TOWN PLANNING ASSESSMENT REPORT

in support of an application for a

RENOVATIONS AND/OR EXTENSIONS TO A HERITAGE LISTED HOUSE IN THE TRADITIONAL BUILDING CHARACTER OVERLAY INCLUDING PARTIAL DEMOLITION at 124 SHERWOOD ROAD in TOOWONG

Brisbane

TOWN PLANNING

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LODGED
10/08/2026
APPLICATION REF
A007085935

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1 EXECUTIVE SUMMARY

Site basics

Real property description	Lot 17-23 on RP19798
Site area	4,330m^2 (large lot by definition)
Existing use	Pre-1947 dwelling house
DA (planning) history	Yes
Zone/s	Character residential (CR2 - infill housing) zone
Relevant overlays	Dwelling house character overlay, Heritage overlay, and Traditional building character overlay
Neighbourhood plan	Toowong—Indooroopilly district neighbourhood plan
SEQ Regional Plan category	Urban footprint
Protected vegetation (Bio/SLT overlay or NALL)	Not applicable
Verge obstructions	Not applicable
Services	Readily available

Proposal basics

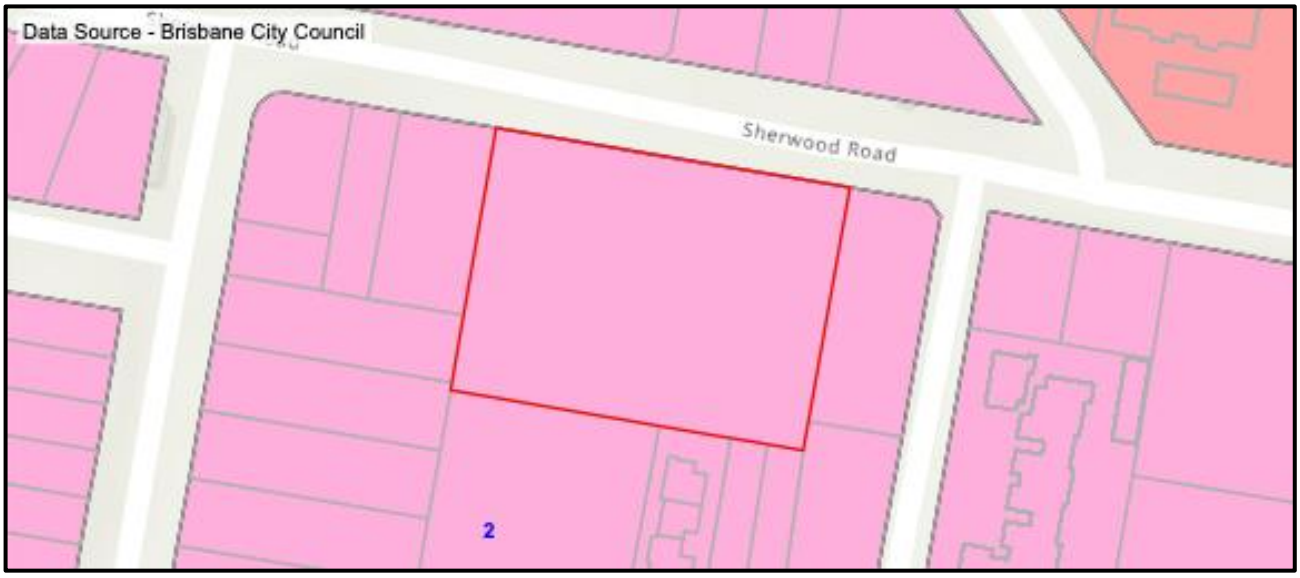
Proposed use	Dwelling house
Proposal description in general terms	Renovations and/or extensions to a house
Proposal description in planning scheme terms	Renovations and/or extensions to a heritage listed house in the traditional building character overlay, including partial demolition
Development type	Development permit for carrying out building work
Category of development and assessment	Impact assessable
Performance outcomes sought	Refer to section 6
Referrals	None
Related approvals	Building approval (to follow)
Specialist reports	Heritage Impact Assessment

2 BACKGROUND

2.1 Site context

The subject site is positioned approximately 4km to the west of the CBD, in an area that is dominated by pre detached dwellings and post-1946 units.

The site is located in the Character residential (CR2 - infill housing) zone. The purpose of the character residential zone code is to *"provide for a particular character of a predominantly residential area. The residential uses are supported by community uses and small-scale services and facilities that cater for local residents."*



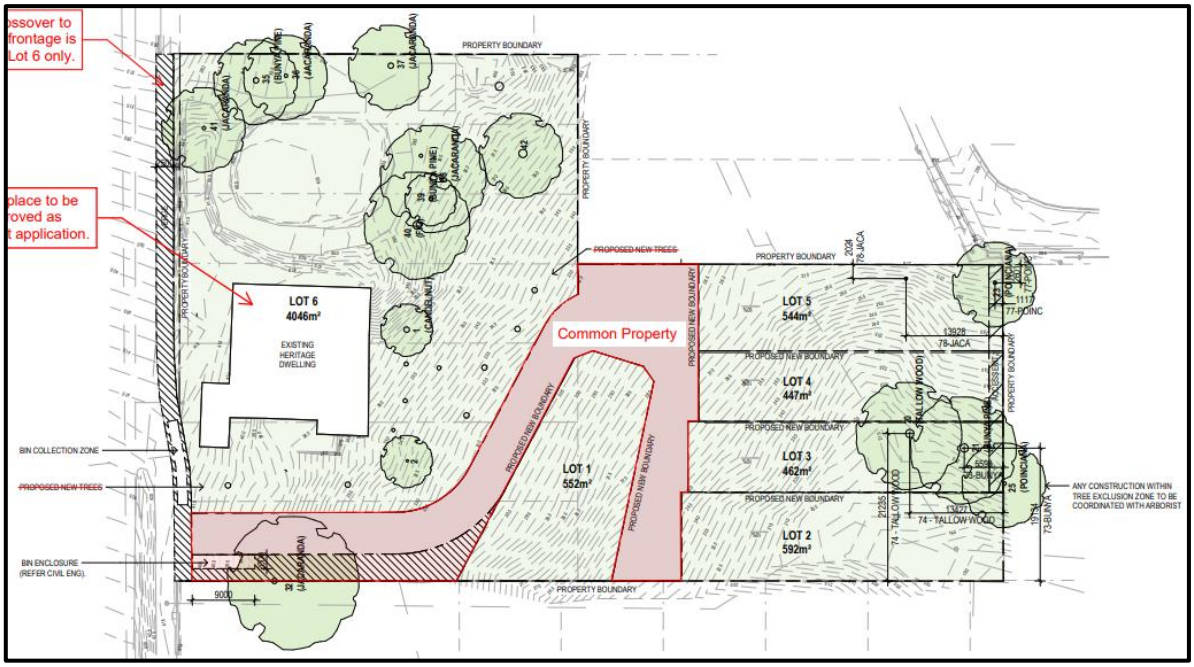
CR2 Character resi 2 LMR2 Low-medium density resi 2

2.2 Existing use

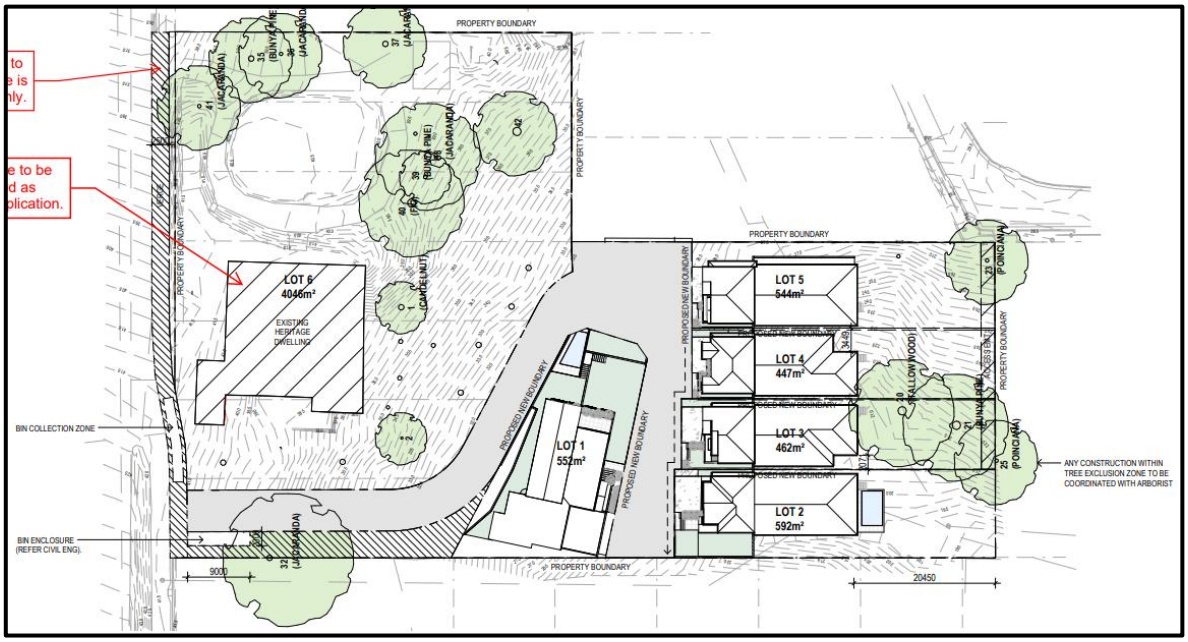
The existing dwelling was built on the subject site prior to 1911. Please refer to section 6 of this report and the enclosed specialist report for more information.

2.3 Application/permit history

In 2021, an application was lodged for Reconfiguring a Lot and new dwelling houses. This application was approved by the courts on 20/02/2023. We confirm that this application has not been acted upon.



Previously approved subdivision plan



Previously approved site plan (lot 1)

Our client has since sold the southern lot (29 Dovercourt Road).

We understand the new owners of that portion of land have since received approval for a new dwelling house and are planning on commencing work soon. Please refer to application number A006953084 for more information.

We also confirm that given the nature of the previous history on the site, no formal or informal discussions have been held with Council.

Previous council application/s

Finally, it is noted that the site is not listed as a registered boarding house on the Department of Housing and Public Works' register of residential services. Meaning there are no further non-standard demolition protections to consider. Refer to the image below for clarification.

Boarding House

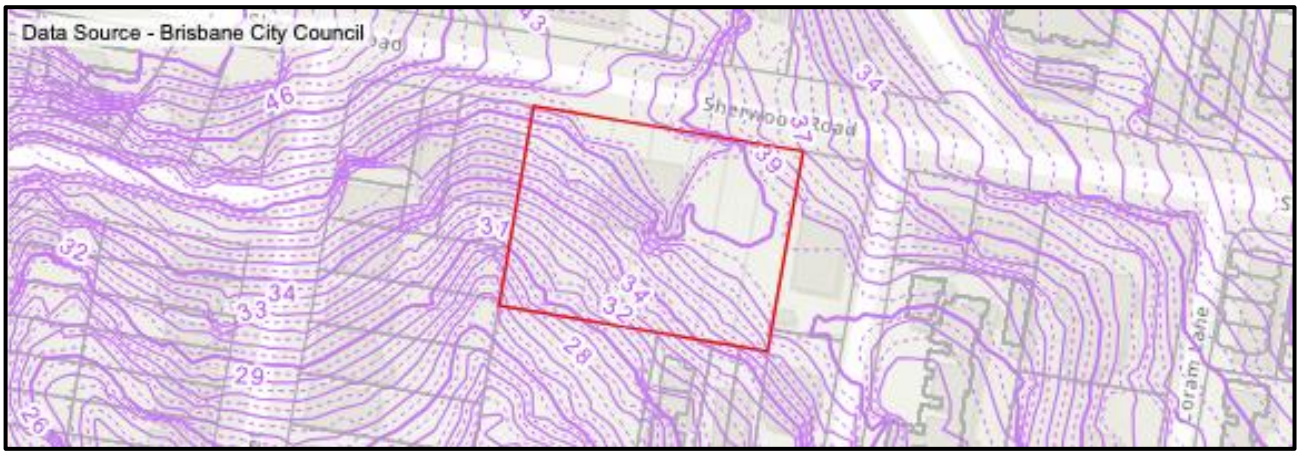
3 SITE INFORMATION

3.1 Site basics

The subject site consists of a regular-shaped 4,330m^2 large property. Being above 450m^2, it is classed as a “large lot” for planning purposes.

3.2 Topography

As seen in the 2002 BCC contours image below, the subject site slopes steadily down to the south-western corner.



