

**TOWNHOUSE DEVELOPMENT
HAMPTONS PTY LTD**



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07/04/2026
APPLICATION REF
A006743933

DESIGN DRAWINGS
39 LACEY ROAD, CARSELDINE, QLD. 4034

PRELIMINARY

ISSUE SCHEDULE			
No.	DATE	DESCRIPTION	BY
01	21/02/2025	DA Issue	BW
02	15/07/2025	DA Issue	BW
04	12/11/2025	DA Issue	BW
05	19/01/2026	DA Issue	BW
06	16/03/2026	DA Issue	BW

All new work to be carried out in accordance with workplace health & safety act, regulations, advisory standards and with the relevant Australian standards as a minimum level of amenity - these will include but are not limited to:

- PLUMBING - AS3500 (2021)
- WATER PROOFING - AS3740 (2021)
- ELECTRICAL - AS3000 (2018)
- TIMBER - AS 1684 (2021), AS 1720 (2019) & AS 4440 (2004)
- TERMITES MANAGEMENT - AS 3660 (2014)
- STEEL STRUCTURES - AS 4100 (2020) & AS 4600 (2018)
- CONCRETE & MASONRY - AS 3600 (2018) & AS3700 (2018)
- DEMOLITION - AS 2601 (2001) & AS 2870 (2011)
- STRUCTURAL DESIGN - AS 1170 (2021)
- ACCESS & MOBILITY - AS 1428 (2021) & AS 1735 (2022)
- WINDOWS & GLASS - AS 2047 (2014) & AS 1288 (2021)
- AIR CONDITIONING - AS 1668 (2015)
- FIRE DETECTION - AS 1670 (2018 Amd 2021)
- ROOF SAFETY - AS 4974 (2009)
- PARKING - AS 2890 (2023)
- BUILDING INSPECTIONS - AS 4349 (2007)
- QUALITY MANAGEMENT - AS HB 90.3 (2006)

DESIGNER:
MERCURY DESIGN
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TOWN PLANNER:

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 ADDRESS:

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 EMAIL: info@noisemeasurement.com.au
 ADDRESS: PO Box 1422, Fortitude Valley, QLD 4006

BUILDER:

PHONE:
 EMAIL:
 ADDRESS:

DA DRAWING LIST		
D1	COVER SHEET	
D2	LOCATION PLAN	
D3	PROPOSED SITE PLAN	
D4	GENERAL ARRANGEMENT GROUND FLOOR PLAN	
D5	GENERAL ARRANGEMENT FIRST FLOOR PLAN	
D6	GENERAL ARRANGEMENT ELEVATIONS	
D7	GENERAL ARRANGEMENT SECTIONS	
D8	PROPOSED STAGE 3 AREA PLAN	
D9	TYPE G FLOOR PLANS & ELEVATIONS	
D10	TYPE H FLOOR PLANS, ELEVATIONS & SECTION	
D11	AREA SUMMARY & EXCLUSIVE USE AREAS	
D12	DEMOLITION	
D13	PROPOSED BENCHING	

GENERAL CONSTRUCTION NOTES

- ALL SLABS, FOOTINGS, WALL FRAMES, FLOOR FRAME, STRUCTURAL STEEL, BRACING AND TIE-DOWNS TO ENGINEERS DESIGN.
- ALL TIMBER FRAMED WALLS TO WET AREAS TO BE LINED WITH FC
- FLOORS TO ALL WET AREAS TO HAVE A FALL TO A FLOOR WASTE
- ALL HANDRAILS TO BE 1000mm MIN. ABOVE FINISHED FLOOR (CARPETILES ETC), WITH 125mm MAX OPENINGS TO BALUSTRADE.
- W.C.'S TO HAVE A MIN. CLEAR WIDTH OF 900mm.
- INWARD OPENING DOORS TO W.C.'S TO HAVE LIFT OFF HINGES
- FIRST FLOOR TIMBER FLOORS TO ALL WET AREAS TO HAVE AN APPROVED WET AREA FLOORING FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- ALL LAMINATED BEAMS TO HAVE FULL WIDTH BEARING AT EACH END.
- MASONRY CONSTRUCTION TO CURRENT VERSION OF A.S. 3700.
- WRITTEN DIMENSIONS TO HAVE PREFERENCE OVER SCALED DIMENSIONS AT ALL TIMES.

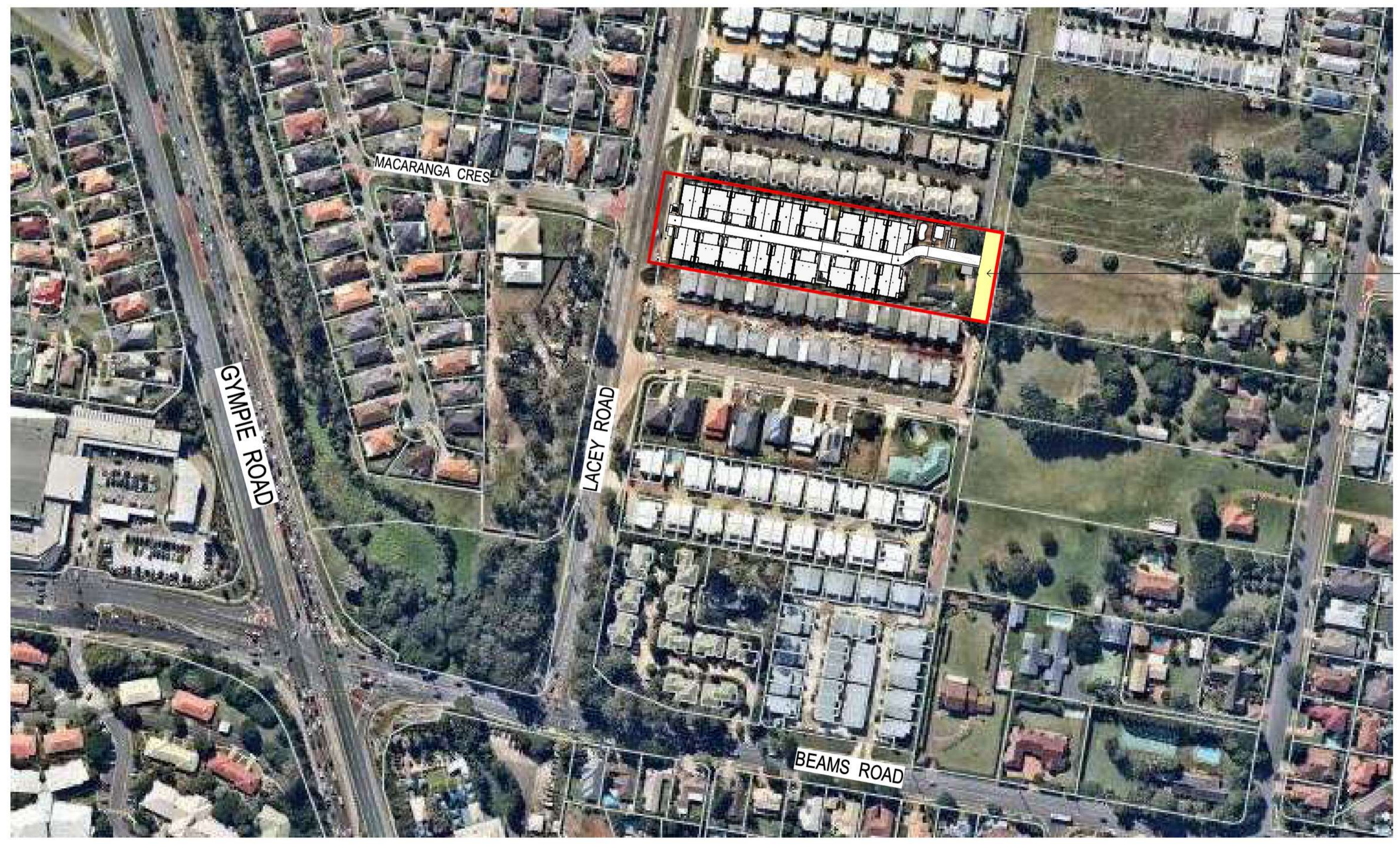
TERMITE PROTECTION IN ACCORDANCE WITH A.S. 3660

- TERMITE MANAGEMENT SYSTEM IN STRICT ACCORDANCE WITH BCA REQUIREMENTS AND INSTALLED ONLY BY Q.B.C.C. LICENSED AND INSURED PROVIDERS.
- HOME OWNER IS TO BE INFORMED OF MAINTENANCE REQUIREMENTS BEFORE A SYSTEM IS ADOPTED.
- SUGGESTED OPTION 1: G.I. ANTICAPS FULLY PARGED TO FULL PERIMETER, MIN. 100 CLEAR OF FINISHED GROUND AND TERMI-MESH TO ALL SLAB PENETRATIONS, INSTALLED BY LICENSED INSTALLER, AND MAINTAINED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- SUGGESTED OPTION 2: FULL RETICULATED UNDERSLAB & PERIMETER SYSTEM TO MANUFACTURERS DETAILS.
- ALL SLABS TO COMPLY WITH AS 2870- COMPACTED AS REQUIRED.
- SYSTEM PROVIDER MUST PROVIDE 50 YEAR GUARANTEE AGAINST SYSTEM FAILURE.
- STEEL POSTS TO HAVE AT LEAST ONE END FULLY SEALED AND WELDED WITH 8mm PLATE FLANGE.
- TIMBER POSTS FIXED TO GALVANISED STEEL STRIPPUS. MINIMUM 75mm CLEAR GAP ABOVE FINISHED GROUND FOR INSPECTION.



1 EXISTING SITE PLAN
 Scale: 1:500

EXISTING DWELLING (UNIT 37) TO BE DEMOLISHED AND REMOVED



2 LOCATION PLAN
 Scale: 1:2000

- STAGE 1 (EXISTING)
- STAGE 2 (EXISTING)
- STAGE 3 (PROPOSED)

SITE INFORMATION:

R.P.D.:
 Lot No.: 6
 Plan No.: RP 29006
 Parish: NUNDARI
 County: STANLEY
 Area: 10079m²
 Survey: 10174m²

STORMWATER:
 Roof water to flow to street to join existing council system via 90 dia U.P.V.C. stormwater lines at 1:100 minimum fall.

RETAINING WALLS:
 If required all retaining walls shall be provided in strict accordance with engineers detailed design and local authority requirements.

