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YOUR REF A006774817

OUR REF 11555

DATE 16 February 25

Chief Executive Officer
C/- Assessment Manager
Planning Services – Special Assessment
Development Services
GPO Box 1434
Brisbane QLD 4001

BCC DS
RECEIVED
27/02/2026
APPLICATION REF
A006774817

Delivery via email: DSPlanningSupport@brisbane.qld.gov.au

Attn: Tyrah Zarafa, Senior Urban Planner

Permit Type: Development Permit – Material Change of Use
Description of Proposal: Multiple Dwelling – 18 Units
Address of Site: 11 Swinburne Street, Lutwyche QLD 4030
Real Property Description: Lot 11 on RP19326 & Lot 10 on RP19326
Application Reference: A006774817

RE: DEVELOPMENT APPLICATION A006774817 – COMMENT ON THE THREE (3) SUBMISSIONS MADE DURING THE PUBLIC NOTIFICATION PERIOD FOR A MATERIAL CHANGE OF USE – MULTIPLE DWELLING (18 UNITS) LOCATED ON 11 SWINBURNE STREET, LUTWYCHE QLD 4030 FORMALLY KNOWN AS (LOTS 10 & 11 ON RP19326)

Dear Tyrah,

We refer to the three (3) submissions lodged with Council following the official public notification period and make brief comment on the matters raised as follows:

Submission unnamed dated 6 February 2026.

1. The submission dated 6 February 2026 is outside the official public notification period and does not obtain appeal rights to any Decision made by Council.

The MODUS traffic and transport advice addressed in detail, the Council Information request and the revised design, against the current planning and engineering standards and those requirements.

Modus is of the opinion that the proposed development is acceptable from a traffic engineering perspective and there are no outstanding concerns from a traffic engineering perspective.

Submission from Mr Barry Browett from 17 Swinburne Street, Lutwyche dated 28 January 2026.

2. The building design has been refined due to detailed discussions with Council over the minimum verge width achievable in Reid Lane. The subject site has three (3) adjoining road frontages and corner road truncations are required.

The required parking and internal access driveways have been designed to achieve the greatest setback to the sites western boundary as is achievable.

Screening to lower level windows is proposed.

On the subject sites western boundary, landscaping including screening shrubs growing to 5m are proposed in a raised planter box as per the concept design Landscaping plans. A screenshot follows:



Regarding the comment that the proposed building cannot be practically constructed, the design Architect and the Developer (being experienced Builders) have the experience and knowledge to construct what has been designed. There are numerous examples of their work in SE Qld that has been successfully built based on similar concept designs.

The future orderly and efficient development potential has not been compromised, as the landowners could have sold or had a joint venture arrangement with the developer to the west or our client.

The owners of 17 and 19 Swinburne Street, Lutwyche; still have the same planning legislation over their land and development potential as before the proposal was lodged.

The Lot owners could sell tomorrow, to another developer or decide to obtain an approval themselves and then on sell to another developer, or carry out the development themselves in a joint venture with another party.

The owners of 17 and 19 Swinburne Street are well aware of what could be built on their Lots and next to them as their recent experience with the completed development at 25 Swinburne Street demonstrates.

The subject Lots owned by the submitters are both in the HDR1 High density residential Zone and (up to 8 storeys precinct).

The purpose of the High-density residential zone code:

1. The purpose of the high-density residential zone is to provide for:
 - a. high density [multiple dwellings](#); and
 - b. [community uses](#), and small-scale services, facilities and infrastructure, to support local residents.

Note—Land in the High-density residential zone is contained in either the Up to 15 storeys zone precinct or the Up to 8 storeys zone precinct.

Note—As neighbourhood planning is undertaken by the Council, where it is intended that high density residential development should predominate, the High density residential zone may be applied to further lands in the inner city or within reasonable [walking distance](#) of public transport stops along growth transport corridors and surrounding significant centres and destinations.

It should be noted bored piles are proposed for the development and a detailed assessment (by HELIG & Partners) was provided to Brisbane SARA, regarding their referral, due to potential impact on the Northern Busways and Airport Link tunnels.

Submission from Mr Robert Burton from 19 Swinburne Street, Lutwyche dated 29 January 2026.

3. The building design has been refined due to detailed discussions with Council over the minimum verge width achievable in Reid Lane.

The required parking and internal access driveways have been designed to achieve the greatest setback possible and greatest percentage of landscaping achievable.