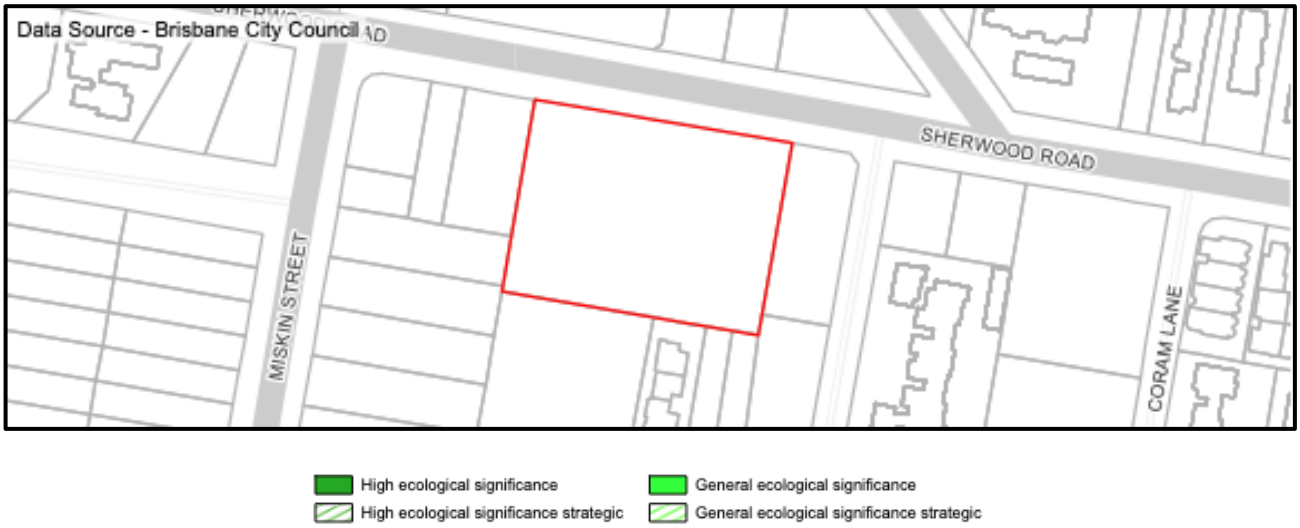
3.3 Easements and covenants

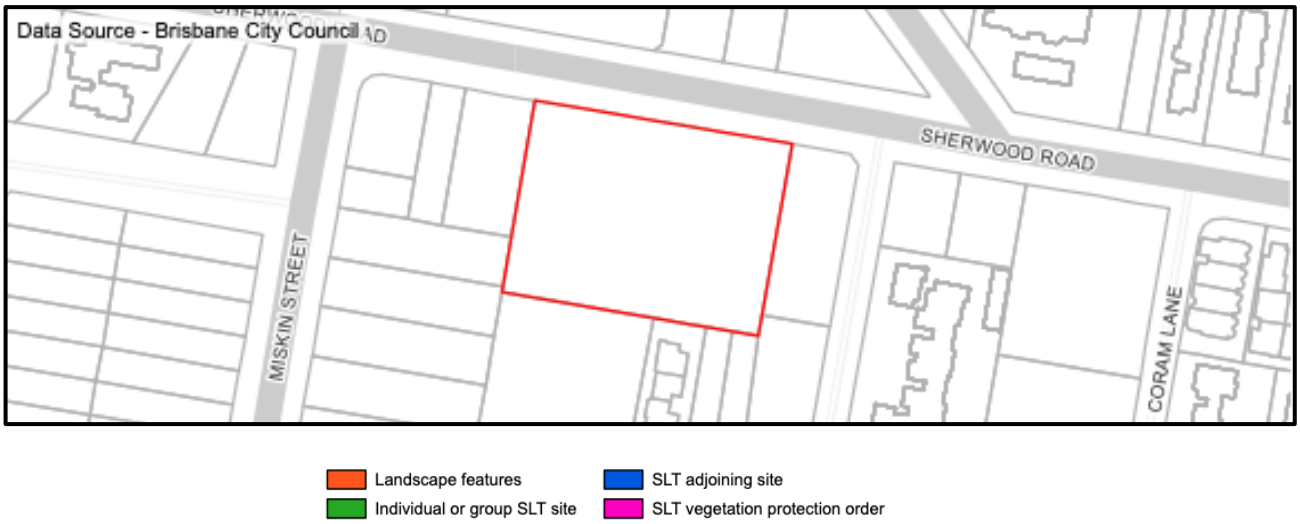
The image below suggests that the site is not constrained by any easement/s or covenant/s. It is noted that this information is taken from the state government mapping source, and has, on occasion, been known to miss encumbrances. As such, this information should be used as a guide only for the planning purposes.

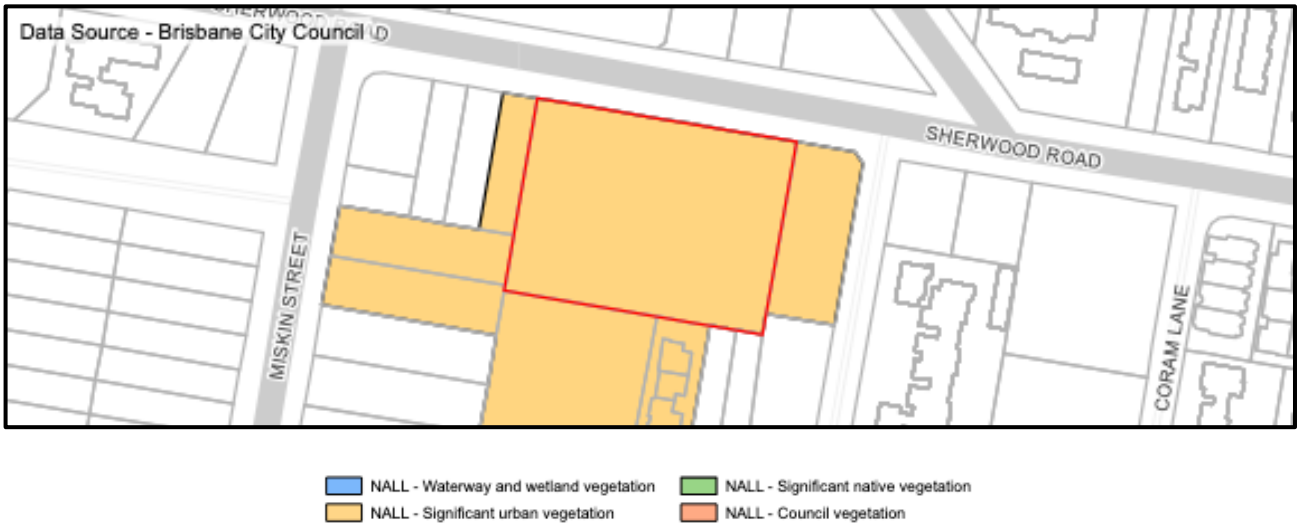
Easement

3.4 Vegetation

The subject site contains sparse domestic vegetation, and it is constrained by NALL (natural assets local laws).



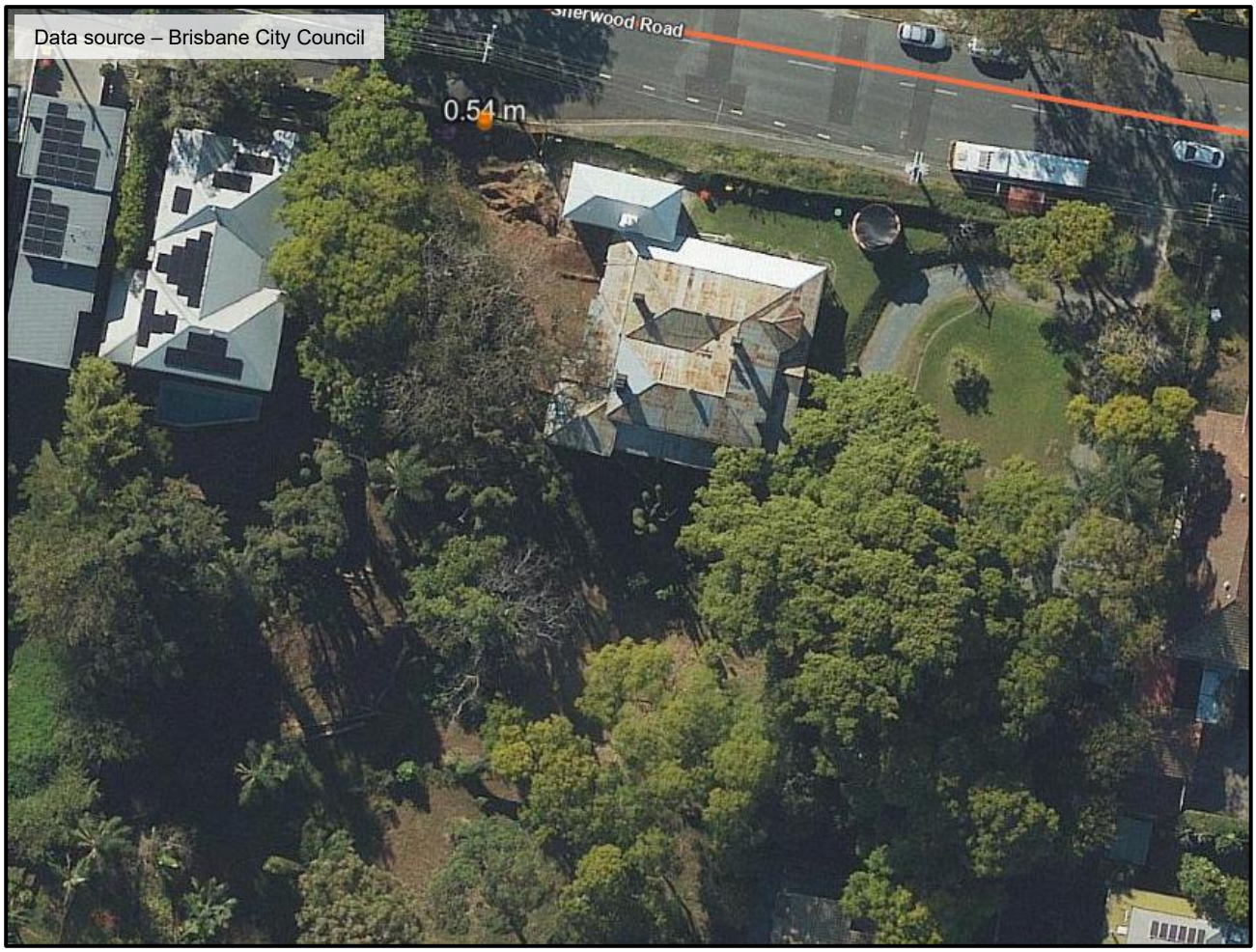




3.5 Road matters

3.5.1 Verge depth

In this instance the verge depth (the distance between the kerb and property boundary) is not relevant to the assessment of the application. As the proposal relates to a small-scale domestic use only and hence, assessment against the streetscape hierarchy overlay is not applicable.



3.5.2 Truncations

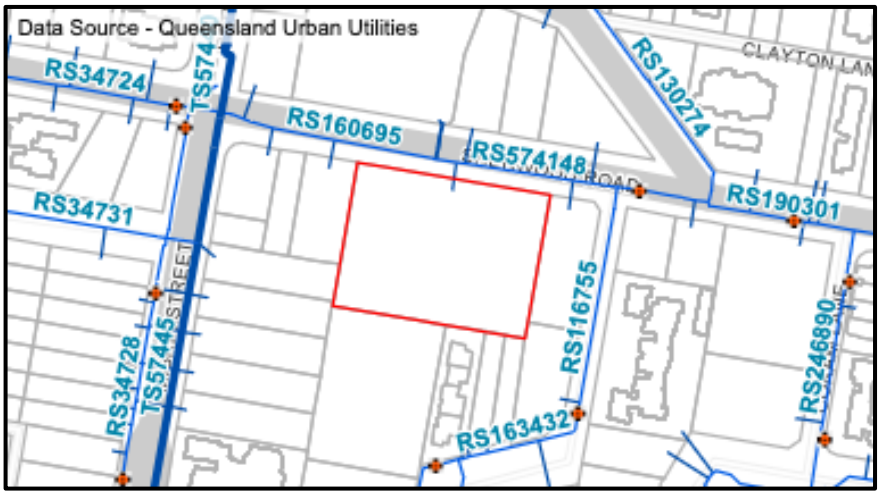
The subject site is not a corner lot. As such, truncations are not relevant to the assessment of this application.

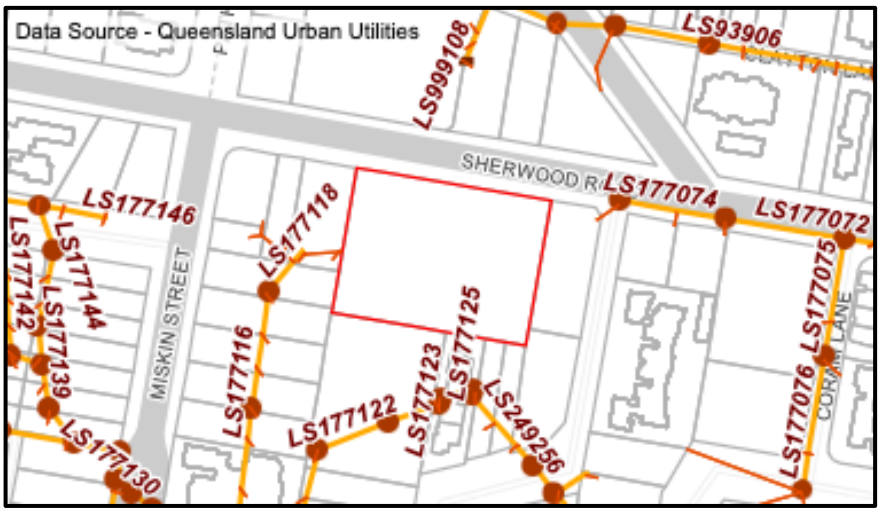
3.5.3 Access arrangement

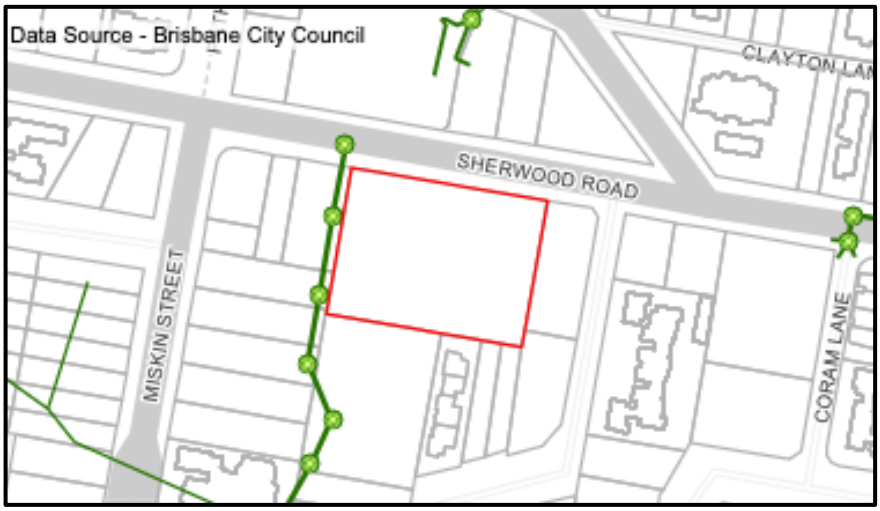
A review of the available mapping has not identified any evidence of an ARS (Access Restriction Strips), and we are not aware of any other restrictions on the access arrangements under a prior approval etc.

3.6 Services

The service requirements will be confirmed as part of the building approval process. However, the images below suggest that the connections are all readily available and the proposed works will be designed to ensure that they will not compromise the function of these services.







3.7 Flooding matters

The images below indicate that the subject site was not impacted by one or more of the most recent major flood events.