Wind Classification: N2
 [Refer Soil Report]

Soil Classification: TBA
 [Refer Soil Report]

Climate Zone: 2
 [Refer Energy Efficiency Report]

Site Cover:
 Existing Site Cover:
 4039.7 m² or 41.8 %

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39 LACEY ROAD, CARSELDINE, QLD. 4034

TOWNHOUSE DEVELOPMENT

CLIENT: HAMPTONS PTY LTD

DRAWING TITLE: LOCATION PLAN

DESIGNER: BDH
 CHECKED: BDH
 DRAWN: MJ

SCALE: As Indicated

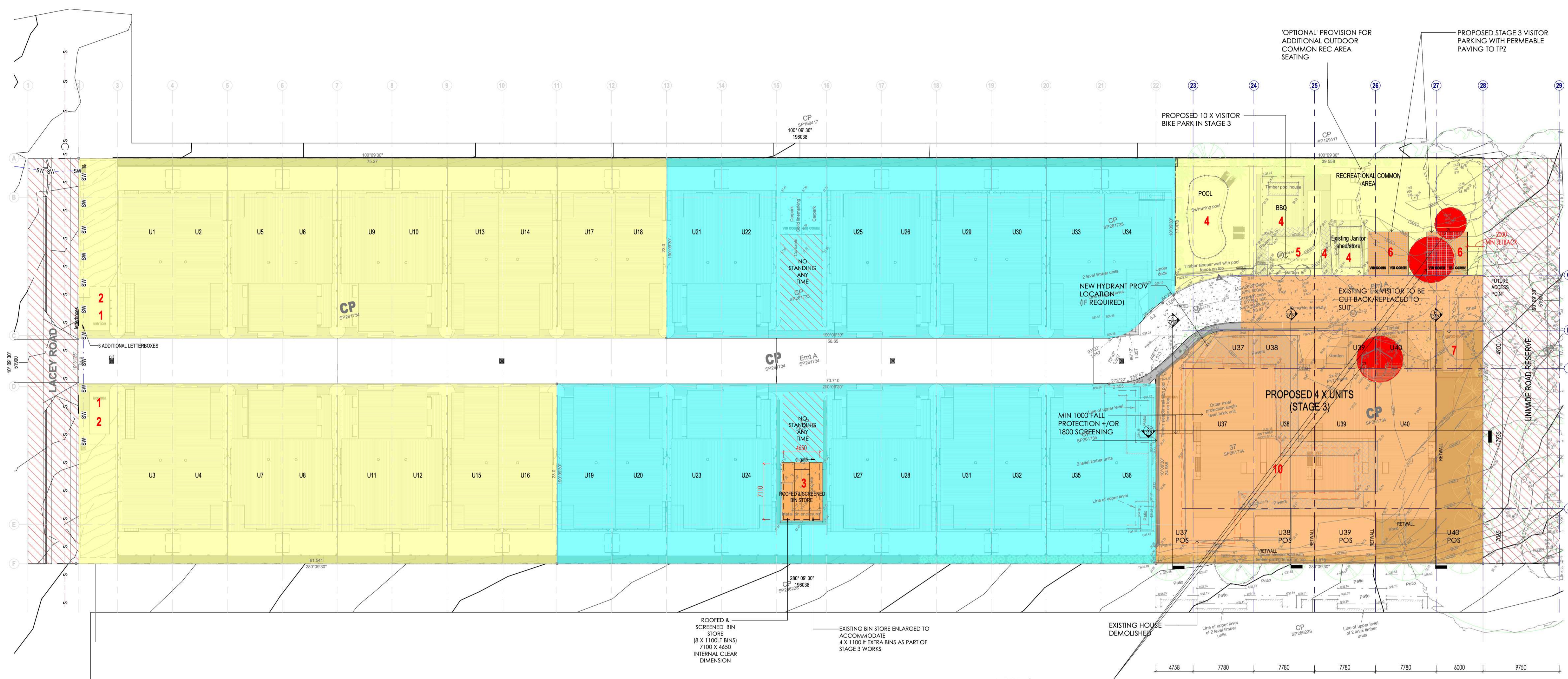
STAGE: DA - 04

DATE: 04.03.2026

PROJECT NO: 2012300-3

PAGE NO: D2 OF 13

1300 133 917
 info@mercury-design.com



1 PROPOSED SITE PLAN
Scale: 1 : 250

CHANGES MADE FROM APPROVED PLANS:

- 1: STAGE 1: VISITOR CAR PARKS ADDED
- 2: STAGE 1: LANDSCAPING NOT ADDED
- 3: STAGE 3: SCREENED & ROOFED BIN STORE INCREASED IN CAPACITY
- 4: STAGE 1: MINOR CHANGES TO COMMON REC AREA, PATH ADDED, JANITOR SHED ADDED.
- 5: STAGE 3: BIKE PARKING ADDED TO COMMON REC AREA
- 6: STAGE 3: PERMEABLE VIS PARKING X 4 ADDED TO COMMON REC AREA
- 7: STAGE 3: NEW VIS CARPARK
- 8: STAGE 3: DEMOLITION OF EXISTING HOUSE & PROPOSED 4 X UNITS WITH 4 X DEDICATED VISITOR PARKS

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- STAGE 1 (EXISTING)
- STAGE 2 (EXISTING)
- STAGE 3 (PROPOSED)

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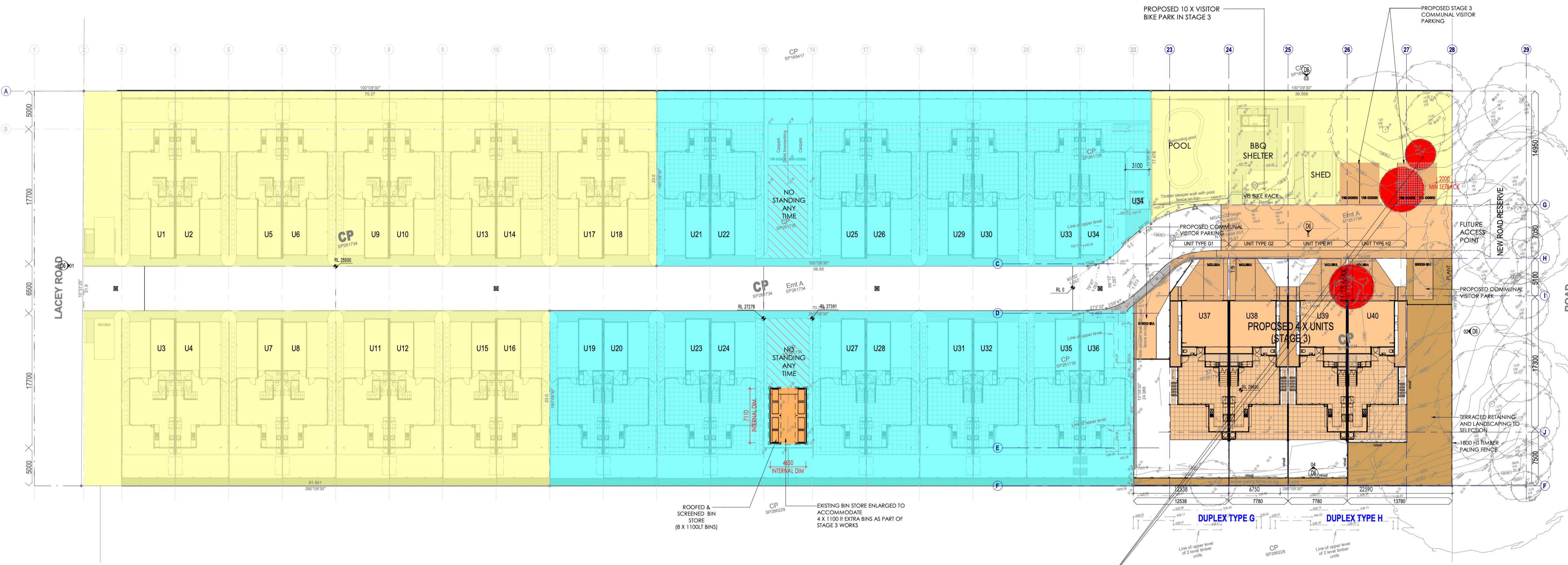
Wind Classification: N2
 [Refer Soil Report]

Soil Classification: TBA
 [Refer Soil Report]

Climate Zone: 2
 [Refer Energy Efficiency Report]

Site Cover:
 Proposed Site Cover:
 SITE COVER 4293.1 m² or 44.4 %

39 LACEY ROAD, CARSELDINE, QLD, 4034
 TOWNHOUSE DEVELOPMENT
 HAMPTONS PTY LTD
 PROPOSED SITE PLAN
 SCALE: 1 : 250
 DESIGNED: BDH
 CHECKED: BDH
 DRAWN: MJ
 DATE: 04.03.2026
 PROJECT NO: 2012300-3
 PAGE NO: D3 OF 13



1 GENERAL ARRANGEMENT GROUND FLOOR PLAN
Scale: 1 : 250

- STAGE 1 (EXISTING)
- STAGE 2 (EXISTING)
- STAGE 3 (PROPOSED)

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TOWNHOUSE DEVELOPMENT	
CLIENT: HAMPTONS PTY LTD	
DRAWING TITLE: GENERAL ARRANGEMENT GROUND FLOOR PLAN	
BDH	1 : 250
CHECKED: MJ	STAGE: DA - 04
DRAWN: MJ	DATE: 04.03.2026
PROJECT NO: 2012300-3	PLATE NO: D4 OF 13
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info@mercury-design.com	