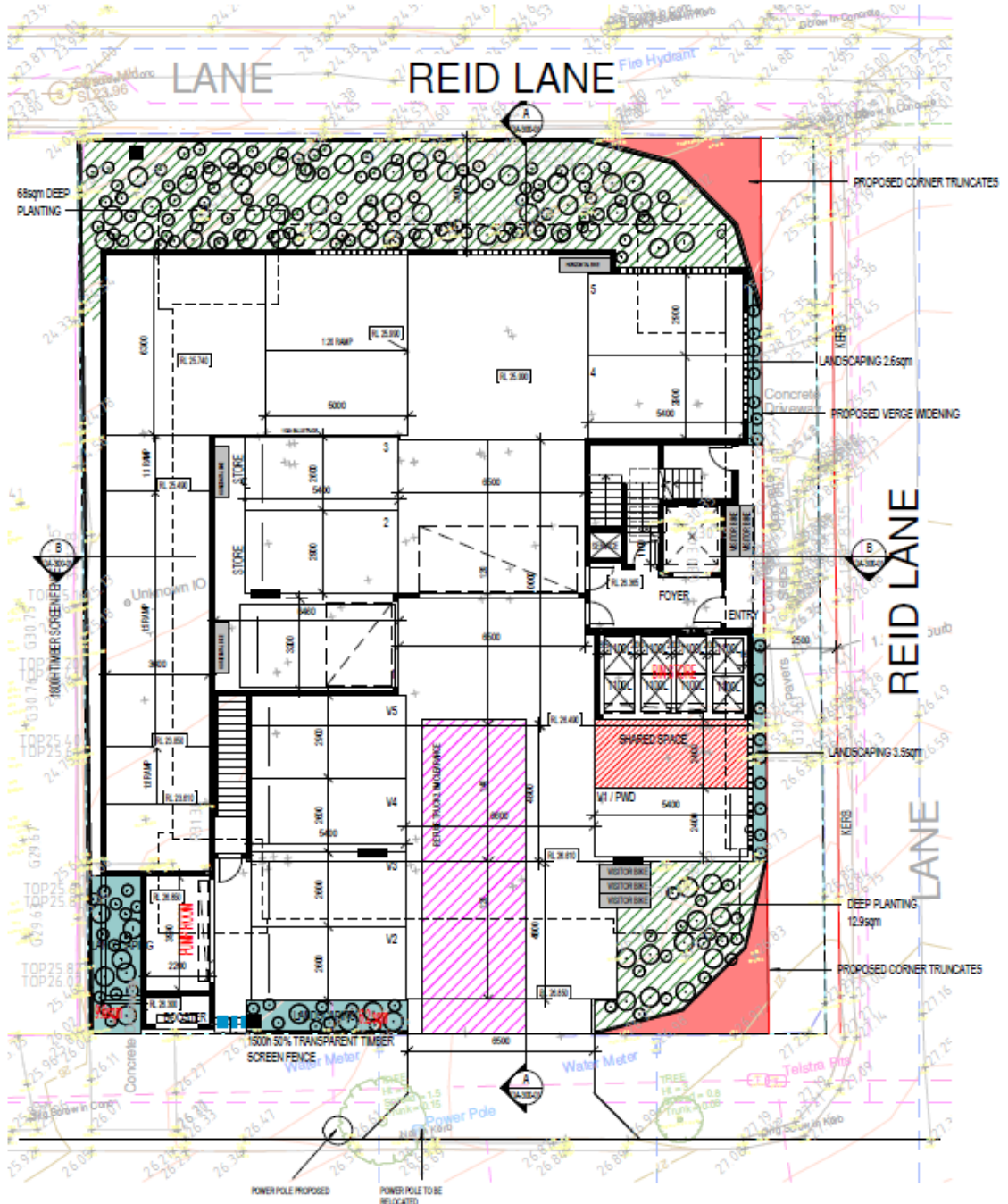
The site is constrained with three (3) road frontages, and achieves a minimum 2.5m road verge dedication.

A screenshot follows of the proposed ground level design.

As the submission under 2 above, is similar to this submission, please refer to that response above.

Under the Brisbane City Council (BCC) planning system, Performance Outcomes (POs) are designed to be addressed as an alternative to Acceptable Outcomes (AOs).

While AOs provide a prescriptive, "deemed-to-comply" path, the planning scheme allows for innovative or alternative design solutions that still satisfy the broader requirements of the code.



01 - GROUND LEVEL
1:100

Please do not hesitate to contact me on (07) 3012 0000, if there is any matter relating to the above you would like to discuss.

Yours faithfully

NORRIS CLARKE & O'BRIEN PTY LTD

A handwritten signature in blue ink, appearing to read "John Creagan". The signature is fluid and cursive, with a long horizontal stroke at the end.

JOHN CREAGAN

Principal Town Planner