Legend
Brisbane River Floods - Jan 1974 Area

Legend
Brisbane River Floods - Jan 2011 Area

Legend
Brisbane River & Creek Floods - Feb 2022 Area

As shown via the images below, this site is not affected by any mapped flooding, noting that the maps illustrate flood and coastal hazard overlay mapping. We note that compliance with the associated rules in the planning scheme does not ensure that the work will be “flood-free” or free from future damage. This mapping simply illustrates the globally accepted minimum standard. Which is intended to achieve an acceptable base level of immunity for Council’s town planning purposes.

BR 1 BR 2a BR 2b BR 3 BR 4 BR 5

C/W 1 C/W 2 C/W 3 C/W 4 C/W 5

OF

High storm-tide inundation area
Medium storm-tide inundation area
Erosion prone area - permanent inundation due to sea level rise at 2100
Erosion prone area - coastal erosion

4 PROPOSAL

4.1 Proposal description

This application is seeking a development permit for carrying out building work, to enable the owners to renovate and/or extend an existing house. Specifically, they are seeking to carry out the following works.

External:

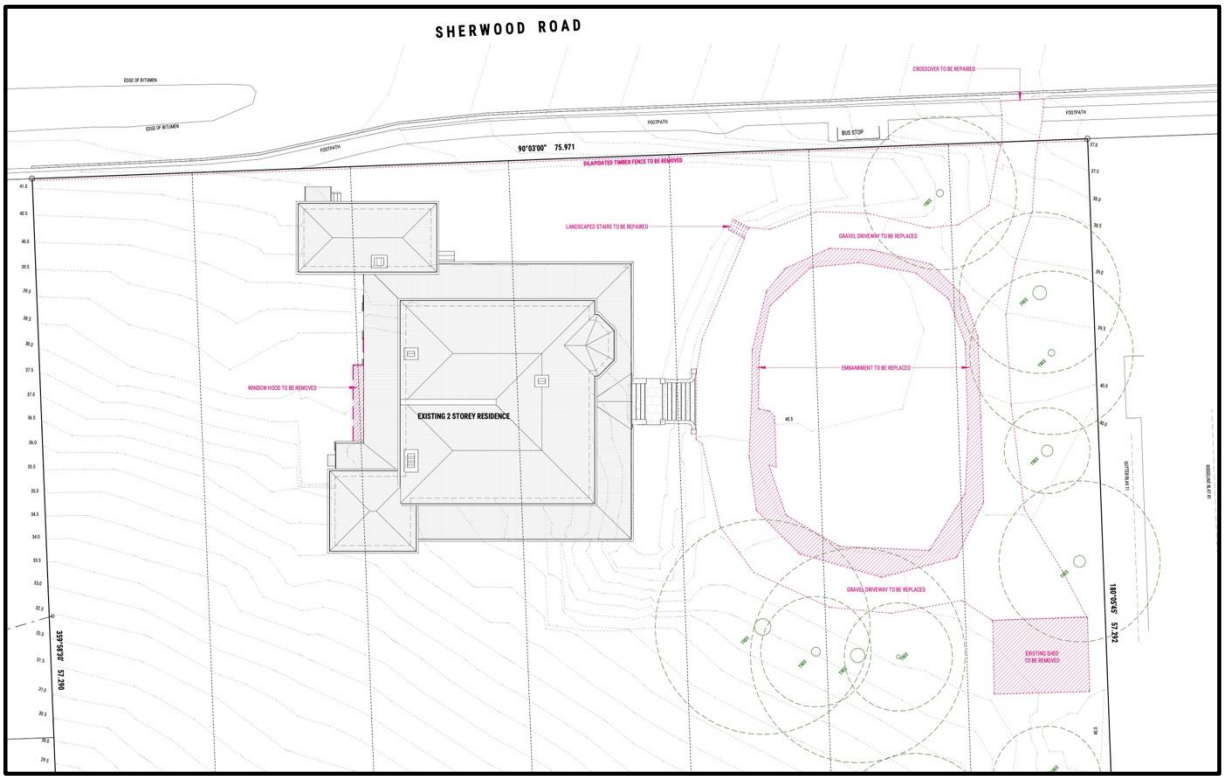
- Repair/rebuild the existing crossover
- Replace the existing gravel driveway/carriageway
- Replace the existing embankment edging with a brick retaining wall
- Create a landscaped forecourt within the embankment
- Repair the landscape steps located on the north-east area of the site
- Replace the existing landscape steps along the south side of the house,
- Replace the shed/garage in the southeast corner of the site with a new carport in the same position/in a similar size,
- Construct a new crossover on the north-west portion of the site

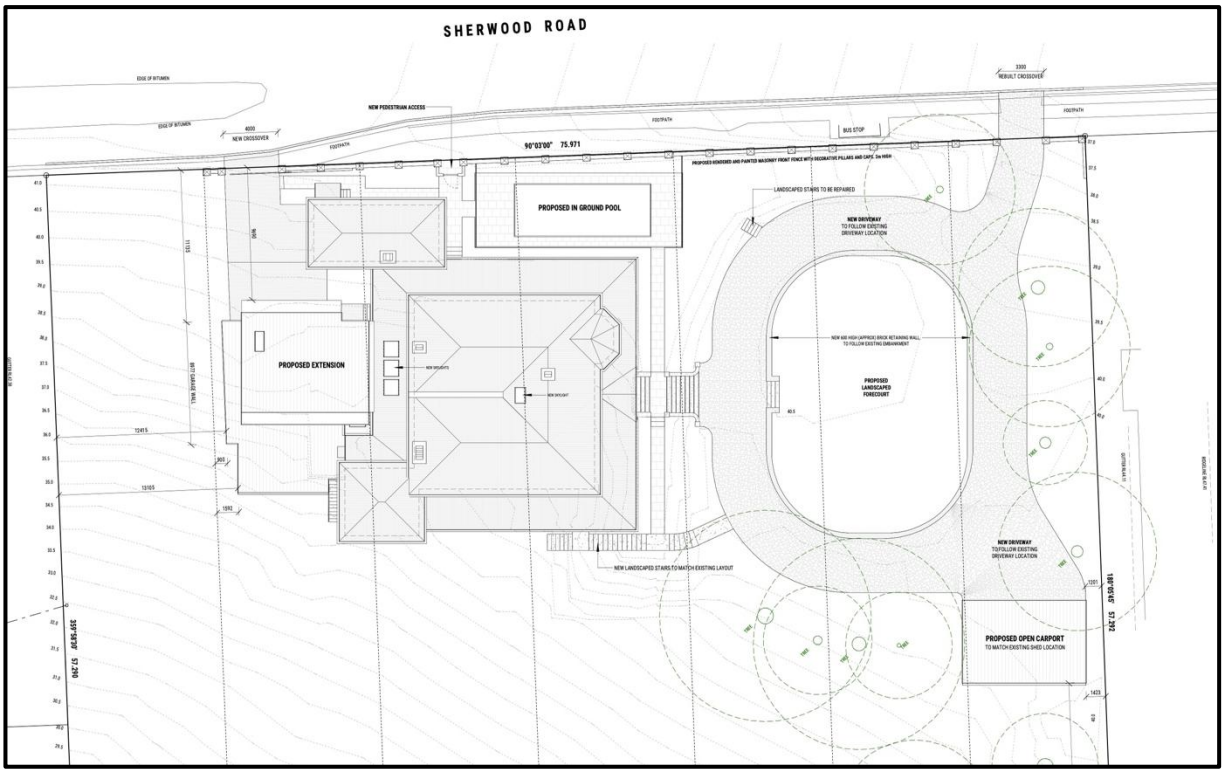
Lower level

- Remove the rear hallway door,
- Remove the external bathroom door and replace with a window,
- Remove the external lounge room window and replace with a door,
- Remove the existing bathroom and store fit out,
- Remove the dividing wall between the lounge room and store / bath,
- Replace the bedroom window with a door to the hallway area,
- Cut a new opening into the internal lounge wall,
- Cut 3 new external openings for new windows/doors,
- Remove non-original fit out features throughout,
- Remove the non-original fireplace in the lounge room,
- Remove the timber steps leading to the upper floor,
- Excavate the hallway floor to remove dirt/rubble,
- Add a new timber flooring to the hallway to match existing,
- Convert existing store room to a bedroom with ensuite,
- Convert existing lounge room into 2 bedrooms with ensuites,
- Convert existing laundry room to a rumpus,
- Build new multiple purpose area, laundry, garage, mud room, powder room, storage, internal stairs, ensuite, foyer, and drying court off the western side of the house.

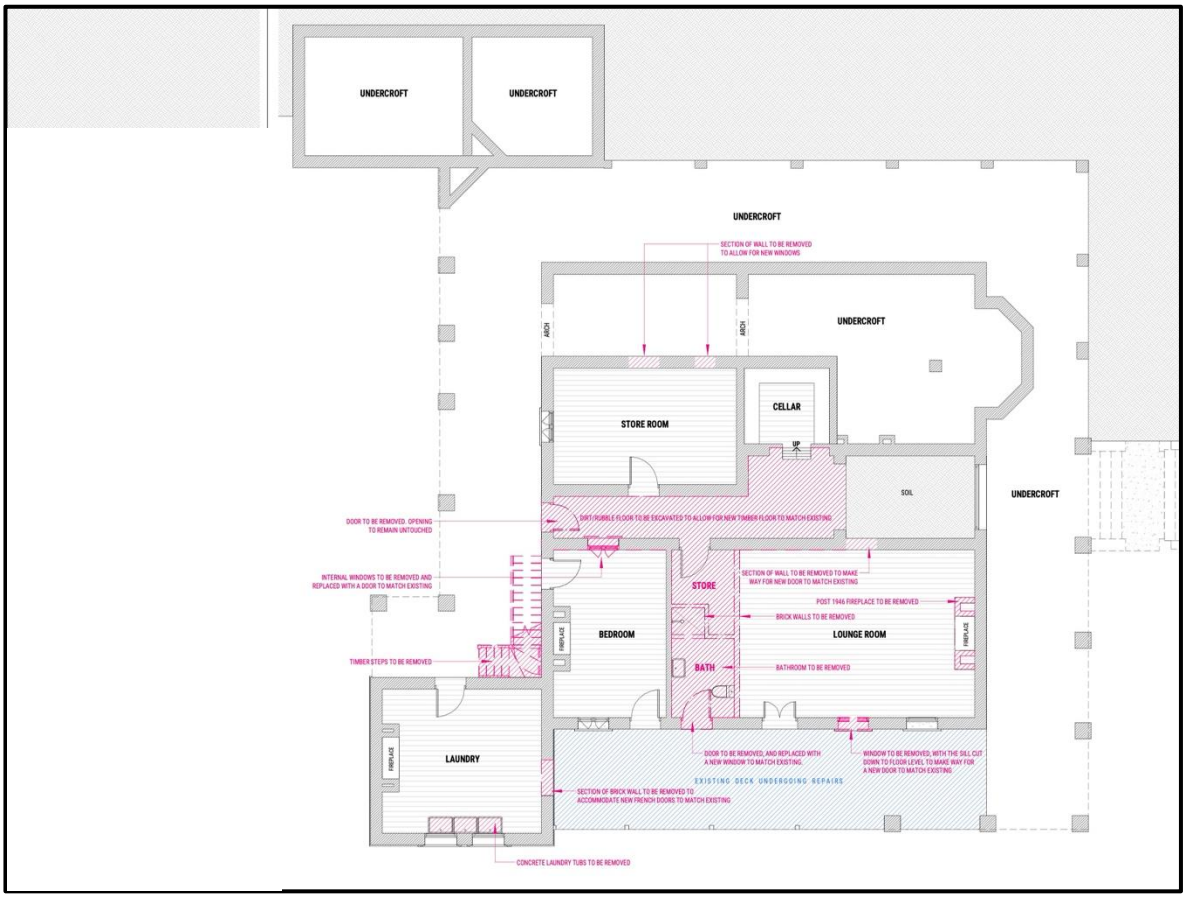
Upper level

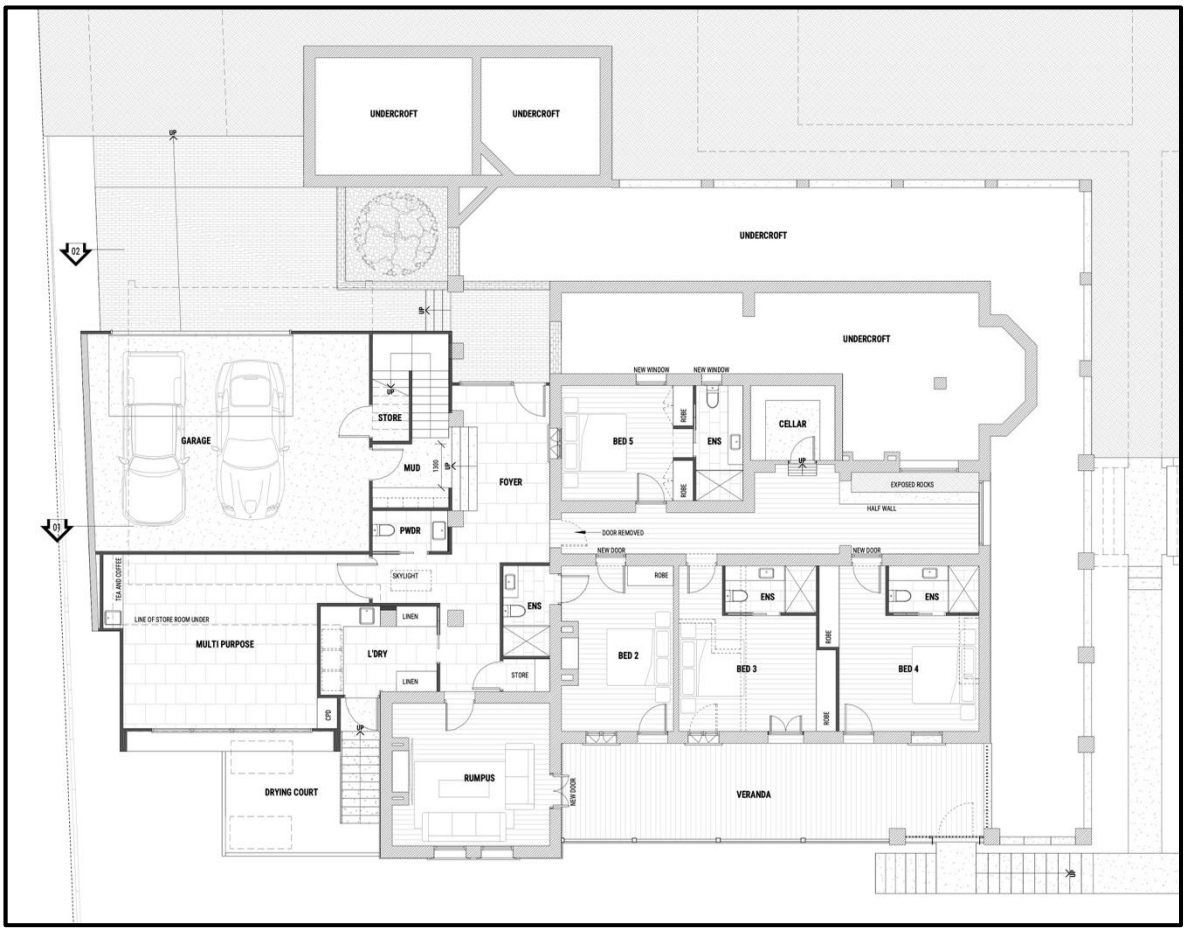
- Replace the door on what is currently bedroom 2 with a linen cupboard,
- Remove the rear stairs leading to the ground floor,
- Remove part of the non-original rear verandah enclosure,
- Remove the non-original dividing wall between what is currently bedroom 4 and the storage room, and convert it into an ensuite
- Create a new opening between the southern verandah and the storage room,
- Create a new enclosed walkway on the southern verandah from the new master bedroom towards the new ensuite
- Relocate the external meter box
- Convert existing bedroom 1 into a library/office
- Convert existing bedroom 2 into a walk-in robe
- Build a new kitchen and dining extension off the western side of the house