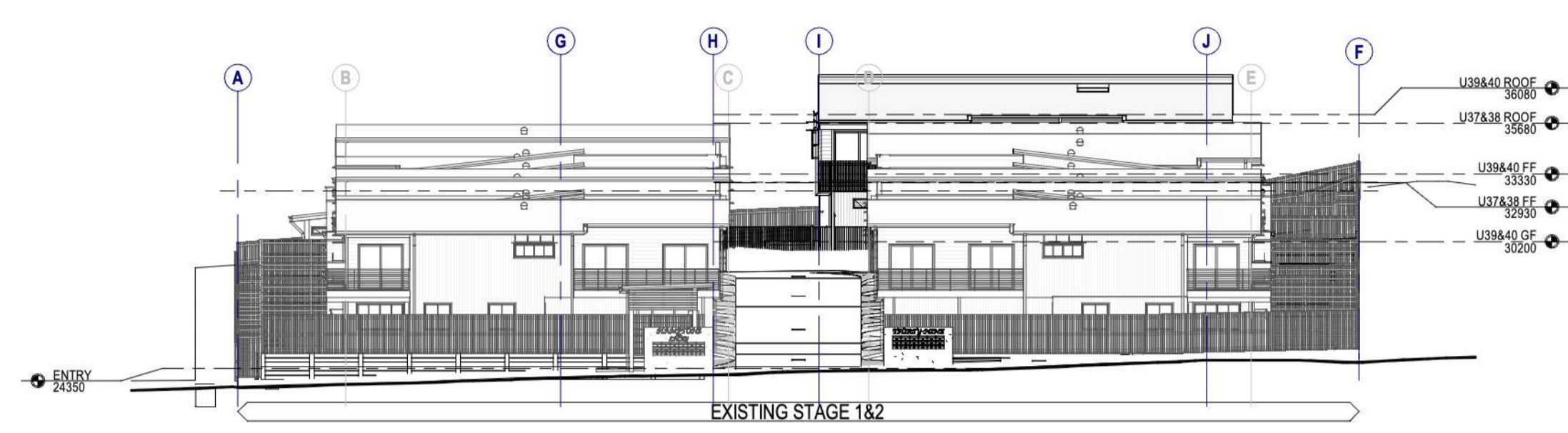


1
16
GENERAL ARRANGEMENT FIRST FLOOR PLAN
Scale: 1 : 250

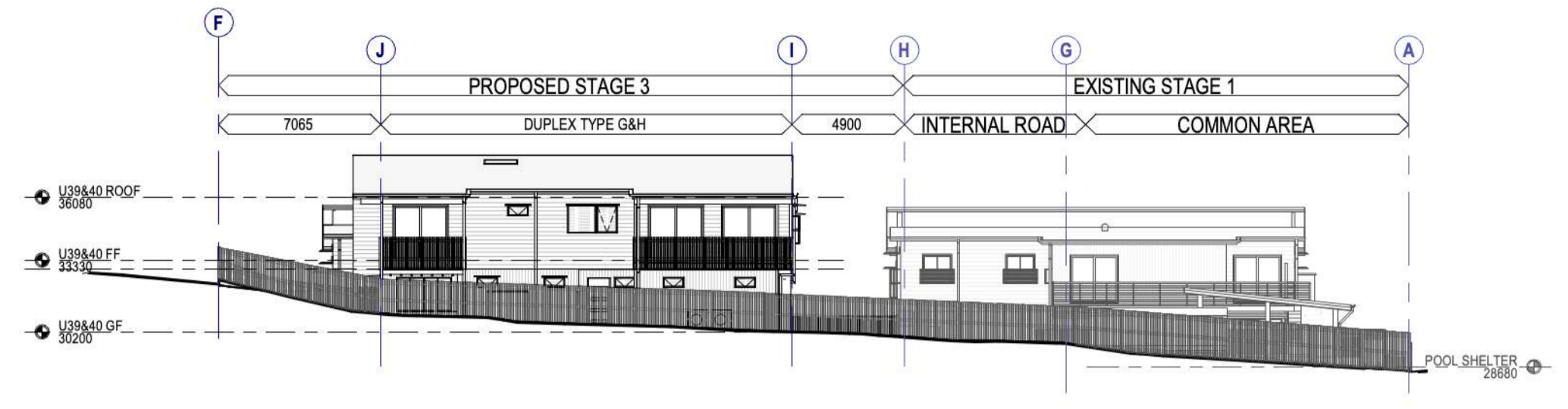
- STAGE 1 (EXISTING)
- STAGE 2 (EXISTING)
- STAGE 3 (PROPOSED)

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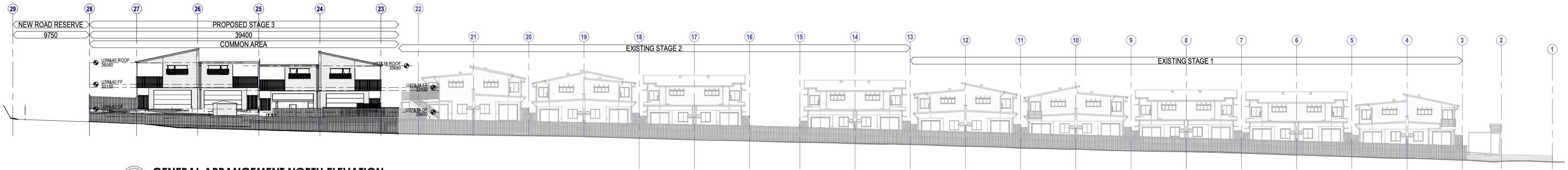
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TOWNHOUSE DEVELOPMENT	
CLIENT: HAMPTONS PTY LTD	
DRAWING TITLE: GENERAL ARRANGEMENT FIRST FLOOR PLAN	
DESIGNED BY: BDH	SCALE: 1 : 250
CHECKED BY: BDH	STAGE: DA - 04
DRAWN BY: MJ	DATE: 04.03.2026
PROJECT NO: 2012300-3	PAGE NO: D5 OF 13
1 3 0 0 1 3 3 9 1 7 info@mercury-design.com	



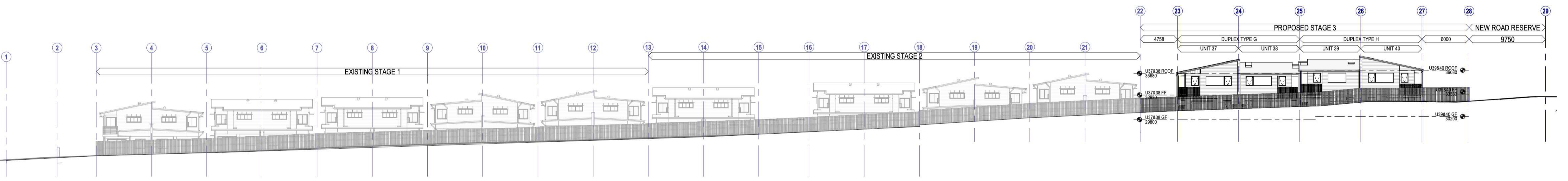
01 GENERAL ARRANGEMENT WEST ELEVATION
D4 Scale: 1 : 250



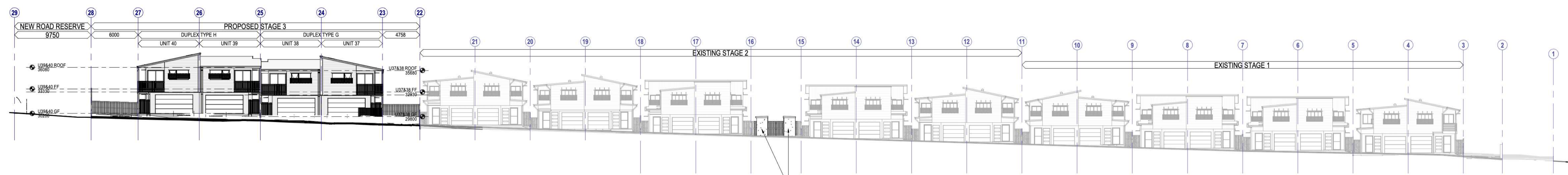
02 GENERAL ARRANGEMENT EAST ELEVATION
D4 Scale: 1 : 250



03 GENERAL ARRANGEMENT NORTH ELEVATION
D4 Scale: 1 : 250



04 GENERAL ARRANGEMENT SOUTH ELEVATION
D4 Scale: 1 : 250

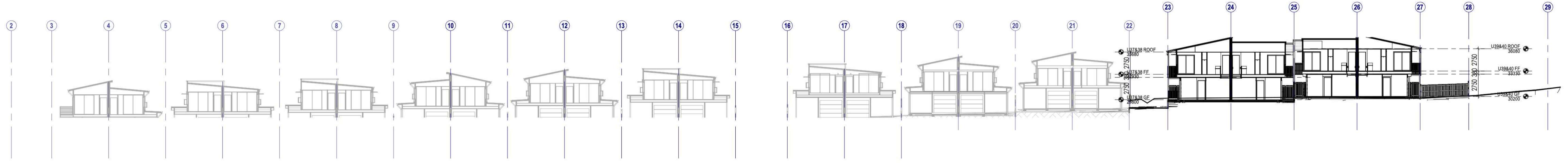


05 GENERAL ARRANGEMENT INT NORTH ELEVATION
D4 Scale: 1 : 250

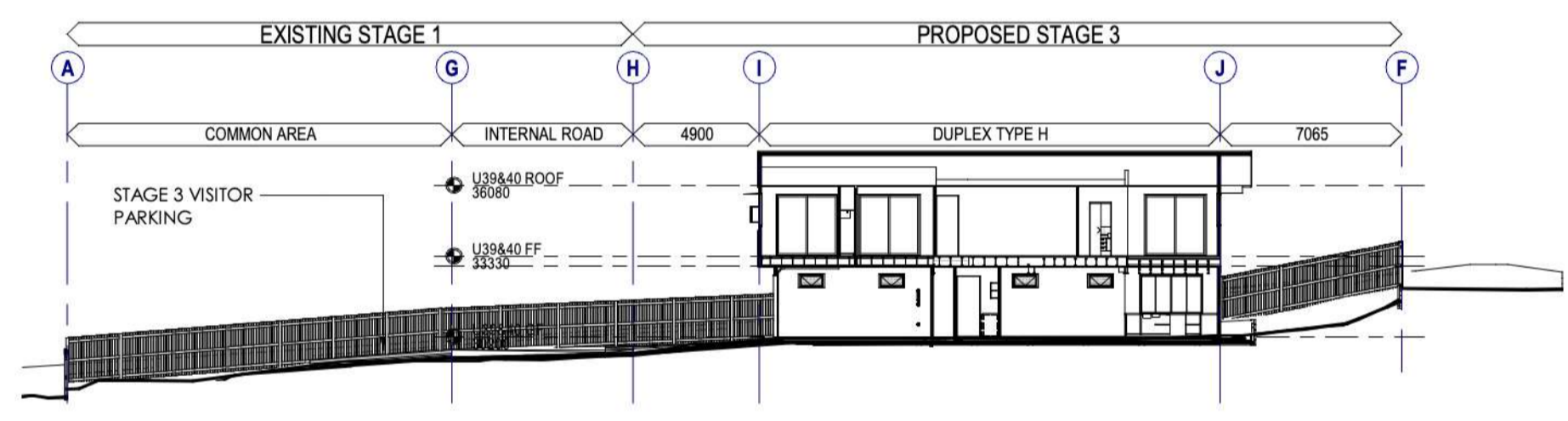
EXISTING ROOFED & SCREENED BIN STORE ENLARGED TO INCREASE CAPACITY

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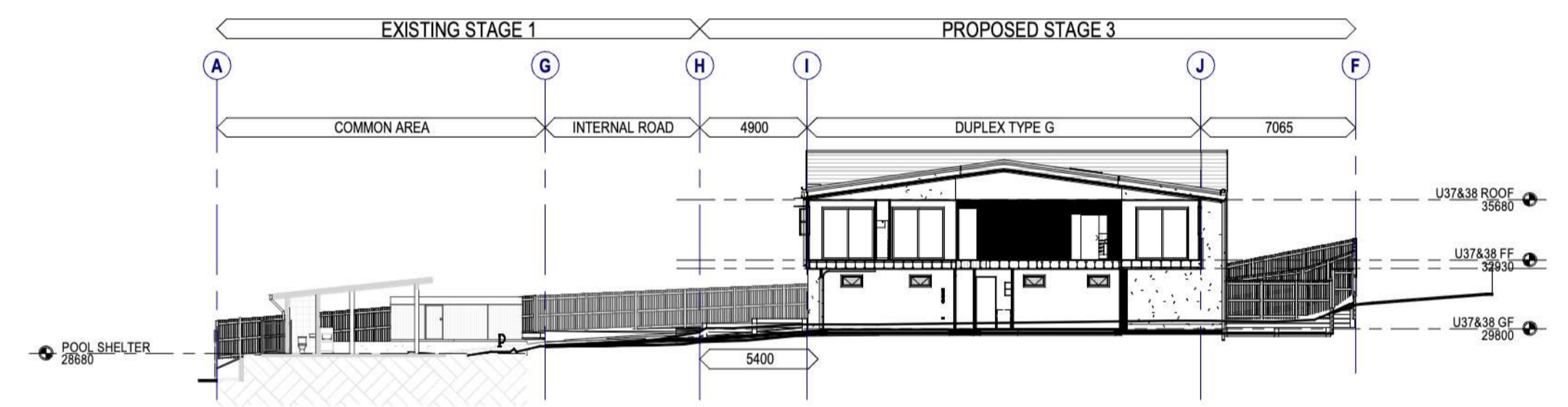
39 LACEY ROAD, CARSELDINE, QLD. 4034
 TOWNHOUSE DEVELOPMENT
 CLIENT: HAMPTONS PTY LTD
 DRAWING TITLE: GENERAL ARRANGEMENT ELEVATIONS
 DRAWING SCALE: 1 : 250
 CHECKED BY: BDH
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 PROJECT NO: 2012300-3
 PAGE NO: D6 OF 13
 1 3 0 0 1 3 3 9 1 7
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A GA SECTION A
D13 Scale: 1 : 250



