within the city. See Figure 1 below for comparison of the previously proposed roof terrace against the amended design. Additionally, a model file is being submitted by the Architect for the Virtual Brisbane Model as requested.

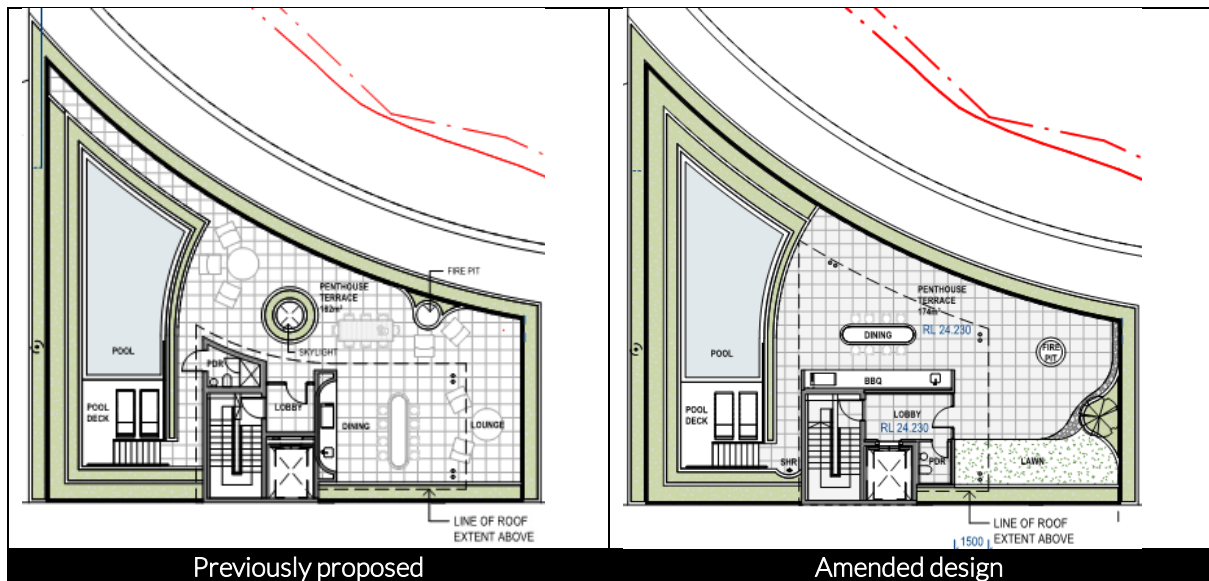


Figure 1: Comparison of previous and amended roof terrace designs

2. Refuse Collection

The proposed plans do not replicate amendments in red under the previous approval which were required to address assessment benchmarks related to refuse collection. Additionally, it is noted the proposed plan incorporates a gradient (1:8) which exceeds the acceptable maximum (1:14) for the transfer of mobile garbage bins. In accordance with AO32/PO32 of the Multiple dwelling code provide amended plans which demonstrate the following requirements. Submit amended plans showing following information:

- Include amendments in red related to the refuse storage area made under previous minor change approval (Council ref: A006764430), i.e. size of both the recycle and general waste storage areas and position of the chute discharge.
- Reinstate the maximum 1:14 gradient of the service ramp or alternatively demonstrate how the inclusion of gradients which exceed the accepted maximum will be mitigated, including details of any mechanical aid such as a bin tug, including its storage location, if proposed.

The amended plans have been updated to incorporate bin room areas and the position of the chute discharge as requested. The service ramp to transfer bins to and from the storage area to the collection area remain at 1:8 gradient. A bin tug will be utilised to assist with the transfer of heavy bins and a storage space has been allocated for it to be located within the bin room when not in use.

We have now fully responded to Council Information Request in accordance with section 13.2 of the Development Assessment Rules under the Planning Act 2016 and will now proceed with public notification.

Should you wish to discuss the matter further, please do not hesitate to contact our office.

Yours faithfully
TOWN PLANNING ALLIANCE PTY LTD

Jordan Holman
DIRECTOR

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Architectural Plans prepared by Bureau Proberts