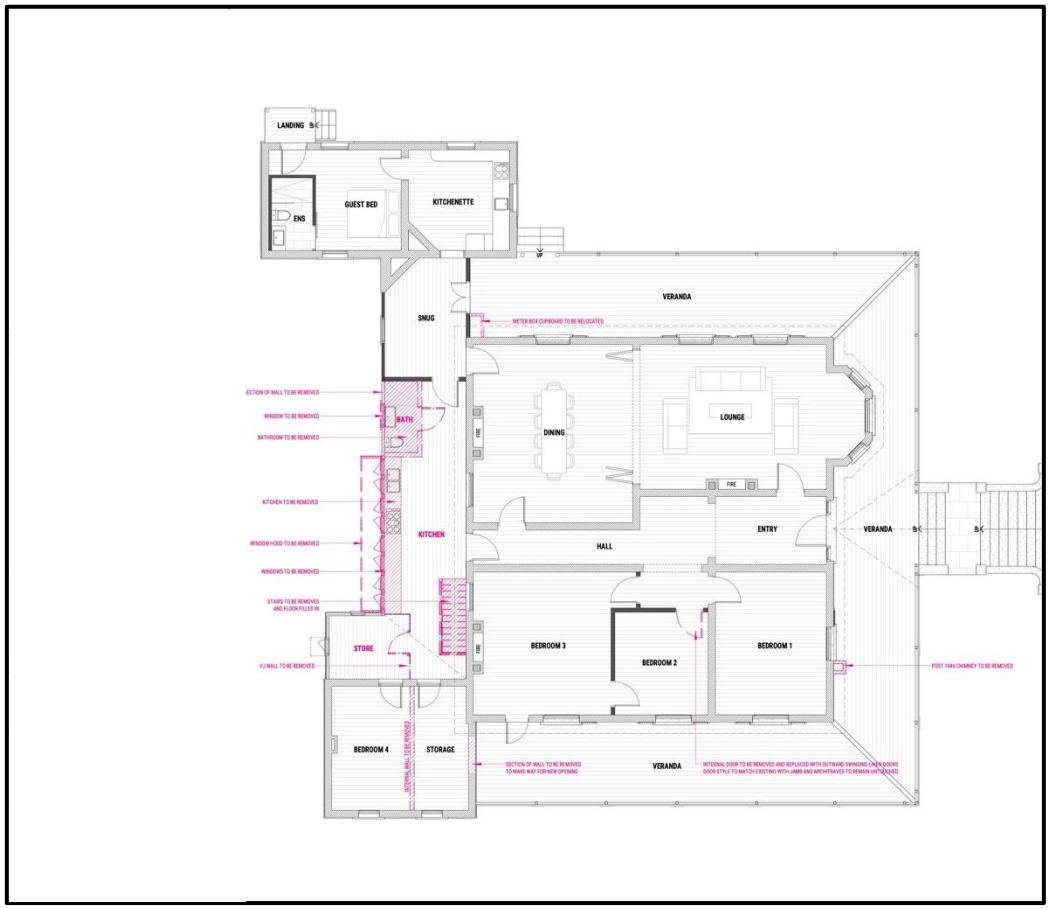


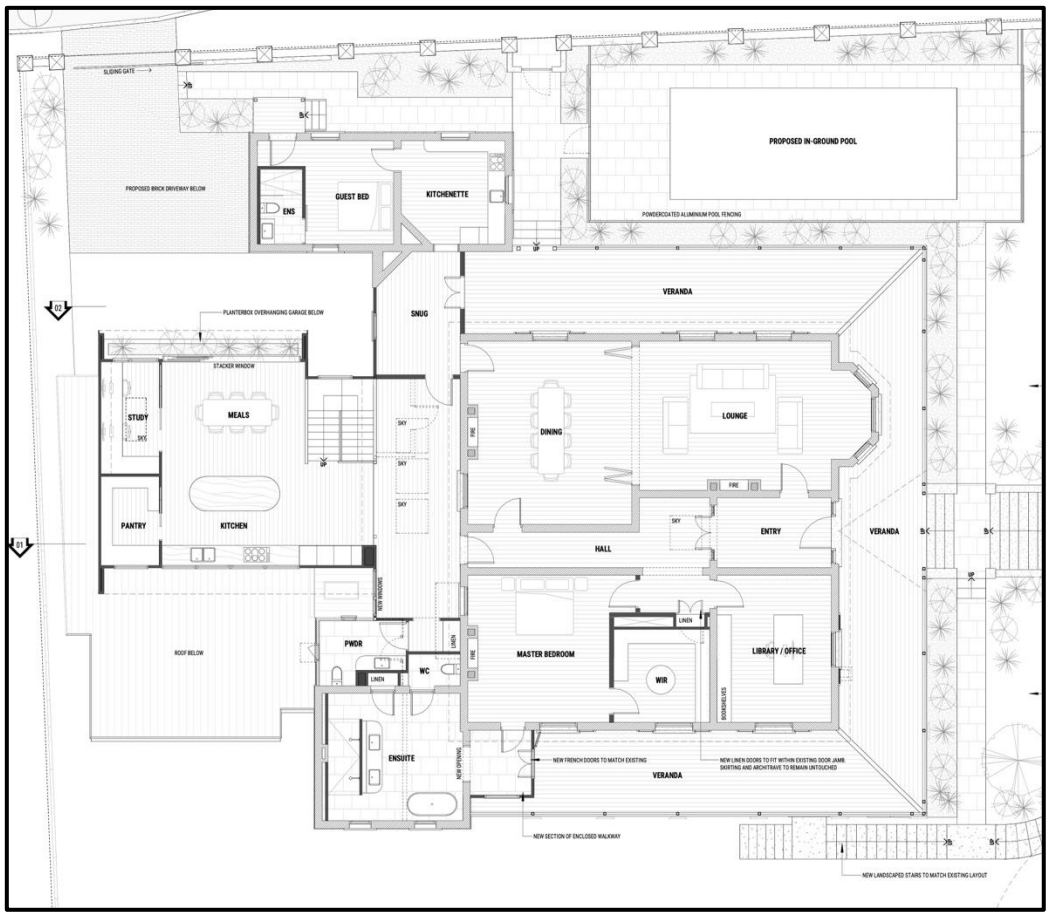
Existing and proposed site plan





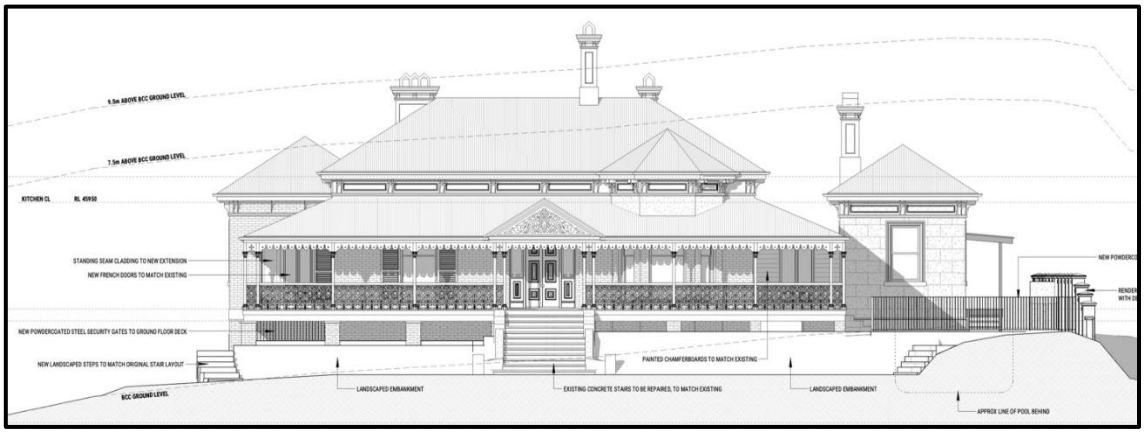
Demolition and proposed ground floor plan



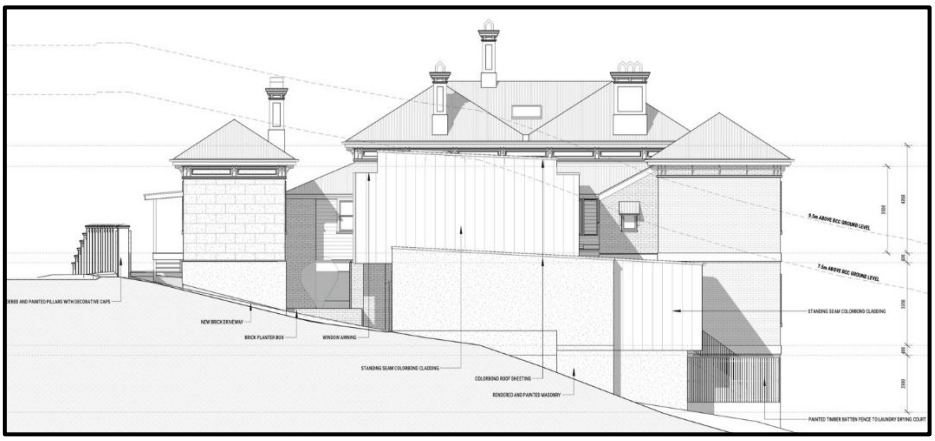


Demolition and proposed upper floor plan

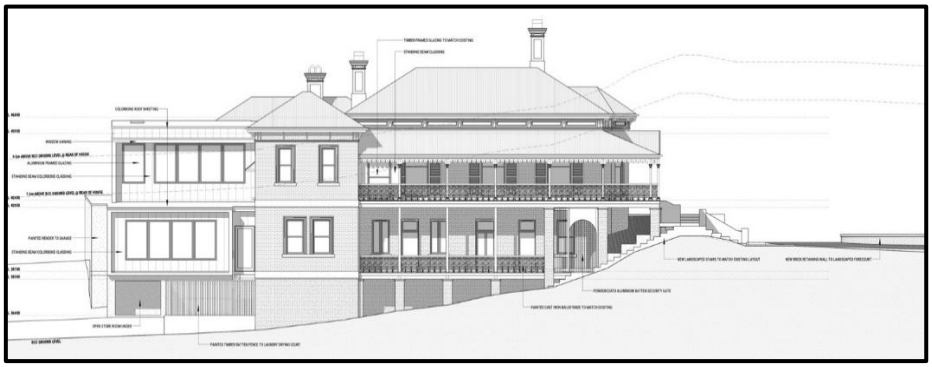
Demolition and proposed north elevation plan



Demolition and proposed east elevation plan



Demolition and proposed west elevation plan



Demolition and proposed west elevation plan

4.2 Triggers for assessment (aka focus of application)

In this instance, all of the work triggers assessment due to the local heritage status.

5 LOCAL GOVERNMENT MATTERS

5.1 Category of development and assessment

This application is seeking approval to enable the owners to renovate and/or extend an existing house, which constitutes development permit for carrying out building work under the scheme.

In determining the category of development and assessment for this work, the following is noted:

Trigger	Reference (Table #)	Table Description	Category of Assessment
Type of development			
Building work	5.7.1	*Building work not listed**	Accepted Development
Overlay/s			
Airport environs overlay	5.10.2	*Building work not listed**	Accepted Development
Community purposes network overlay	5.10.7A	*Building work not listed**	Accepted Development
Critical infrastructure and movement network overlay	5.10.8	*Building work not listed**	Accepted Development
Dwelling house character overlay	5.10.9	*"Building work for an extension to a dwelling house if in the Low density residential zone, Low-medium density residential zone, Medium density residential zone , High density residential zone, Character residential zone or Tourist accommodation zone ... If complying with all self-assessable acceptable outcomes"*	Accepted Development
Heritage overlay	5.10.12	*"MCU involving a new premises or an existing premises with an increase in gross floor area, if in the Local heritage place sub-category where not involving removal, demolition or demolition of a component of a heritage place, where an exemption certificate has not been issued under section 74 or section 75 of the Queensland Heritage Act 1992"*	Code Assessable
		"Building work for removal, demolition or demolition of a component of a heritage place if: (a) in the Local heritage place sub-category, where not Accepted Development; or (b) in the State heritage place sub-category, where an Accepted Development exemption certificate has not been issued for the work under section 74 of the Queensland Heritage Act 1992"	Impact
Road hierarchy overlay	5.10.18	*Building work not listed**	Accepted Development

Streetscape hierarchy overlay	5.10.20	*Building work not listed**	Accepted Development
Traditional building character overlay	5.10.21	*"Building work involving a dual occupancy, dwelling house, multiple dwelling or rooming accommodation, where not in the Local heritage place sub-category or the State heritage place sub-category of the Heritage overlay."*	Code Assessable
		"Building work if involving demolition of: (a) any component of a building constructed in 1946 or earlier if on a corner lot; or (b) the components of a building constructed in 1946 or earlier forward of a point which is the highest and rearmost part of the roof; (c) where not in the Local heritage place sub-category or the State heritage place sub-category of the Heritage overlay."	Code Assessable
Neighbourhood Plan			
Toowong—Indooroopilly district neighbourhood plan	5.9.66.C	*"Building work, if assessable development"*	No Change

*Section 5.3.2 of the scheme states that unless otherwise listed in the tables, building work is accepted development, reconfiguring a lot is code assessable, and material change of use is impact assessable.