B GA SECTION B
A3-6 Scale: 1 : 250



C GA SECTION C
Scale: 1 : 250

- SECTION NOTES**
- 1) CONCRETE SLAB, BLOCKWORK & FOOTING DESIGN TO ENGINEERS SPECIFICATIONS ON 0.2mm & 50mm MINIMUM SAND BEDDING
 - 2) 200 SERIES BLOCKWORK CORE FILLED AND REINFORCED TO ENGINEER'S SPECIFICATION
 - 3) EXTERNAL BLOCK WALLS RENDERED AND PAINTED TO SELECTION
 - 4) 10mm PLASTERBOARD LINING TO INTERNAL 70/ 90mm STUD PARTITION WALLS
 - 5) COLORBOND SPANDEK ROOFING AT PITCH SHOWN (MIN 3°) WITH 75mm ANTICON BLANKET OR SIMILAR INSULATION TO SELECTION OVER 40mm TOP HAT BATTENS @900ctrs ON TIMBER TRUSSES TO MANUFACTURERS SPECIFICATIONS @900ctrs WITH 10mm PLASTERBOARD CEILING TO 28mm METAL CEILING BATTENS @ 600ctrs
- (NOTE: BATTENS MAY NEED TO BE INSTALLED @450ctrs TO COMPLY WITH WORKPLACE HEALTH & SAFETY REQUIREMENTS IF NO OTHER METHOD OF FALL ARREST IS ADDRESSED)
- 6) COLORBOND GUTTER AND DOWNPIPES TO MATCH ROOFING TO SELECTION. 'OPTION' TIMBER OR COLORBOND FASCIA TO MATCH ROOFING
 - 7) ALL JOINERY AT 2100 HEAD HEIGHT (UNO) TO SELECTION
 - 8) TREADS & RISERS TO COMPLY WITH B.C.A. PART 3.9.1.4 BALUSTRADE & HANDRAILS TO COMPLY WITH B.C.A. PART 3.9.1.5
 - 9) FULL TERMITE TREATMENT SYSTEM TO A.S. 3660 BY LICENCED INSTALLER (SYSTEM TO PROVIDE 50 YEAR SERVICE GUARANTEE)

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PROJECT: TOWNHOUSE DEVELOPMENT	
CLIENT: HAMPTONS PTY LTD	
DRAWING TITLE: GENERAL ARRANGEMENT SECTIONS	
DESIGNED BY: BDH	As indicated
CHECKED BY: BDH	DA - 04
DRAWN BY: MJ	DATE: 04.03.2026
PROJECT NO: 2012300-3	DATE: D7 OF 13