Therefore, in accordance with section 5.3.2(7) of the planning scheme, the proposal triggers impact assessment. Being the highest category of development and assessment listed.

5.2 Assessment benchmarks (aka relevant codes)

Our review has concluded that the proposed application triggers assessment against the following codes:

	Code/s
Zone Code/s	Character residential (CR2 - infill housing) zone code
Use Code/s	Dwelling house code
Overlay Code/s	Heritage overlay, Traditional building character (design) overlay and Traditional building character (demolition) overlay codes
Secondary Code/s	Table 5.3.5.1 of the planning scheme does not prescribe any secondary codes for these primary codes.
Neighbourhood Plan Code/s	Toowong—Indooroopilly district neighbourhood plan code

Please refer to the 'Code Assessment' document lodged as part of this application, for an assessment against the provisions of each of these codes.

5.3 Public notification requirements

Being impact assessable means that public notification is required under the legislation.

5.4 TLPIs (Temporary Local Planning Instruments)

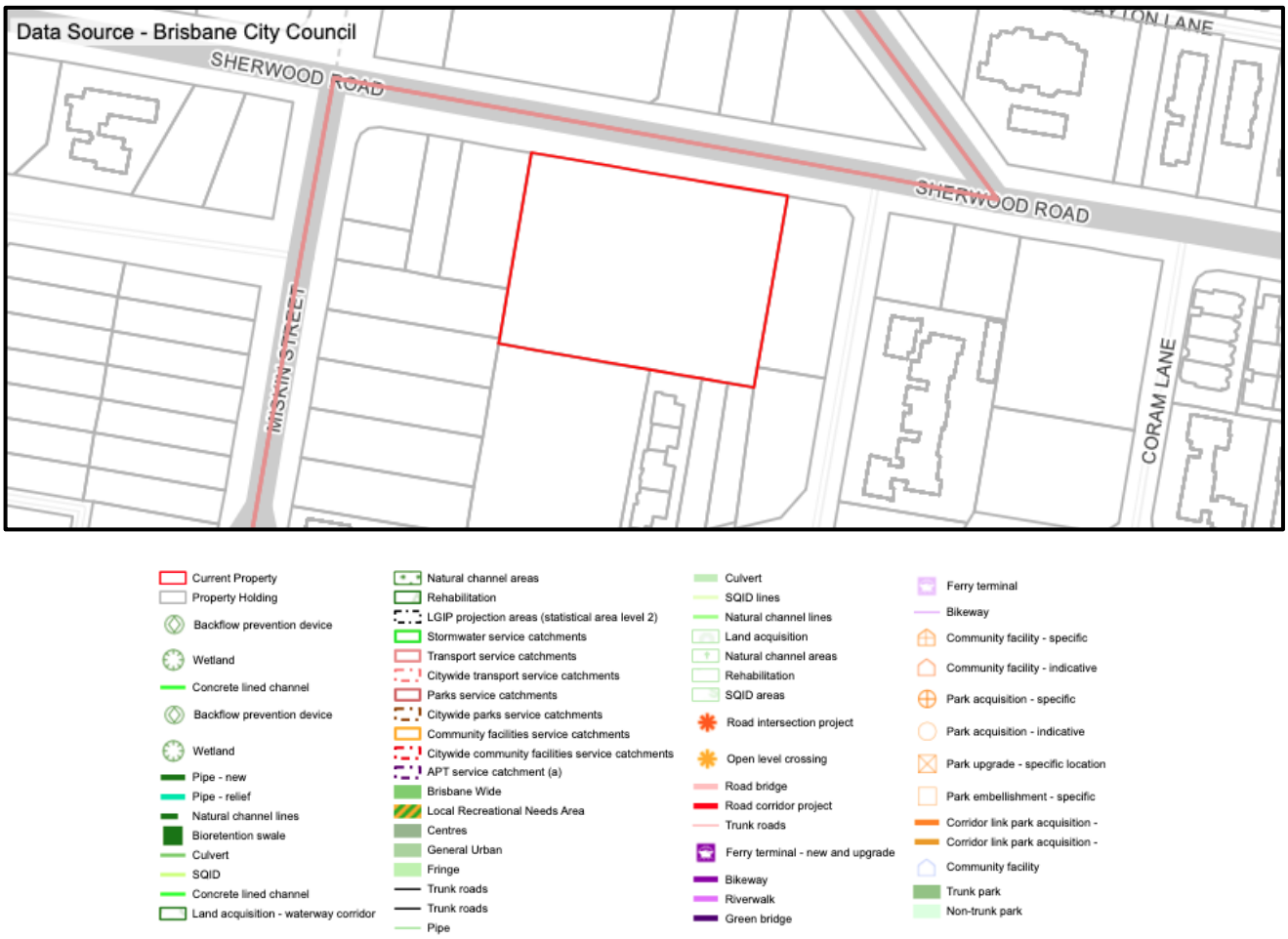
We acknowledge that at any time there can be one or more TLPIs in effect. We have reviewed the relevant TLPIs and confirm that none of these apply to the assessment of this application.

5.5 Draft Planning Scheme changes

We are not aware of any incoming planning scheme changes (i.e. draft neighbourhood plans etc) that would impact the assessment of this application.

5.6 LGIPs (Local Government Infrastructure Plans)

Based on the information below, we understand that the site is not affected by any future infrastructure upgrades.



5.7 Planning Scheme Policies

Any Planning Scheme Policies relevant to the assessment of this application, have been addressed as part of this code assessment document.

5.8 Amenity and Aesthetics

We request that Council issues any amenity and aesthetics approvals available as part of this application.

5.9 Design and siting

Design and siting approval is not being sought as part of this application, noting that the site is a large lot and hence, the setbacks are not assessable under the planning scheme in this instance.

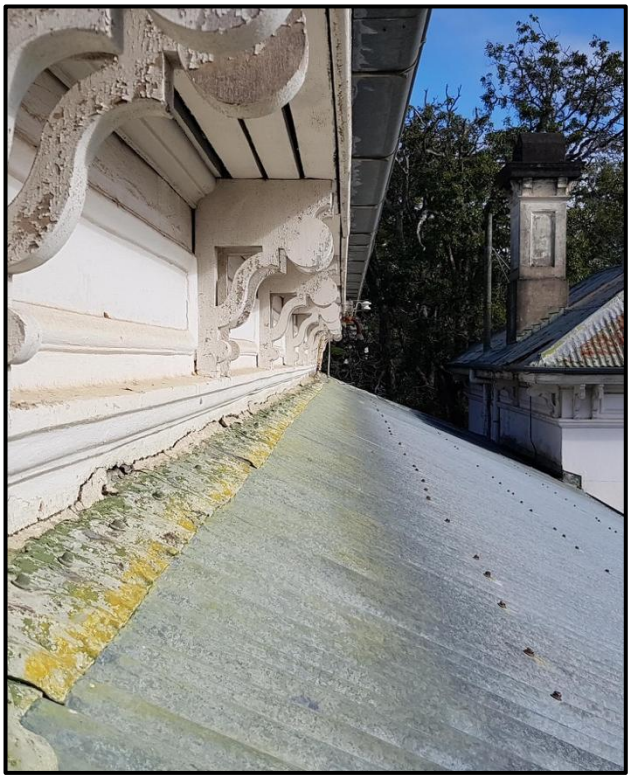
6 KEY PLANNING CONSIDERATIONS

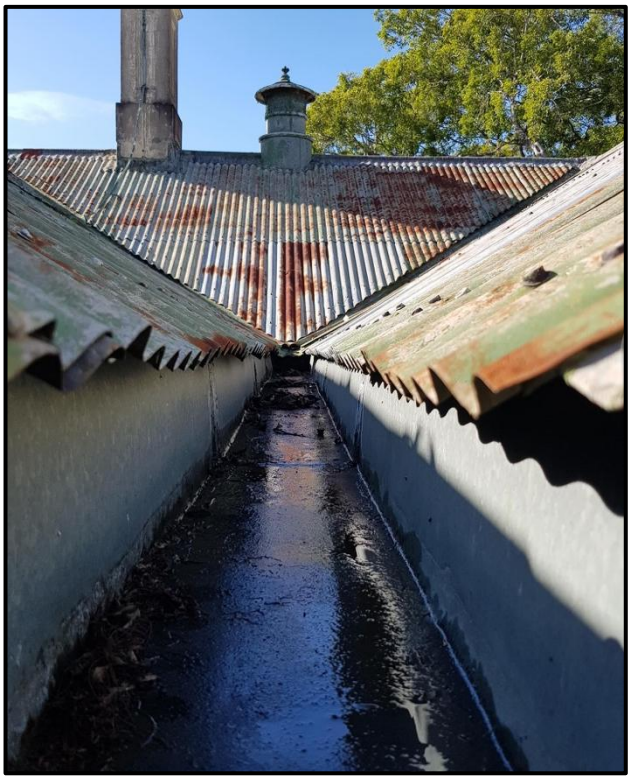
6.1 Work carried out to date

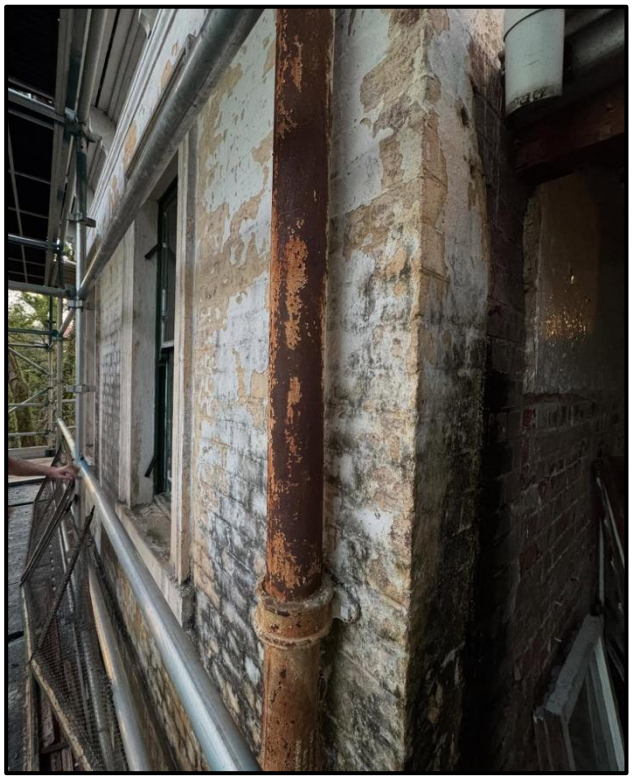
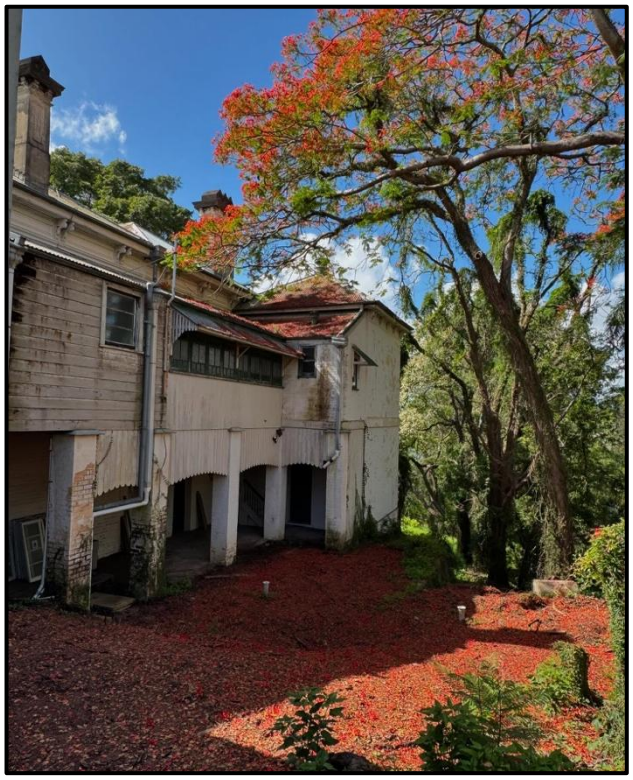
When our client has purchased the property in 2020, the house is in severe state of disrepair. Please refer to the images below for more information.

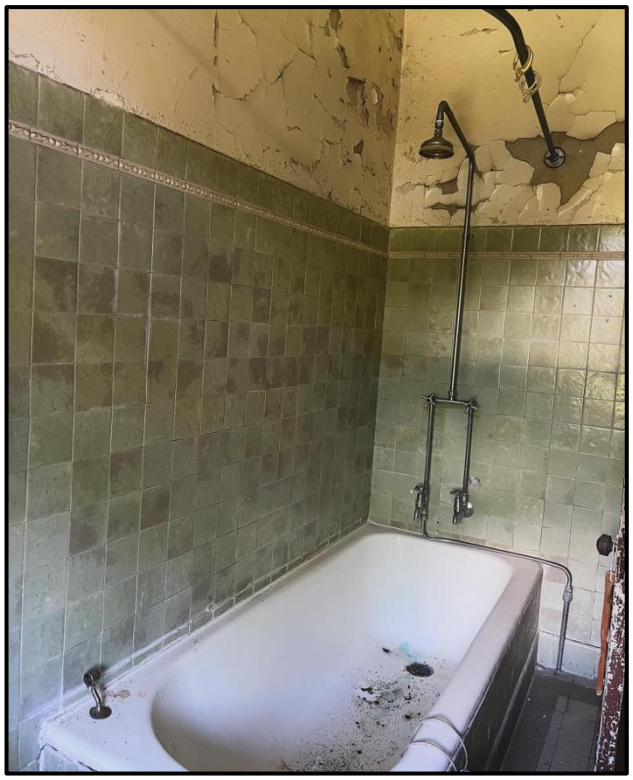
Since purchasing the property, we understand that she has carried out works in accordance with the general exemption certificate (GEC) process.