EXISTING ESTABLISHED TROPICAL PLANTING



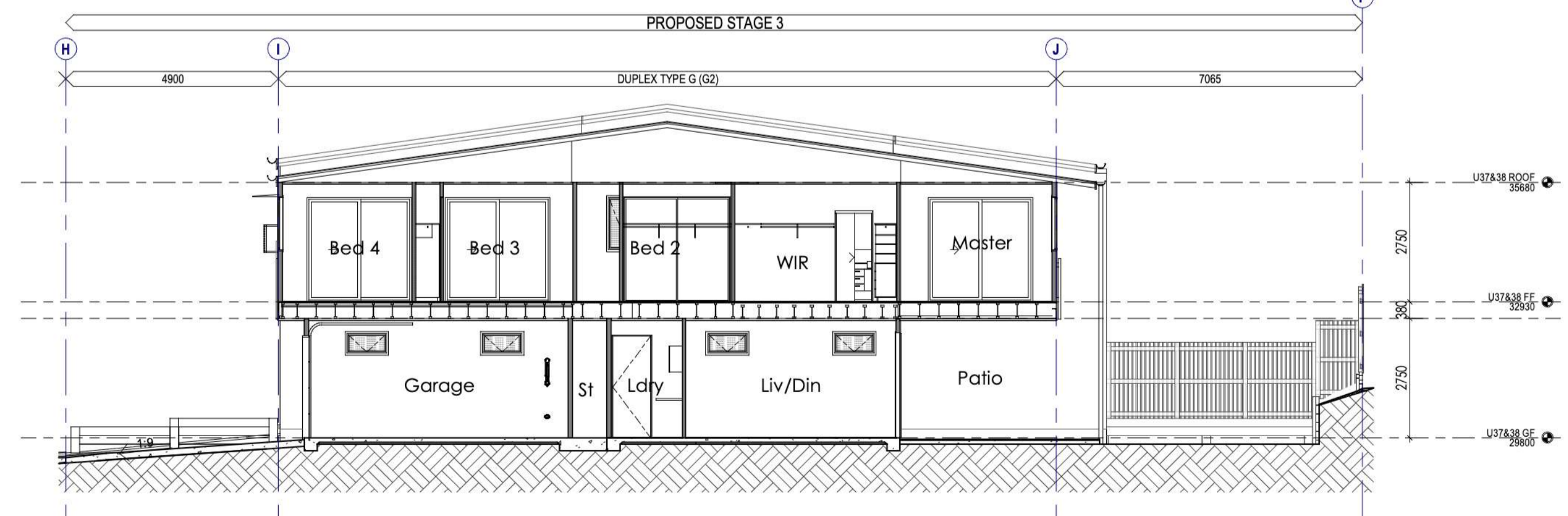
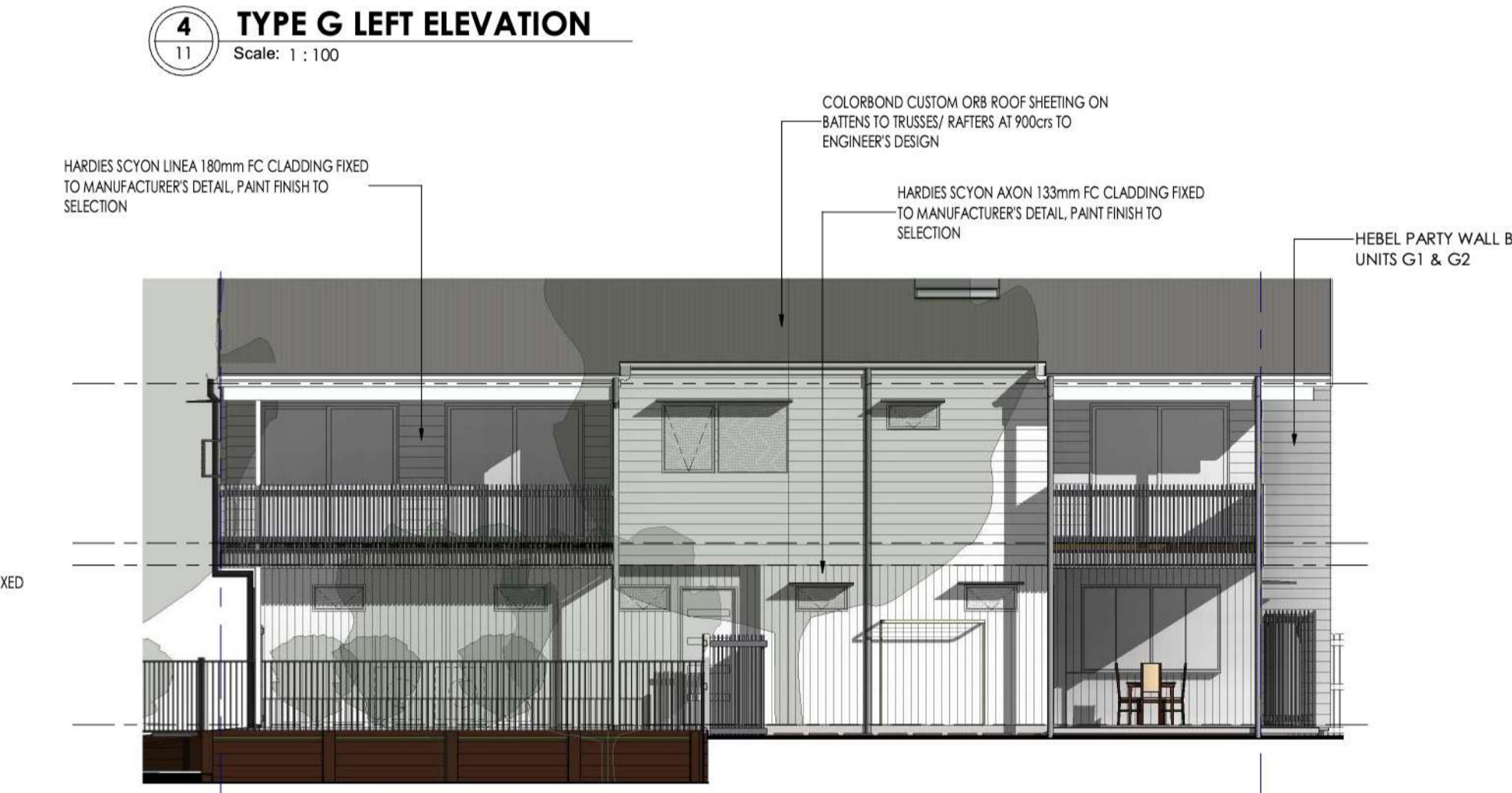
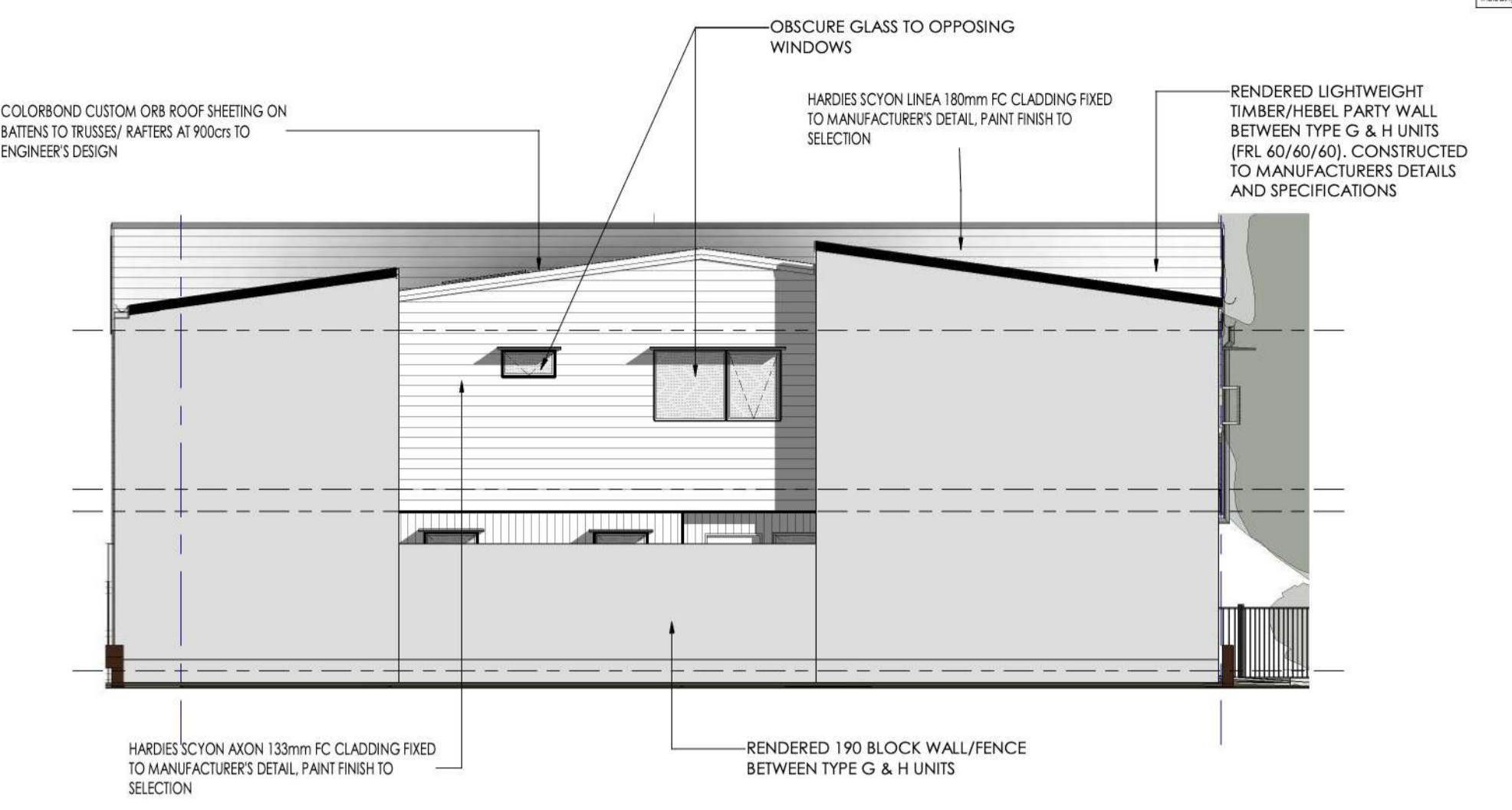
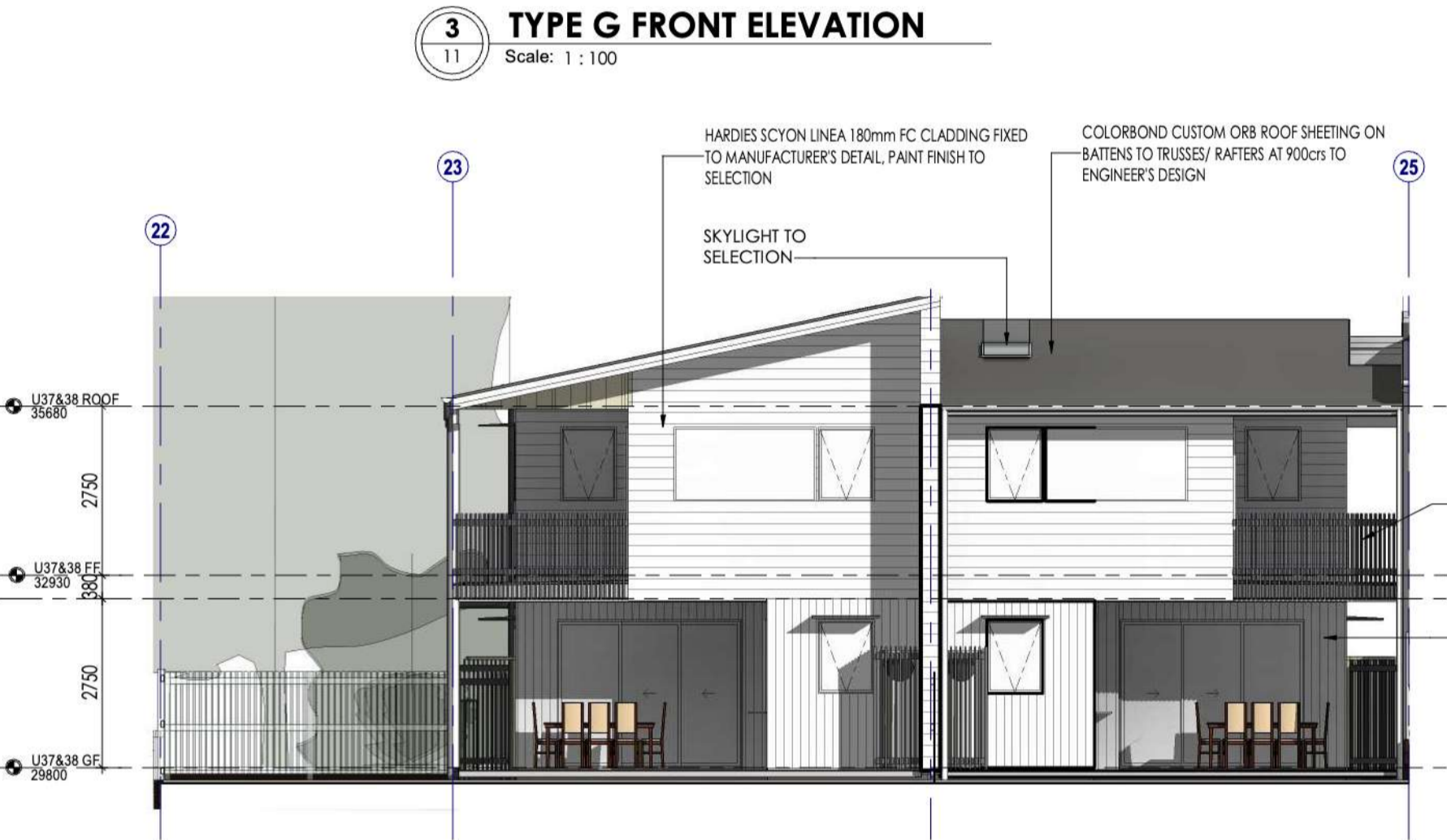
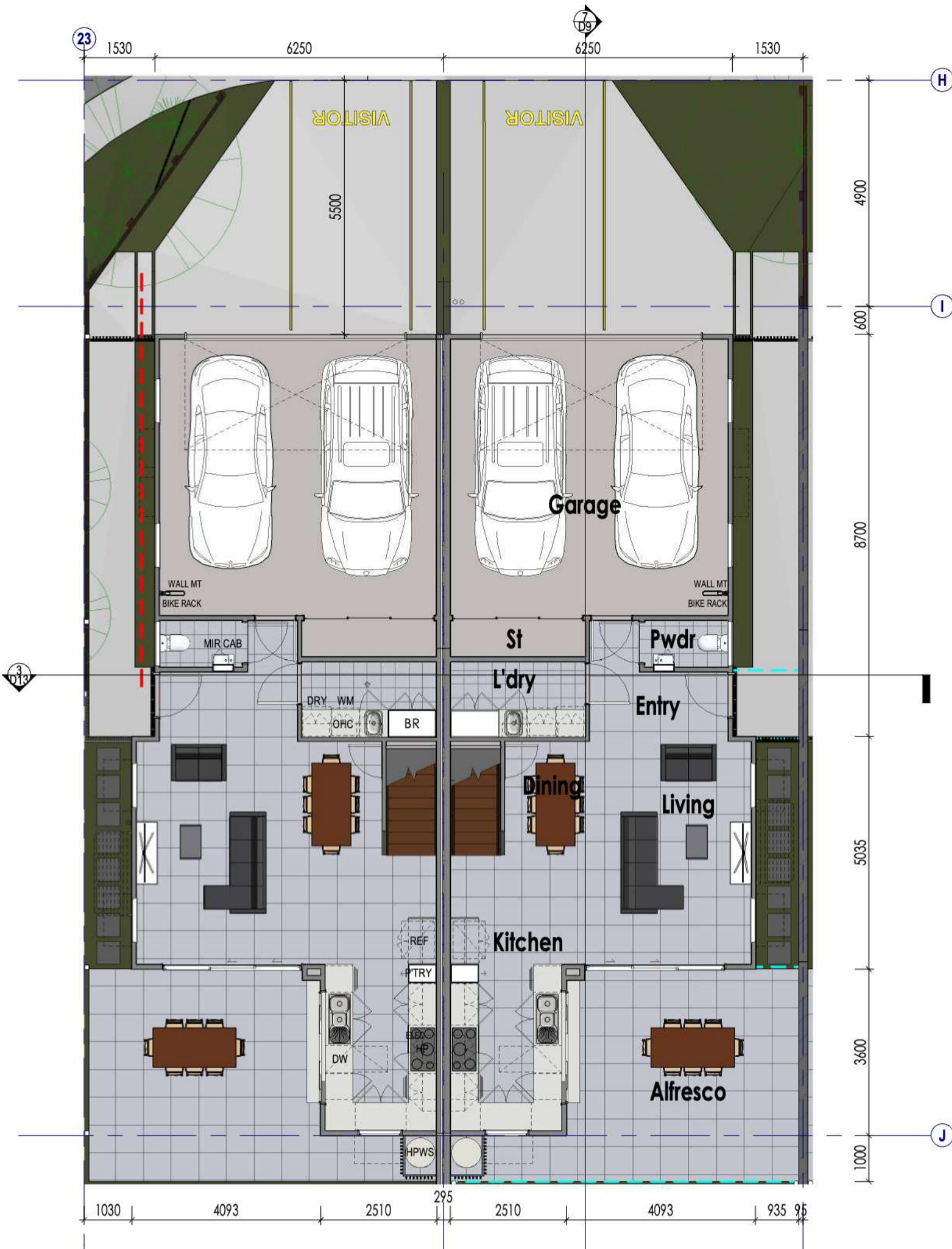
TREE REMOVAL TO ARBORISTS REPORTS AND ON SITE SUPERVISION

PLANTING TO LANDSCAPE ARCHITECTS PLANS AND SPECIFICATIONS

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1 PROPOSED STAGE 3 AREA PLAN
 Scale: 1:100

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TOWNHOUSE DEVELOPMENT	
CLIENT: HAMPTONS PTY LTD	
DRAWING TITLE: PROPOSED STAGE 3 AREA PLAN	
DRAWN BY: BDH	SCALE: 1:100
CHECKED BY: BDH	STAGE: DA - 04
DRAWN BY: RW	DATE: 04.03.2026
PROJECT NO: 2012300-3	PAGE NO: D8 OF 13
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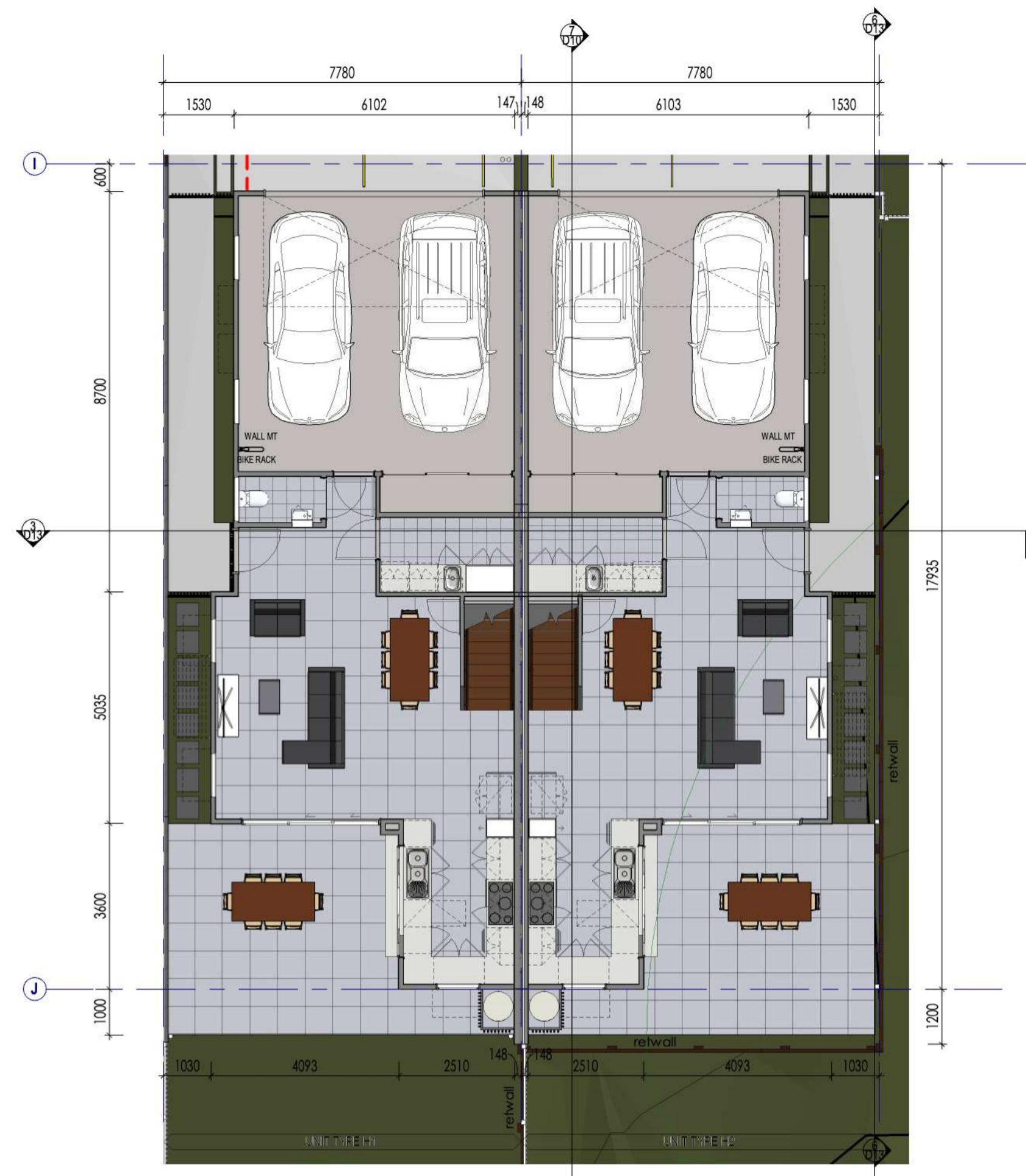
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TYPE G FLOOR AREA	
TYPE G1	
ALFRESCO	18.3 m ²
GARAGE	41.1 m ²
LIVING GF	57.0 m ²
DECK	22.7 m ²
DECK	10.4 m ²
LIVING FF	94.8 m ²
STAIR VOID	3.8 m ²
	248.2 m ²
TYPE G2	
ALFRESCO	18.0 m ²
GARAGE	41.1 m ²
LIVING GF	57.0 m ²
DECK	22.1 m ²
DECK	10.4 m ²
LIVING FF	94.8 m ²
STAIR VOID	3.8 m ²
	247.2 m ²
Grand total	495.4 m ²

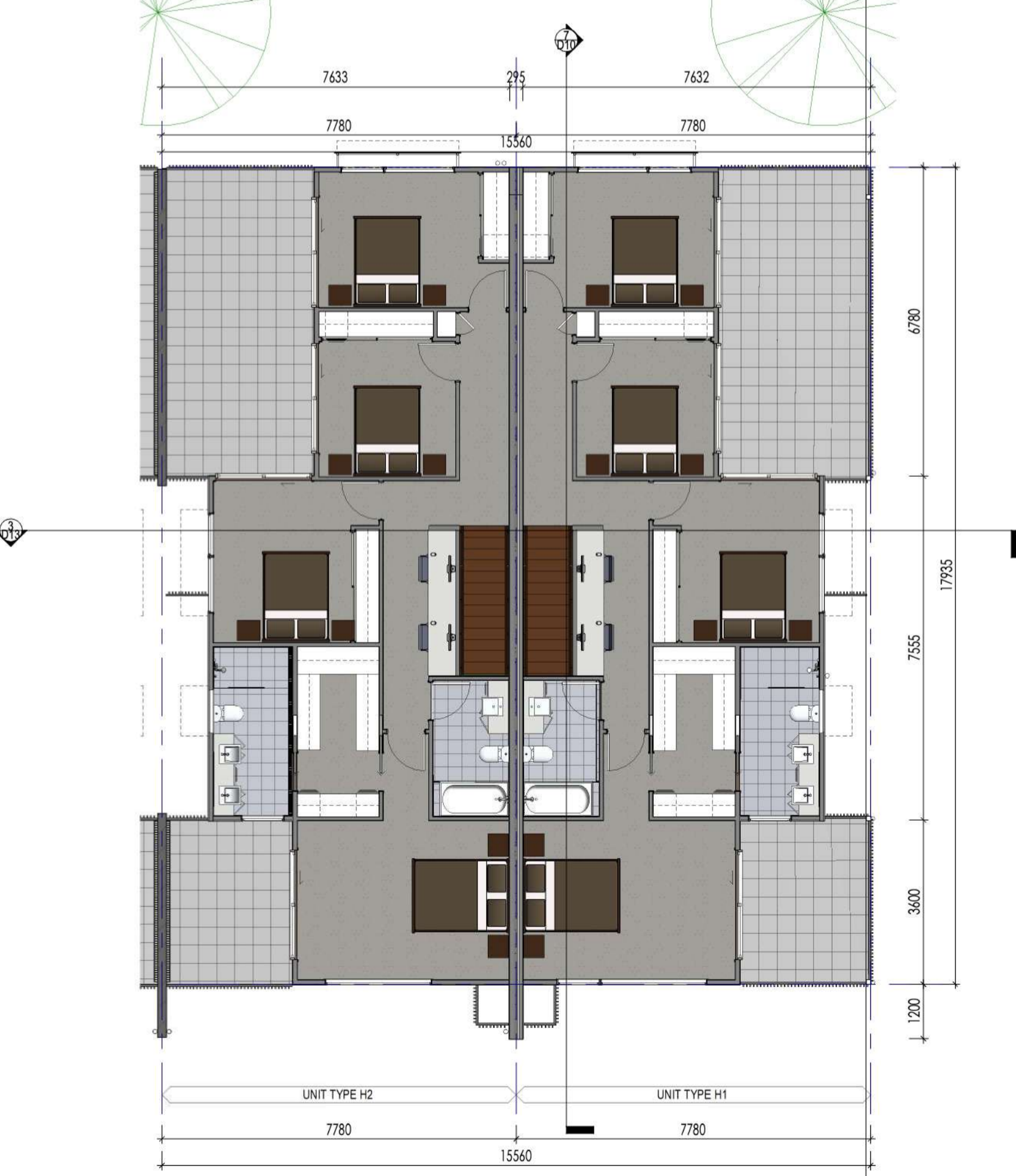
WALL LEGEND

- timber stud wall
- low height stud wall
- oak black & stud
- discontinuous construction, refer detail

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TOWNHOUSE DEVELOPMENT
CLIENT: HAMPTONS PTY LTD
DRAWING TITLE: TYPE G FLOOR PLANS & ELEVATIONS
DESIGNED: BDH
CHECKED: MJ
DATE: 04.03.2026
PROJECT NO: 2012300-3
PAGE NO: D9 OF 13
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1 TYPE H GROUND FLOOR
Scale: 1 : 100