Photo of the entry/front verandah of the house – realestate.com.au







Photos from @Dovercourt_heritagerestoration Instagram

6.2 Heritage matters

Building on the work of other experts before, Marianne Taylors research has established the following timeline for the site:

- 15 August 1861 – John Collings purchased Portions 250 and 253, Parish of Enoggera (~25 acres)
- 1 December 1863 – Architect William Henry Ellerker purchases an 8-acre allotment from Collings' subdivided land.
- ~1865 – Ellerker designed and built Dover Court Cottage (four rooms, detached kitchen, servant's room).
- February 1866 – Ellerker is confirmed as living at the property.
- June 1866 – Ellerker sold the property to Robert Rising.
- March 1867 – The property was auctioned by order of the mortgagee.
- December 1867 – The property was purchased by Walter Henshaw Snelling and tenanted to Reverend Benjamin Gilmore Wilson.
- January 1870 – W.H. Miskin takes over the lease.
- 6 June 1887 – Miskin purchases the property.
- 30 June 1887 – Miskin takes out a £3,000 mortgage.
- ~1887–1888 – Major alterations or complete rebuild in brick.
- August 1888 – A timber house on Sherwood Road destroyed by fire (possibly the original Dover Court cottage).
- September 1891 – Miskin had absconded with servant Jane Acheson (who was pregnant)
- April 1892 – The property was advertised as 15 rooms, two storeys, and brick construction
- Early 1890s – Bowen House preparatory school briefly operated from the house
- February 1896 – Ownership transferred to Ada Ethel Wilson (née Harding) and her husband Walter Frederick Wilson
- August 1912 – Advertised for sale with tennis and croquet lawns, stable, and conservatory
- 15 July 1919 – Purchased by Carl Beaufort Hunter Palmer, who then subdivided the land further.
- 1920 – The property was reduced to ~1¾ acres by further subdivision
- 1928 – BCC survey plan completed; garage shown; two septic toilets on site
- 1930 – The property was purchased by Matthew Bigge. Noting the Bigge family continued to own the property for ~90 years.
- ~1930s–1940s – The Bigge family carried out some modification work, including the installation of the brick fireplace in lounge, door insertions, dividing walls, and rear verandah enclosure.
- ~1930s – The property was connected to Brisbane reticulated sewerage
- 1965 – Approval was granted by BCC for garage extension (second bay)
- ~1980s–1990s – Terracotta tile floor laid downstairs; kitchen fit-out replaced
- 2020 – The property was purchased by the current owner.

Based on the information available, we believe that the current house was a new build done in the late 1880s. Not the original 1865 cottage. However, there is no conclusive evidence of such.

That said, the heritage value of the site and the dwelling remains the same whether it is a renovated version of the original cottage of a newer build. I.e. the removal of Ellerker from the history of the house would not change the value it has as one of the first grand residences in Toowong, as an example of Victorian domestic architecture, or for its association with early individual/s.

The enclosed heritage impact assessment provides a detailed review of the history, the proposed works, the heritage value of the site and the potential impacts of the proposed work on the heritage values of the site.

6.3 Performance outcomes triggered

6.3.1 Compliance with AO1.1 and PO2 of the Traditional Building Character (Demolition) Code

The existing dwelling is a pre-1911 house. This means PO2 is triggered in addition to AO1.1 in this instance.

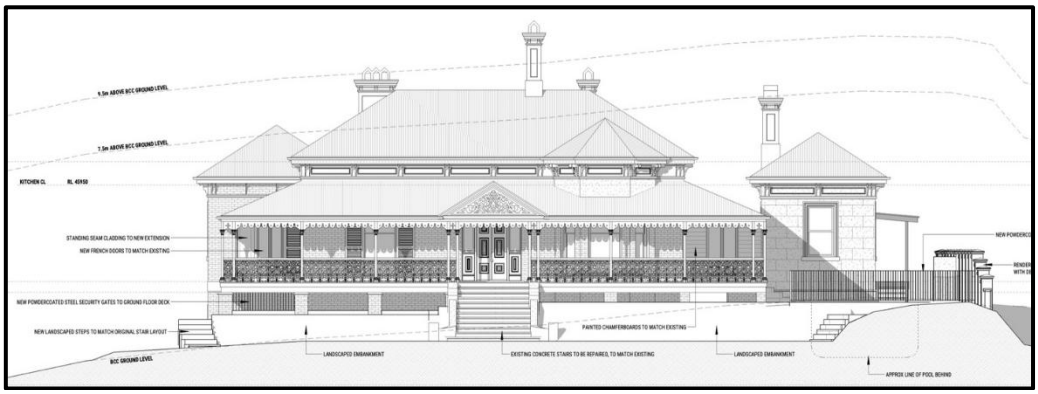
AO1.1 of the Traditional Building Character (Demolition) Code states the proposal should ensure "*that the building does not lose integral components such as feature roof forms and side verandahs, which contribute to its streetscape character*".

While PO2 of the same code states that the proposal should ensure "*that the building does not lose integral components such as roof shape and pitch or verandahs that contribute to its traditional building character*."

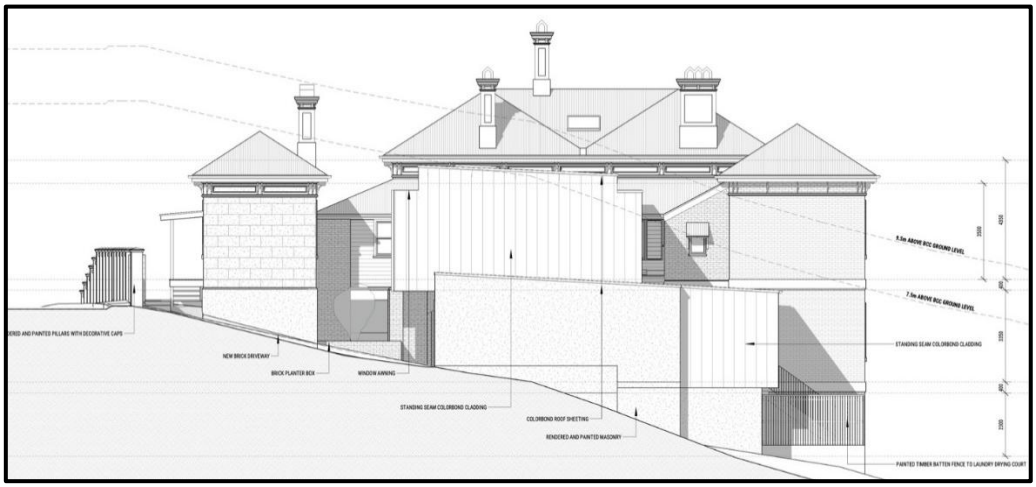
As detailed in the Heritage Impact Assessment report, the proposed works will not have a negative impact on the integral features and therefore heritage significance of the property. Please refer to the attached report prepared by Marianne Taylor for further information.

This statement is also further supported by the before and after images below, which confirm that the house will continue to present to the street as an 1800s Victorian style dwelling house.

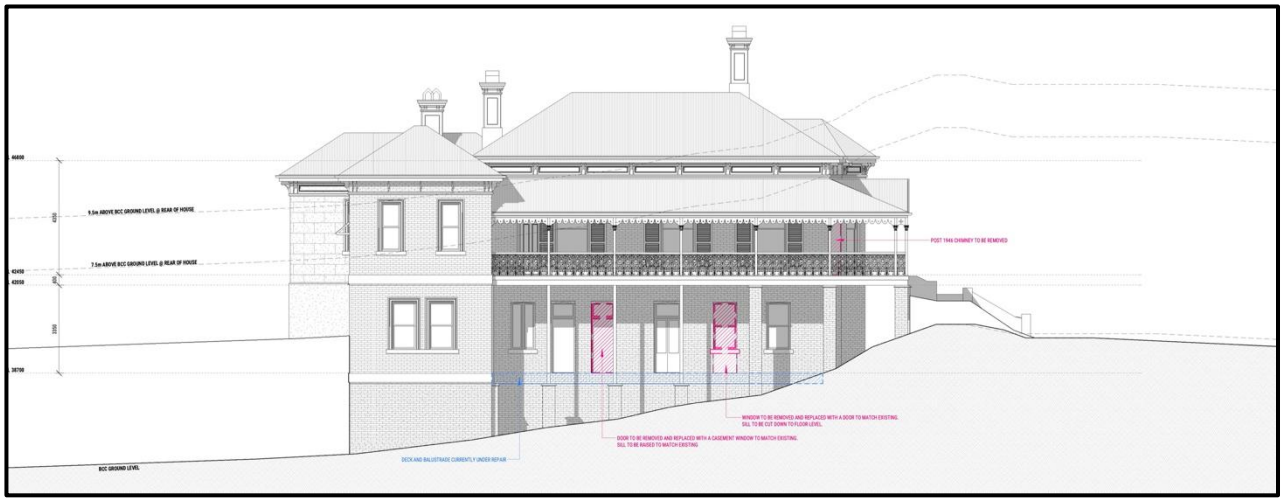
Demolition and proposed north elevation plan

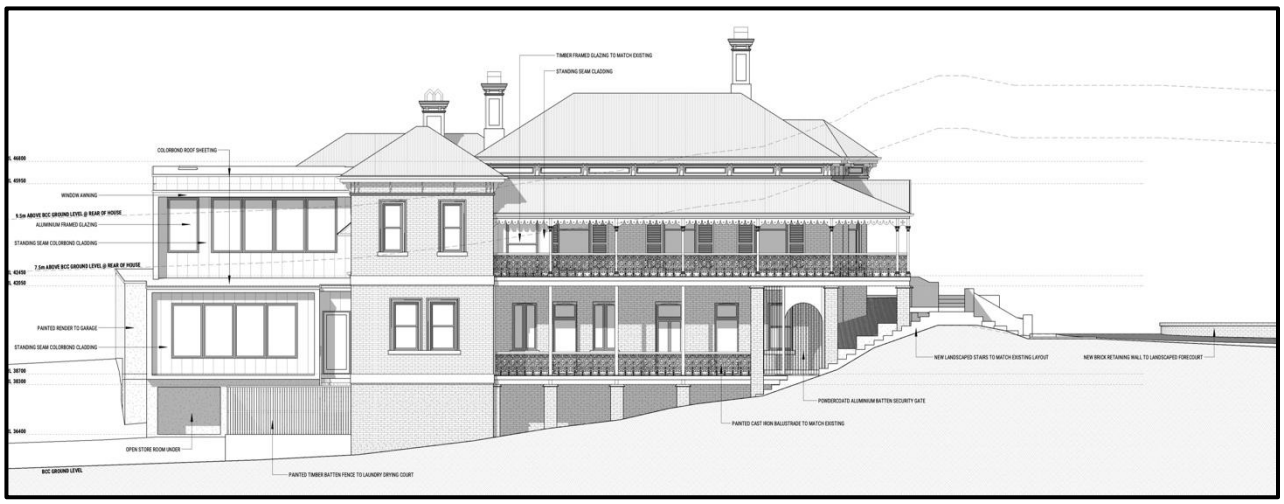


Demolition and proposed east elevation plan



Demolition and proposed west elevation plan





Demolition and proposed west elevation plan

Based on the above comments, we conclude that the proposed partial demolition work will comply with the wording and intent of AO1.1 and PO2.

6.3.2 Compliance with PO5 and PO6 of the TBC (Design) Code – Character / Materials

AO5 of the Traditional Building Character (Design) Code states that *"development provides external elements such as lightweight verandahs and stairs, eaves, overhangs, sunhoods, lattice screens, balustrades and batten panels which:*

a) reflect those of dwelling houses constructed in 1946 or earlier nearby in the street;
b) are sufficient to cast shadows;
c) provide three-dimensional effects."

While AO6.1 requires the use of traditional materials.

We confirm that the proposed new work incorporates more contemporary design elements in order to distinguish between the existing dwelling and the proposed work. I.e., to comply with the higher priority heritage principles. Therefore, the application triggers assessment against PO5 and PO6, being the corresponding performance outcomes.

PO5 states that *"Development provides external elements and detailing which:*

a) reflect traditional elements and detailing and materials;
b) reduce building bulk;
c) form a transition with the external landscape."

PO6 states *"Development uses:*

a. materials which reflect the traditional materials used predominantly in residential buildings constructed in 1946 or earlier nearby in the street;
b. external materials which reflect the architectural themes of residential buildings constructed in 1946 or earlier, reduce building bulk and form a transition with the external landscape"

<u>Reflecting traditional materials / architectural themes</u>

The proposal has been designed to incorporate the following elements that are reflective of traditional materials and architectural themes:

- vertical lines
- metal sheeting
- large window openings
- awnings over the windows

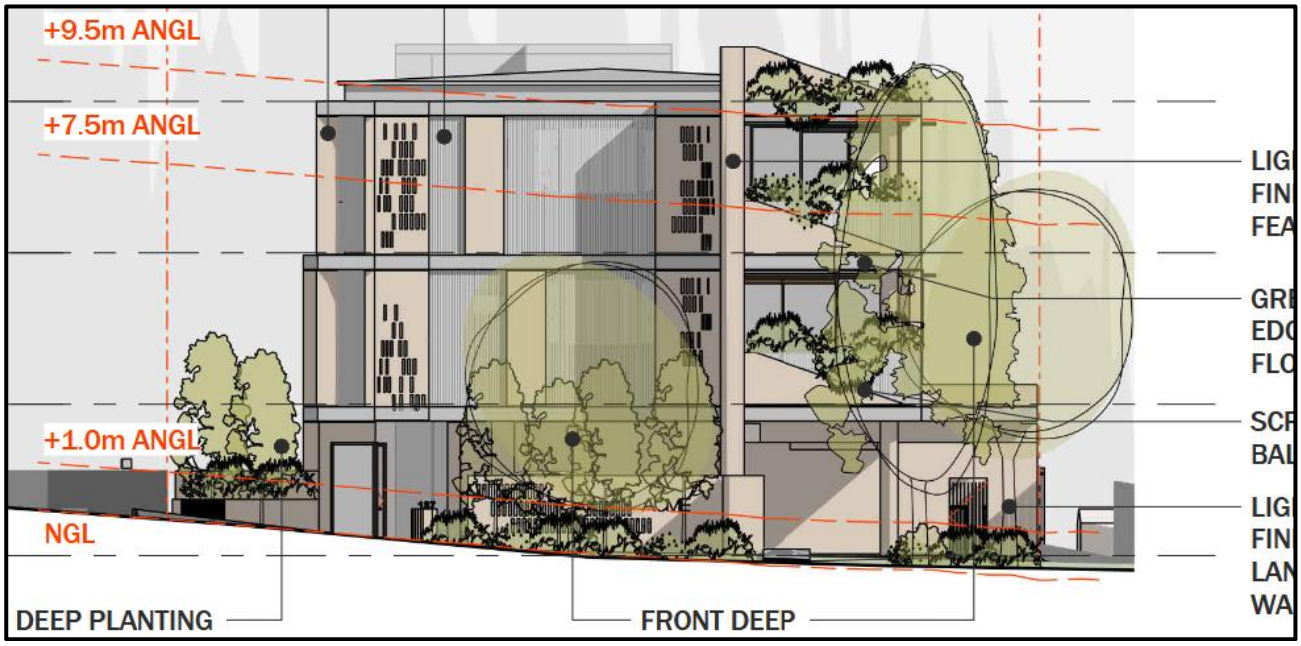
<u>Reduced building bulk</u>

The elements listed above in the previous heading also provide articulation and visual interest, which in turn reduces the bulk and scale of the proposed addition.