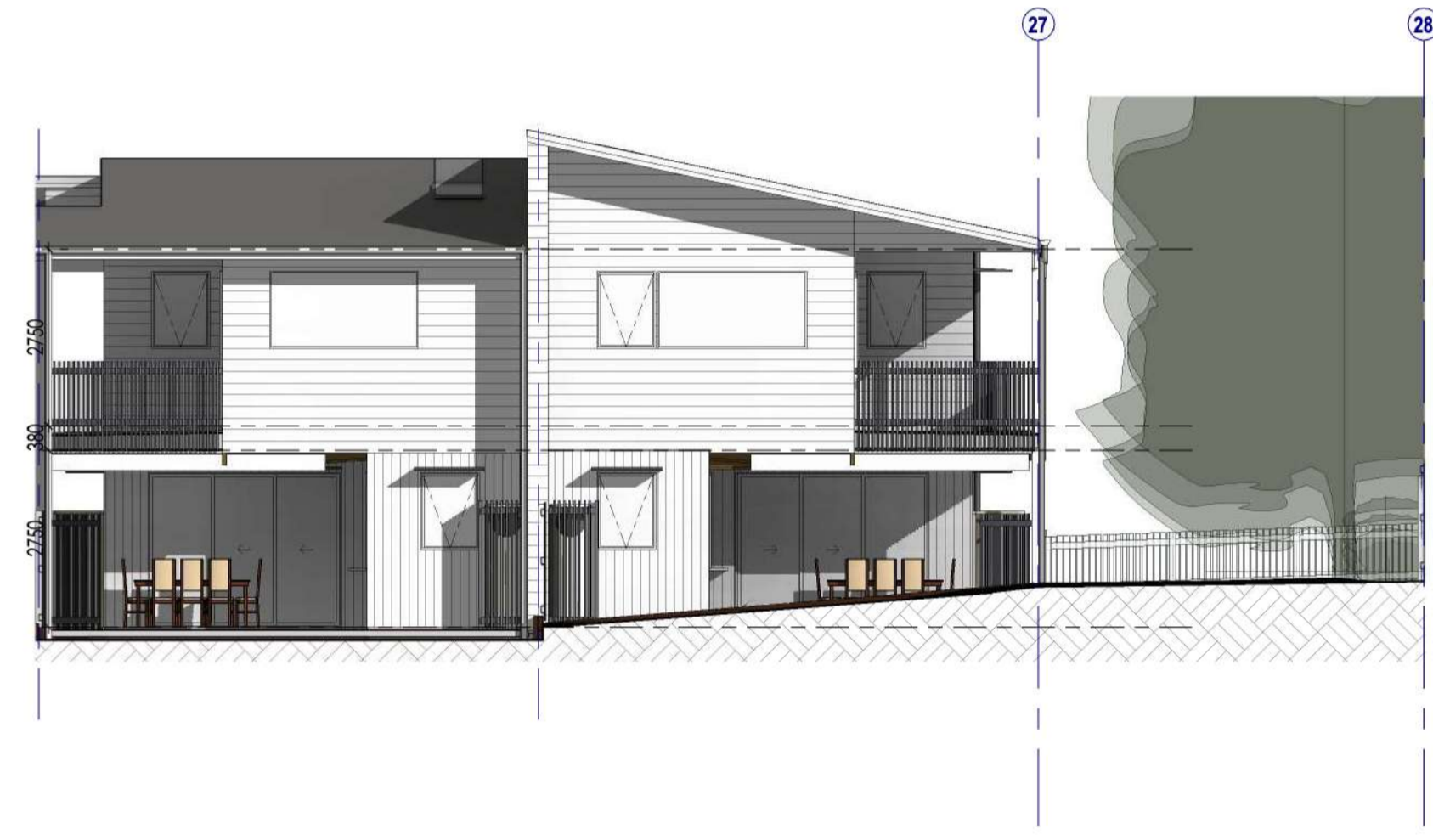
2 TYPE H FIRST FLOOR
Scale: 1 : 100



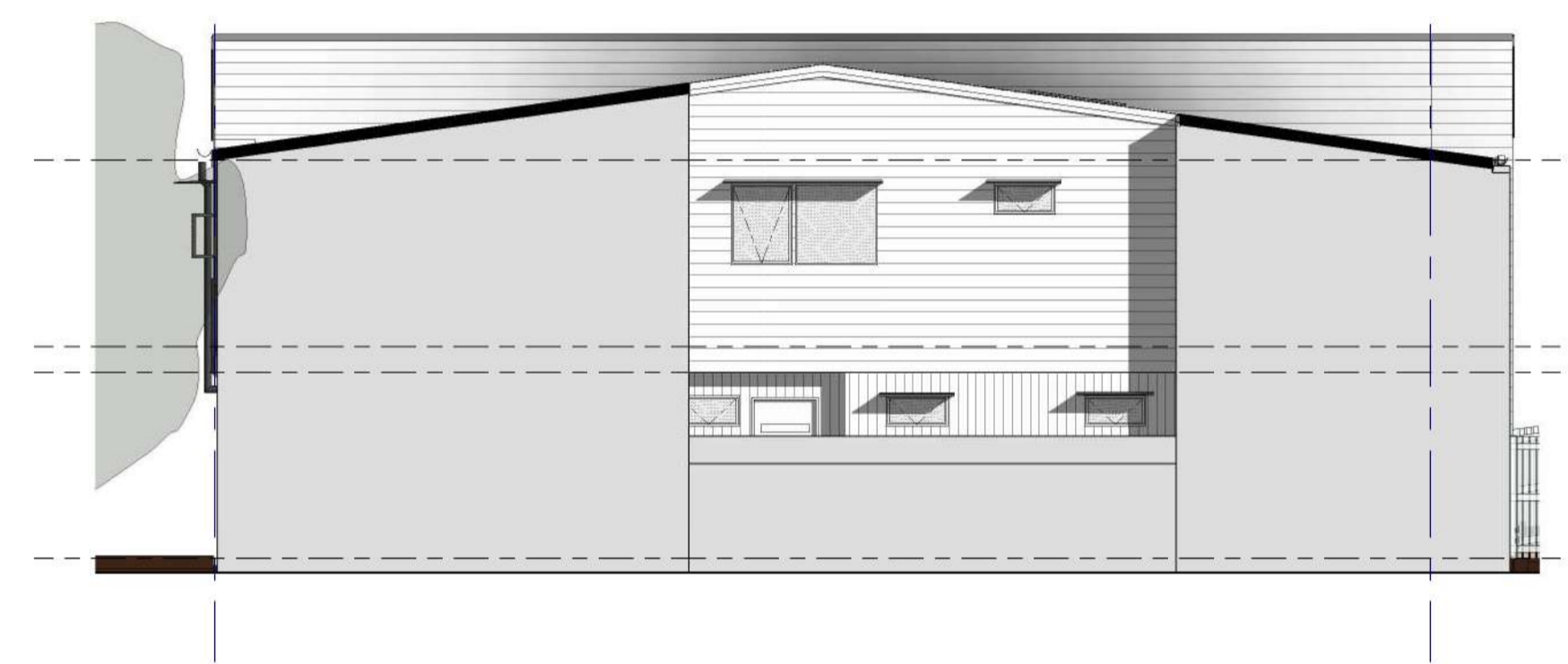
3 TYPE H FRONT ELEVATION
Scale: 1 : 100



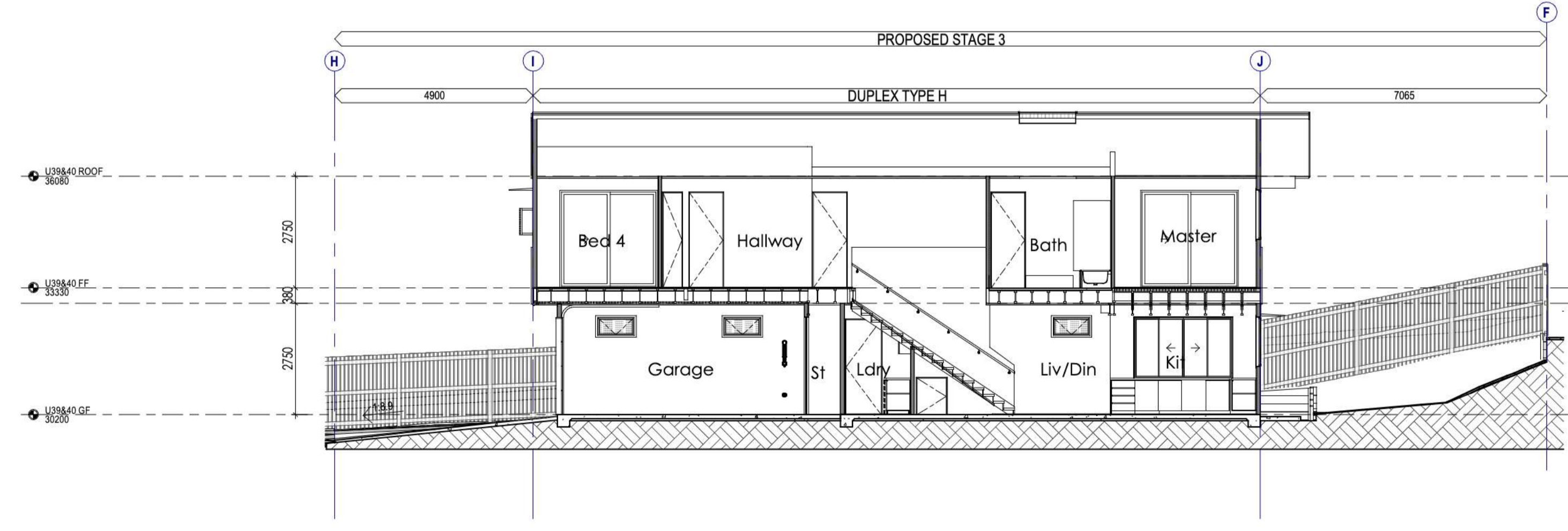
4 TYPE H LEFT ELEVATION
Scale: 1 : 100



5 TYPE H REAR ELEVATION
Scale: 1 : 100



6 TYPE H RIGHT ELEVATION
Scale: 1 : 100



7 UNIT TYPE H SECTION
Scale: 1 : 100

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TYPE H FLOOR AREA	
TYPE H1	Not Placed
PORCH	18.0 m ²
ALFRESCO	41.1 m ²
GARAGE	41.1 m ²
LIVING GF	57.0 m ²
DECK	10.2 m ²
LIVING FF	22.1 m ²
LIVING FF	94.8 m ²
STAIR VOID	3.8 m ²
	247.1 m ²
TYPE H2	Not Placed
PORCH	18.3 m ²
ALFRESCO	41.1 m ²
GARAGE	41.1 m ²
LIVING GF	57.0 m ²
DECK	22.5 m ²
LIVING FF	94.8 m ²
STAIR VOID	3.8 m ²
	237.6 m ²
Grand total	484.6 m ²

WALL LEGEND

- timber stud wall
- low height stud wall
- aac block & stud
- discontinuous construction, refer detail

39 LACEY ROAD, CARSELDINE, QLD, 4034
TOWNHOUSE DEVELOPMENT
CLIENT: HAMPTONS PTY LTD
DRAWING TITLE: TYPE H FLOOR PLANS, ELEVATIONS & SECTION
DRAWN: BDH
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AREA SUMMARY	
NUMBER OF UNITS	
EXISTING	37 units
DEMOLITION	1 unit
PROPOSED STAGE 3	4 units
NEW COMBINED TOTAL:	40 units
SITE COVER	
TOTAL SITE	9668 m ²
EXISTING SITE COVER	4039.7 m ² or 41.8 %
PROPOSED SITE COVER	SITE COVER 4293.1 m ² or 44.4 %

EXISTING PARKING SUMMARY	
PARKING (EXISTING DEVELOPMENT APPROVAL)	
EXISTING EXCLUSIVE USE	74
EXISTING VISITOR	6
EXISTING TOTAL:	TOTAL = 80

PROPOSED PARKING SUMMARY	
PARKING (STAGE 3)	
REQUIRED EXCLUSIVE USE	4 units x 2.5 = 10
PROVIDED EXCLUSIVE USE	12
REQUIRED VISITOR USE	0.25 PER UNIT = 2
PROVIDED VISITOR USE	5
STAGE 3 TOTAL:	17
1 X EXISTING VISITOR REMOVED FOR ROAD RESERVE	-1
2 X EXISTING EXCLUSIVE USE DEMOLISHED	-2
COMBINED NEW (EXISTING + STAGE 3) TOTAL:	= 94