<u>Consistency with the streetscape</u>

As shown in the images below, the properties within the mapped Traditional Building Character Overlay within the area contain a high number of post-1946 dwellings and a pre-1947 brick dwelling. A statement which is supported by the images below.

Blue dots show the post-1946 houses and multiple dwellings built within the TBC overlay
Green dot/s show the pre 1947 dwelling/s with masonry materials



127 Sherwood Road – Application number A006792300
Approved post-1946 multiple dwelling with contemporary detailing (low-pitched roof form without overhanging eaves, rendered walls, dominant lower level design)

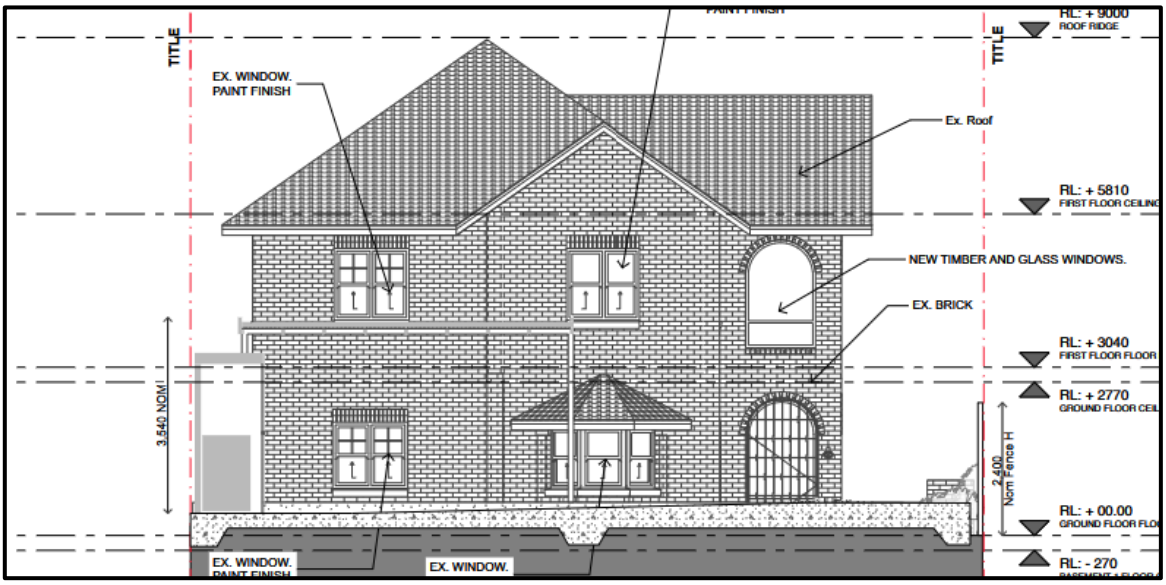
130 Sherwood Road – realestate.com.au
Photo showing an existing post-1946 contemporary dwelling house
(skillion roof form, angled windows, flat cladding)

151 Sherwood Road – Google Street View
Photo showing an existing post-1946 dwelling house with brick walls and tile roof

165 Sherwood Road – Google Street View
Photo showing an existing post-1946 multiple dwelling with brick walls and flat roof form

148 Sherwood Road – Google Street View
Photo showing an existing post-1946 multiple dwelling with brick walls,
flat roof form, and tall glass sliding doors

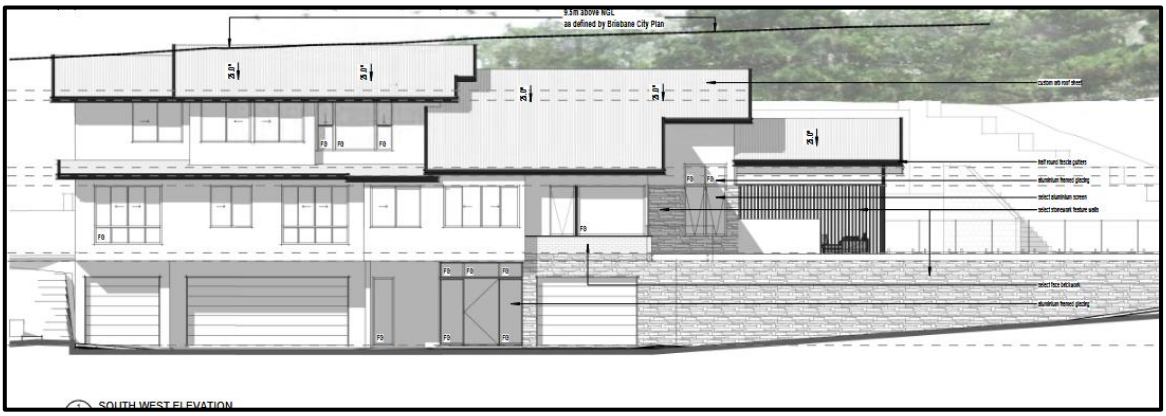
148A Sherwood Road – Google Street View
Photo showing an existing post-1946 multiple dwelling with brick walls and flat roof form



16 Dean Street – Application number A006371879
Photo showing pre-1947 dwelling with brick walls

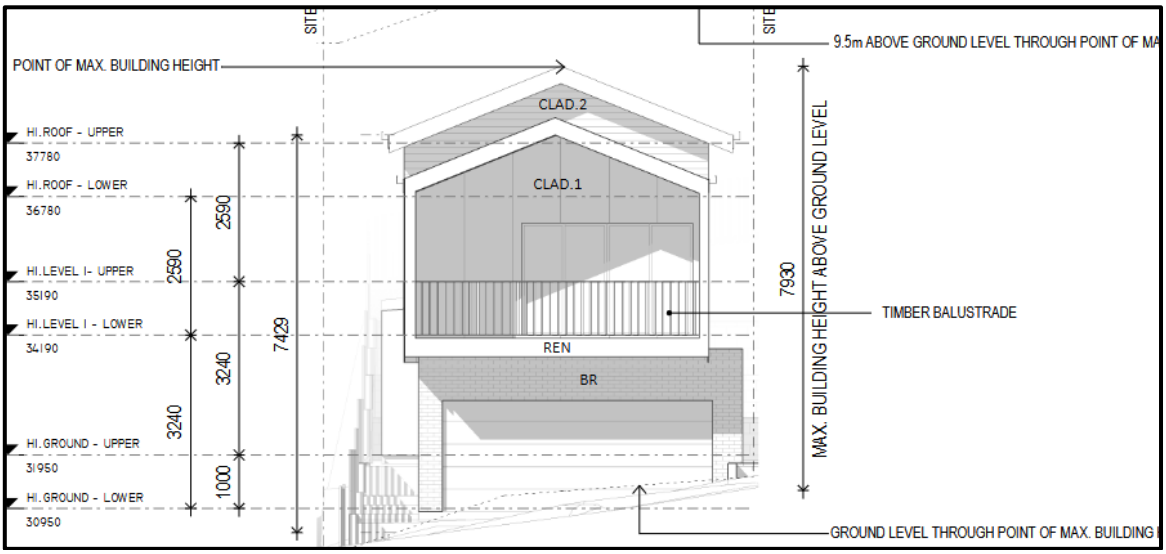
20 Dean Street – realestate.com.au
Photo showing an existing post-1946 multiple dwelling with
rendered walls and tall glass sliding doors

38 Dean Street – Google Street View
Photo showing an existing post-1946 dwelling house with rendered walls and tile roofing

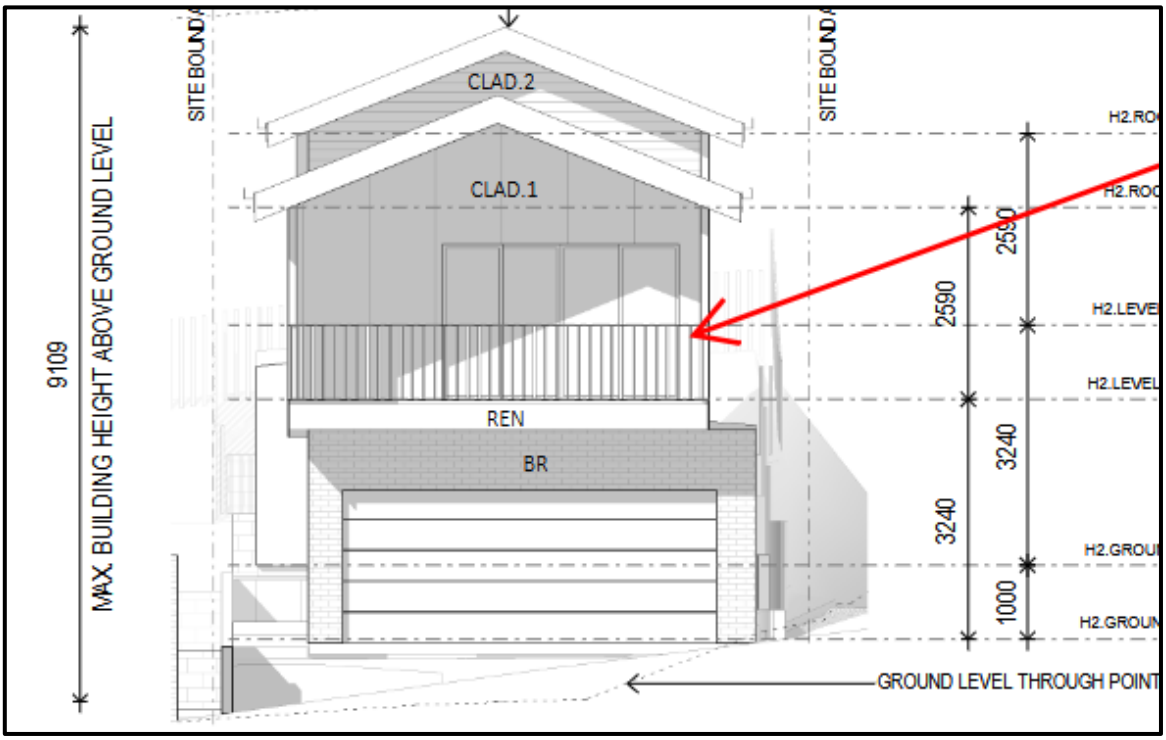


29 Dovercourt Street – Application number A006953084
Approved post-1946 contemporary dwelling house with stonework lower level walls

27 Dovercourt Street – realestate.com.au
Photo showing an existing post-1946 multiple dwelling with brick walls and flat roof form



23 Dovercourt Street – Application number A005765361
Approved post-1946 contemporary dwelling house with brick lower level walls, tall glass sliding doors, and wide profile upper level wall cladding



21 Dovercourt Street – Application number A005765414
Approved post-1946 contemporary dwelling house with brick lower level walls, tall glass sliding doors, and wide profile upper level wall cladding

16 Dovercourt Street – realestate.com.au
Photo showing an existing post-1946 multiple dwelling with brick walls and flat roof form

66 Miskin Street – Google Street View
Photo showing an existing post-1946 contemporary dwelling house with skillion roof form

The elements discussed in the previous points help to ensure the new work acts as a transition between the existing heritage-listed dwelling and the mixed streetscape.

6.3.3 Compliance with PO7 of the TBC (Design) Code – Roof form

AO7.1 and AO7.2 of the Traditional Building Character (Design) Code states that the new work should have a roof form that utilises pyramids, hips and/or gables, with eaves that are a similar proportion to the eaves on pre-1947 houses nearby.

As shown on the proposal plans, this application is seeking approval for a skillion-style roof with no eaves on the addition. Therefore, the application triggers assessment against PO7, being the corresponding performance outcome.

PO7 states that the proposal should provide "*roof forms which complement traditional roof styles of residential buildings constructed in 1946 or earlier that are located nearby in the street in terms of roof pitch and proportion.*"

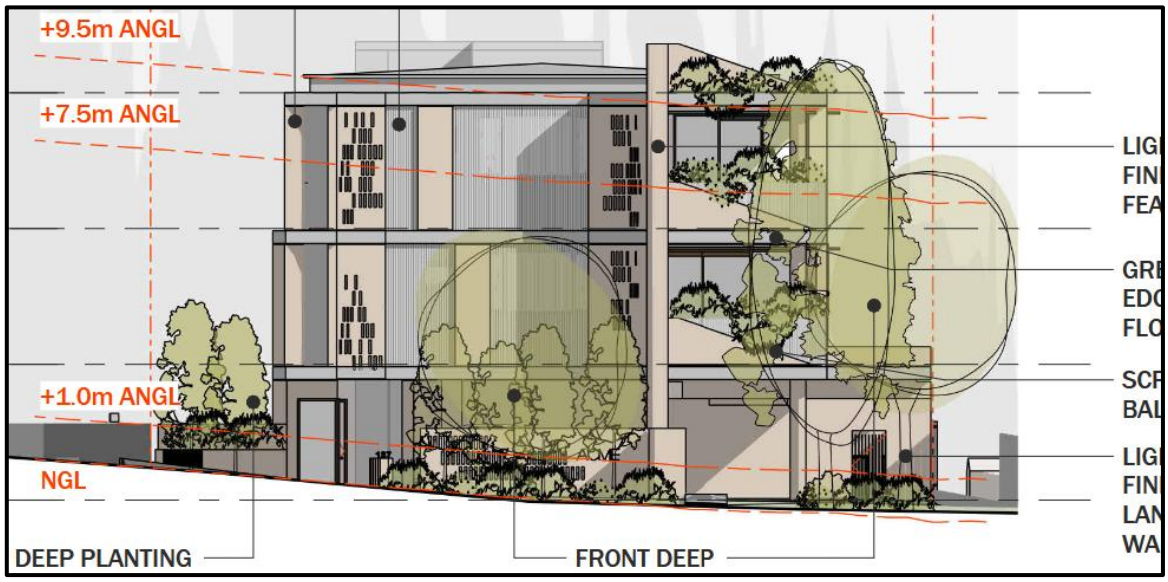
When considering this requirement, it is important to highlight the use of the term "complement". This suggests a design that integrates harmoniously with the streetscape, rather than strictly replicating traditional roof forms. This allows for thoughtful adaptation to existing conditions while maintaining compatibility with the character of the area.

In this instance, if a standard roof form were to be used, it would make the new component look abnormally large and it would then compete for attention against the original heritage listed dwelling.

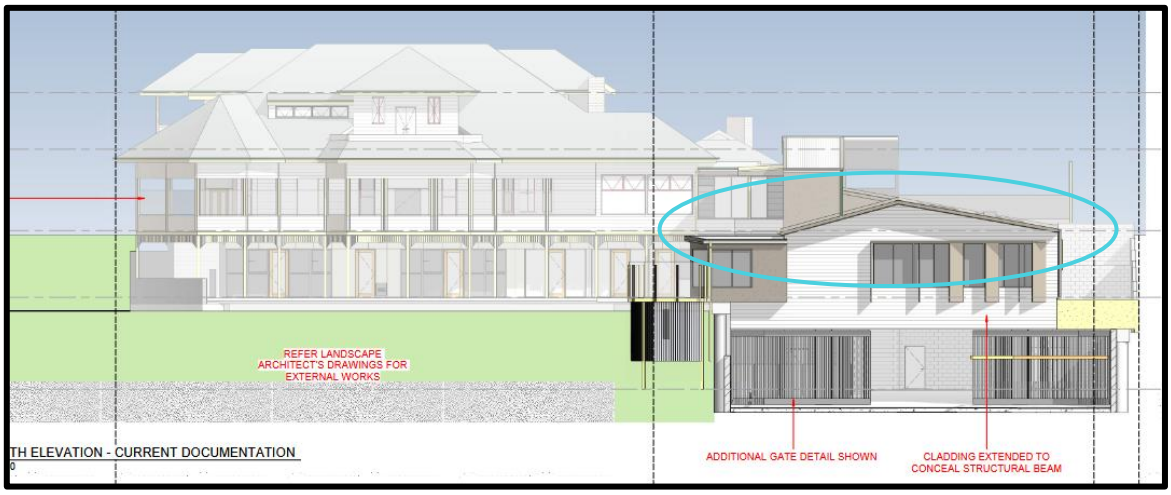
By incorporating a smaller and less dominant roof design, the structure sits subtly behind the existing dwelling, directing attention past the new addition to the original roof of the main dwelling. This ensures that the new addition is visually subordinate and maintains the focus on the original roof form on the main dwelling roof.

Further, a review of the streetscape reveals a diverse mix of roof forms, including both traditional and more contemporary designs. This variation demonstrates an evolving character within the street, where non-traditional roof forms already coexist with older, more traditional styles. The proposed design aligns with this existing pattern, reflecting the evolving character on the street. As shown in the images below, the proposed outcome is not only consistent with this surrounding development but also contributes positively to the street's character.

130 Sherwood Road – realestate.com.au

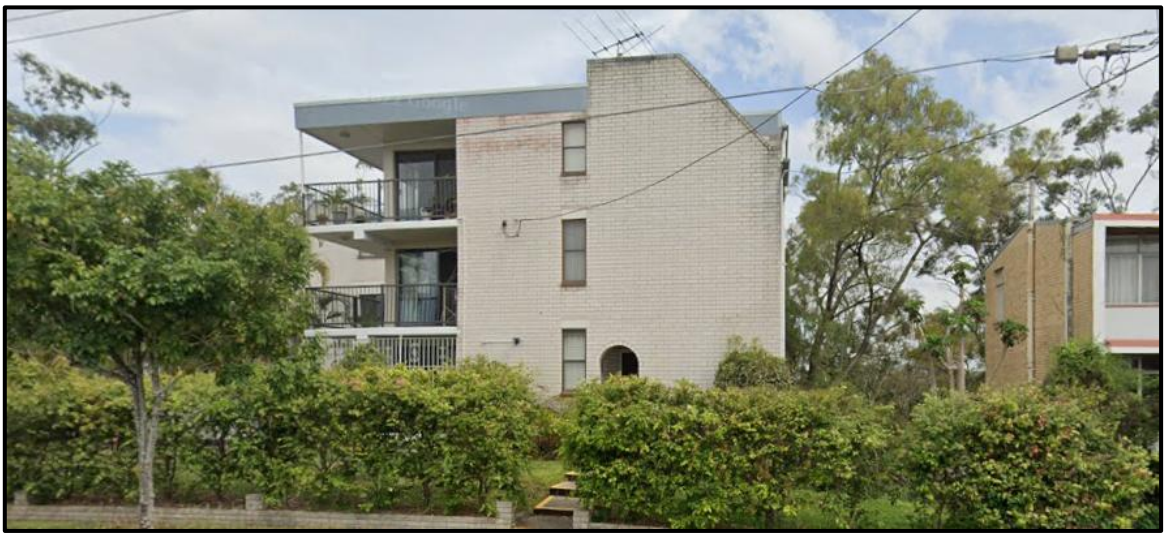


127 Sherwood Road – Application number A006792300



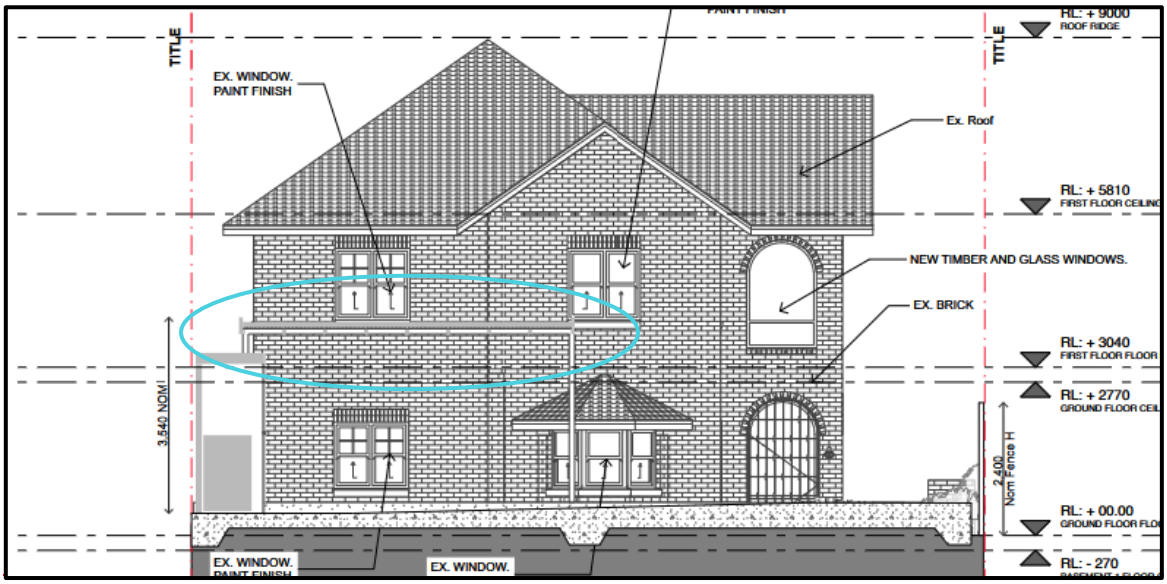
129 Sherwood Road (28 Woodstock Road) - Application number A005276774

165 Sherwood Road – Google Street View photo



148 Sherwood Road – Google Street View photo

148A Sherwood Road – Google Street View photo



16 Dean Street – Application number A006371879

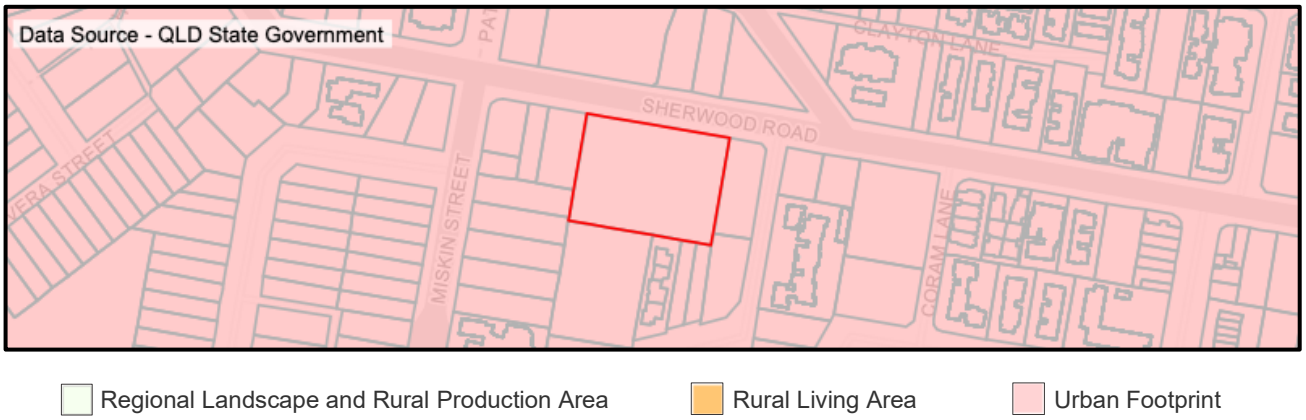
66 Miskin Street – Google Street View
Photo showing an existing post-1946 dwelling house

Based on this information, we believe that the proposed roof form compliments the surrounding traditional roof forms. Thus, ensuring compliance with the wording and intent of PO7.

7 OTHER RELEVANT LEGISLATIVE CONSIDERATIONS

7.1 Regional plans

The image below shows that the subject site is within the Urban footprint under the SEQ Regional Plan mapping.



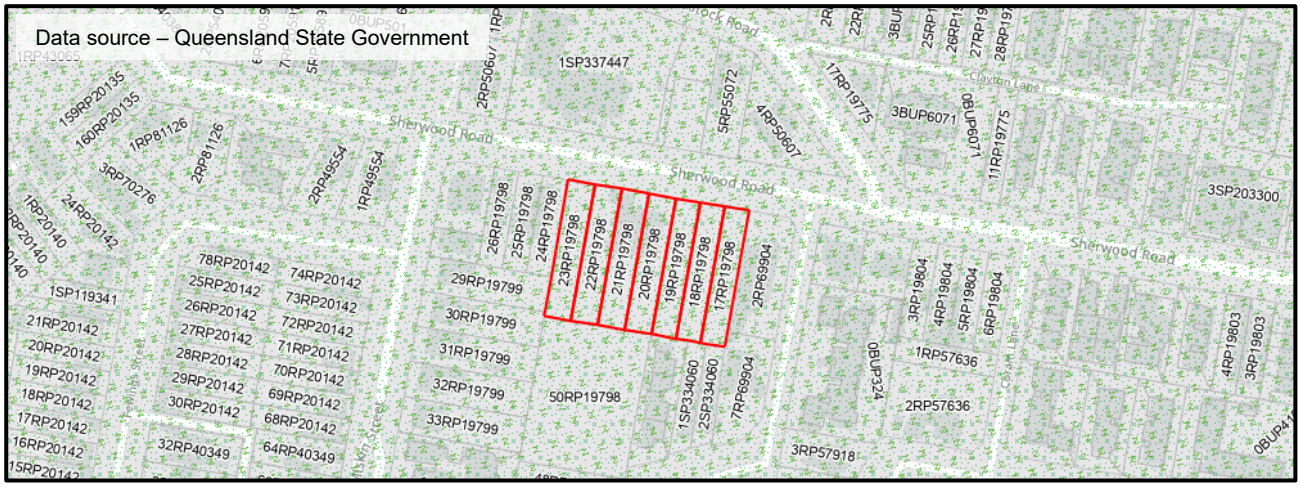
We confirm that the SEQ regulatory provisions do not apply to work in this area. As such, there are no additional requirements to consider.

7.2 State planning policy

The state planning policy identifies 17 state interests across 5 themes.

City plan 2014 has fully incorporated 12 to date and a further 3 do not apply to the Brisbane LGA (Local Government Area), leaving only 2 that need to be considered. Being the “bushfire-prone areas” and the “building-restricted areas”.

As shown via the image below, the site is not constrained by the mapping for either of these interests. As such, no further requirements apply to the assessment of this application.



7.3 Referral agencies

The subject site and proposed development do not fall within the scope of any of the referral triggers outlined in the planning regulation.

This statement is supported by the image below, which illustrates the SARA (state assessment and referral agency) mapping layers.

Queensland heritage place

Therefore, the proposal does not require referral to any advice or concurrence agencies under Planning Act 2016.

8 CONCLUSION

This application is seeking development permit for carrying out building work, to enable the owners to renovate and/or extend an existing house.

This assessment report and associated documentation demonstrate the proposed work complies with all relevant aspects of the local, regional, and state legislation.

Therefore, it is respectfully requested that the application be approved subject to reasonable and relevant conditions.

Should you wish to discuss any matters concerning this application, please contact the undersigned.

Peta Charles
Principal Planner
BRTP (hons)

9 ATTACHMENTS

- DA Forms (Form 2)
- Erosion Hazard Assessment Form
- Code Assessment
- Proposal Plans
- Heritage Impact Assessment

Want to learn more about us?
Check us out online for more information

For any queries regarding this application,
please contact us via mail@brisbanetp.com.au
or on (07) 3113 3261

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