NOTE: 1 X BIKE PARK IN EACH NEW GARAGE
10 X VISITOR BIKE PARKING PROVIDED IN COMMUNAL REC AREA



01 PARKING EXISTING
Scale: 1:500

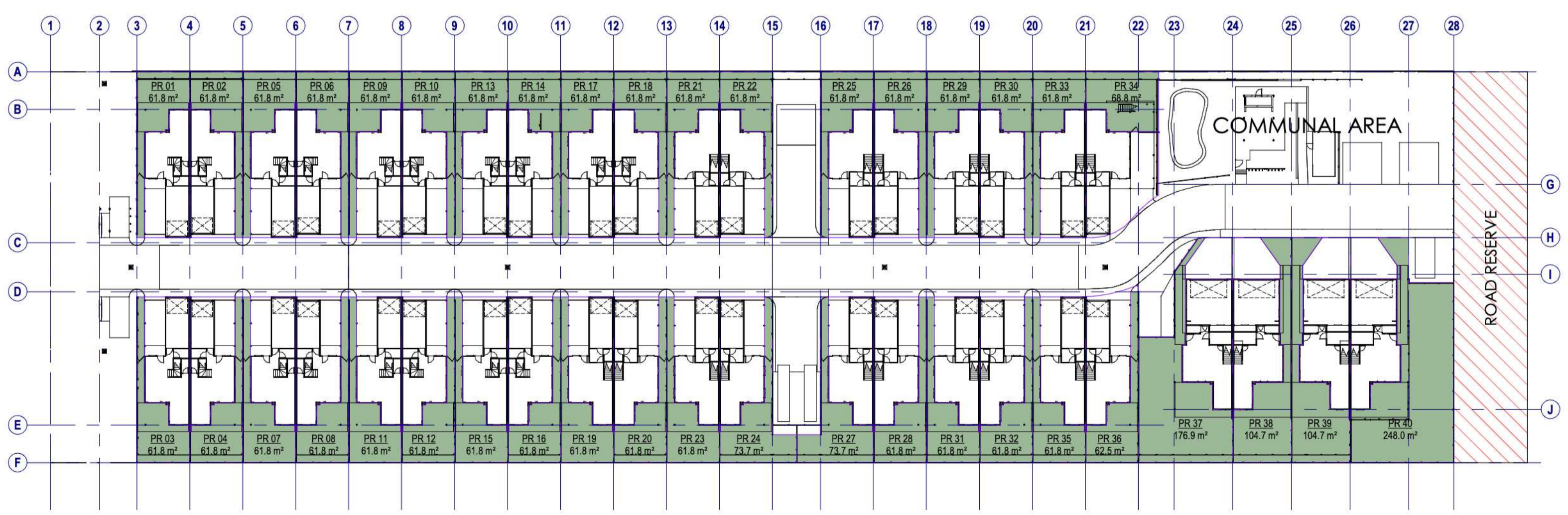


02 PARKING PROPOSED
Scale: 1:500

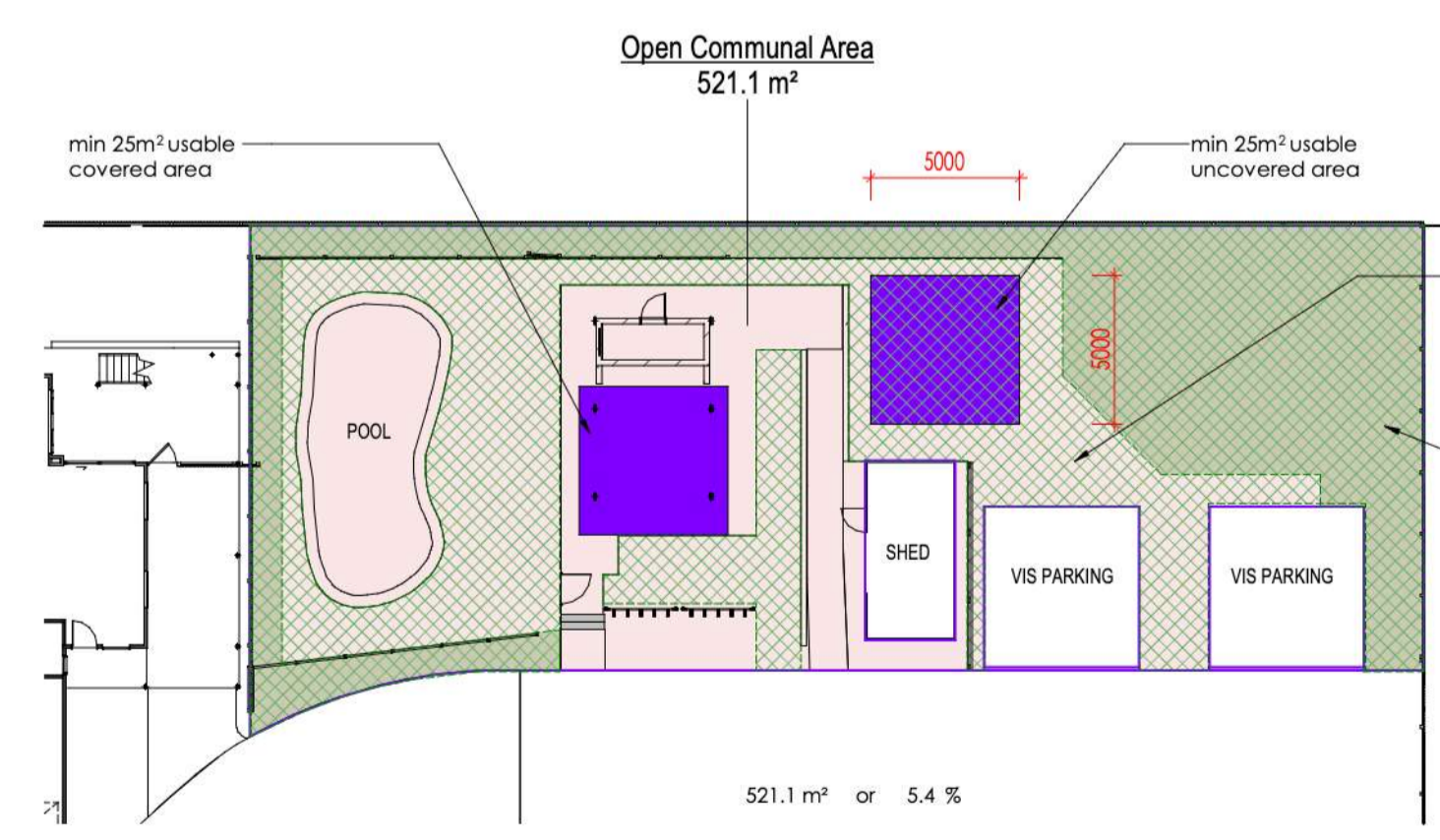


EXISTING REFUSE SUMMARY	
EXISTING APPROVED	BIN/CAPACITY
BULK GENERAL WASTE	2 X 1100LT
BULK RECYCLING	2 X 1100LT
TOTAL PROVIDED:	4 X 1100LT

PROPOSED REFUSE SUMMARY	
PROPOSED STAGE 3	
REQUIRED: 4 UNITS X 240LT GEN WASTE	960LT
4 UNITS X 240LT RECYCLE	960LT
PROVIDED: BULK GENERAL WASTE	2 X 1100LT
BULK RECYCLING	2 X 1100LT
TOTAL:	4 X 1100LT
NEW COMBINED TOTAL (EXISTING & STAGE 3)	8 X 1100LT



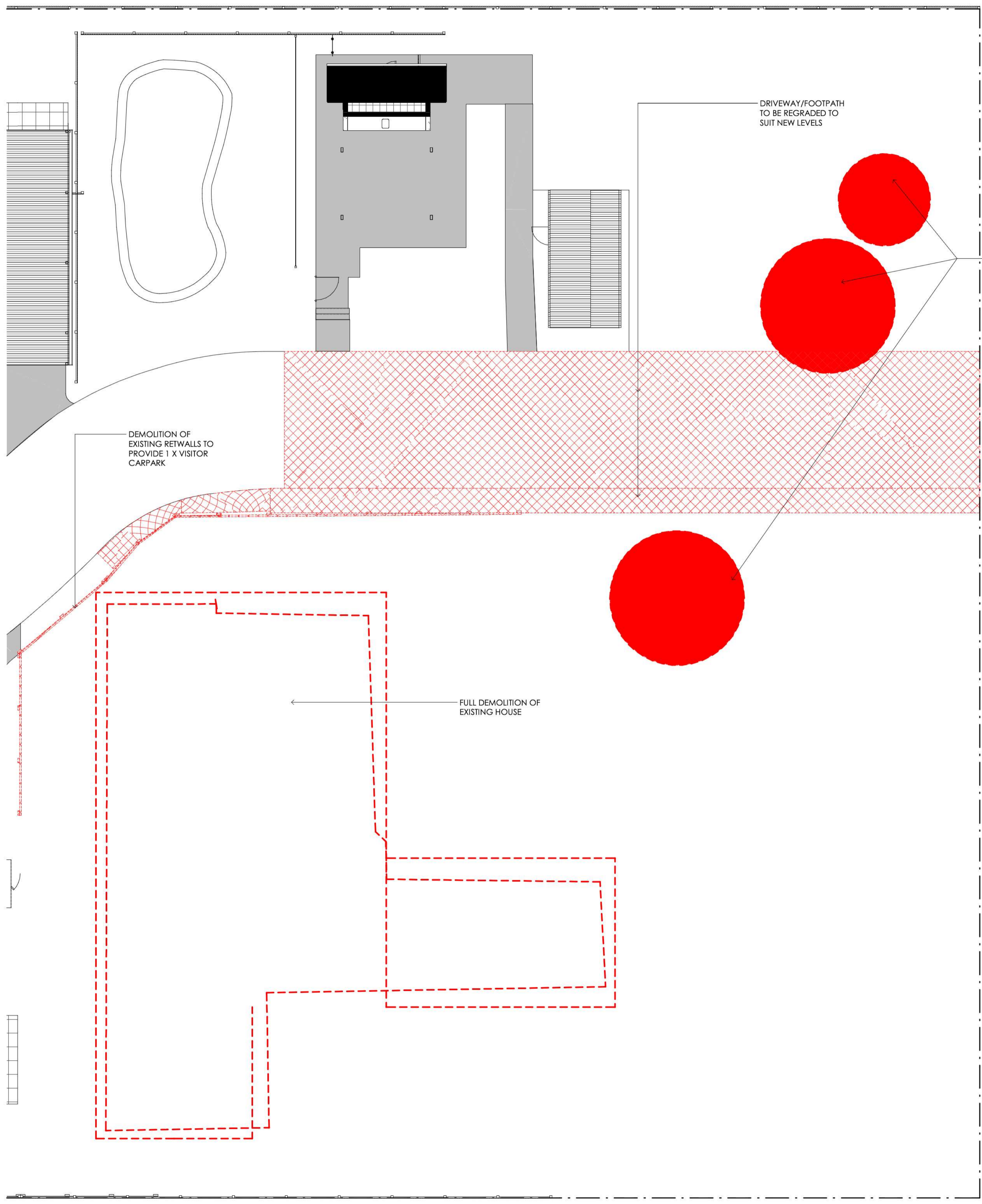
03 PRIVATE RECREATION AREAS
Scale: 1:500



4 Communal Area Plan
Scale: 1:250

PRIVATE REC AREA		PRIVATE REC AREA	
PR 01	61.8 m ²	PR 25	61.8 m ²
PR 02	61.8 m ²	PR 26	61.8 m ²
PR 03	61.8 m ²	PR 27	73.7 m ²
PR 04	61.8 m ²	PR 28	61.8 m ²
PR 05	61.8 m ²	PR 29	61.8 m ²
PR 06	61.8 m ²	PR 30	61.8 m ²
PR 07	61.8 m ²	PR 31	61.8 m ²
PR 08	61.8 m ²	PR 32	61.8 m ²
PR 09	61.8 m ²	PR 33	61.8 m ²
PR 10	61.8 m ²	PR 34	68.8 m ²
PR 11	61.8 m ²	PR 35	61.8 m ²
PR 12	61.8 m ²	PR 36	62.5 m ²
PR 13	61.8 m ²	PR 37	176.9 m ²
PR 14	61.8 m ²	PR 38	104.7 m ²
PR 15	61.8 m ²	PR 39	104.7 m ²
PR 16	61.8 m ²	PR 40	248.0 m ²
PR 17	61.8 m ²		
PR 18	61.8 m ²		
PR 19	61.8 m ²		
PR 20	61.8 m ²		
PR 21	61.8 m ²		
PR 22	61.8 m ²		
PR 23	61.8 m ²		
PR 24	73.7 m ²		

39 LACEY ROAD, CARSELDINE, QLD, 4034
CLIENT: HAMPTONS PTY LTD
DRAWING TITLE: AREA SUMMARY & EXCLUSIVE USE AREAS
DRAWN BY: BDH
CHECKED BY: MJ
DATE: 04.03.2026
PROJECT NO: 2012300-3
PAGE NO: D11 OF 13
1 3 0 0 1 3 3 9 1 7
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1 HOUSE DEMO GROUND FLOOR
Scale: 1 : 100

39 LACEY ROAD, CARSELDINE, QLD, 4034	
PROJECT: TOWNHOUSE DEVELOPMENT	
CLIENT: HAMPTONS PTY LTD	
DRAWING TITLE: DEMOLITION	
DESIGNED: BDH	SCALE: 1 : 100
CHECKED: BDH	STAGE: DA - 04
DRAWN: MJ	DATE: 04.03.2026
PROJECT NO: 2012300-3	PAGE NO: D12 OF 13

