

R.P.D.: Lot 7 & 8 on RP34500 Par - NORTHGATE

Local Authority: B.C.C.

Area: 1012 m²

Zoning / Overlays: LMR2/3
Demolition Control: NO

Flood Level: NIL

Climate Zone: 2

Site Cover: 684.1 SQ.M. (67%)

Built Area: 1595.27 SQ.M.

Deep Planting Area: 103.98 SQ.M. (10%)

No. Of Resident Cars: 15 OFF

No. Of Visitor Cars: 2 OFF

Total No. Of Cars: 17 OFF

NOTES:

: CONTOURS AS SUPPLIED BY CLIENT FROM SURVEY PLAN BY NORTHGROUP CONSULTING, DRAWING No. 200861#001 REV. 0.

: FINISHED FLOOR LEVELS (F.F.L.) ARE APPROX. ONLY AND ARE TO BE BE CONFIRMED ON SITE

: FOR LANDSCAPE, RETAINING WALL & FENCE PLAN, REFER SHEET No. DA-11

SITE COVER AREA		
name	area	area %
SITE OPEN	332.6 m ²	33%
SITE COVERED	684.1 m ²	67%
	1016.7 m ²	100%

DEEP PLANTING AREA (TOTAL)		
Name	Area	Area %
DEEP PLANTING	103.98 m ²	10%
	103.98 m ²	10%
SITE BALANCE	912.20 m ²	90%
	912.20 m ²	90%
	1016.18 m ²	100%

THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.

PLANS AND DOCUMENTS
referred to in the
DEVELOPMENT APPROVAL

Issued: 11/04/2017

Minor change: 08/12/2020

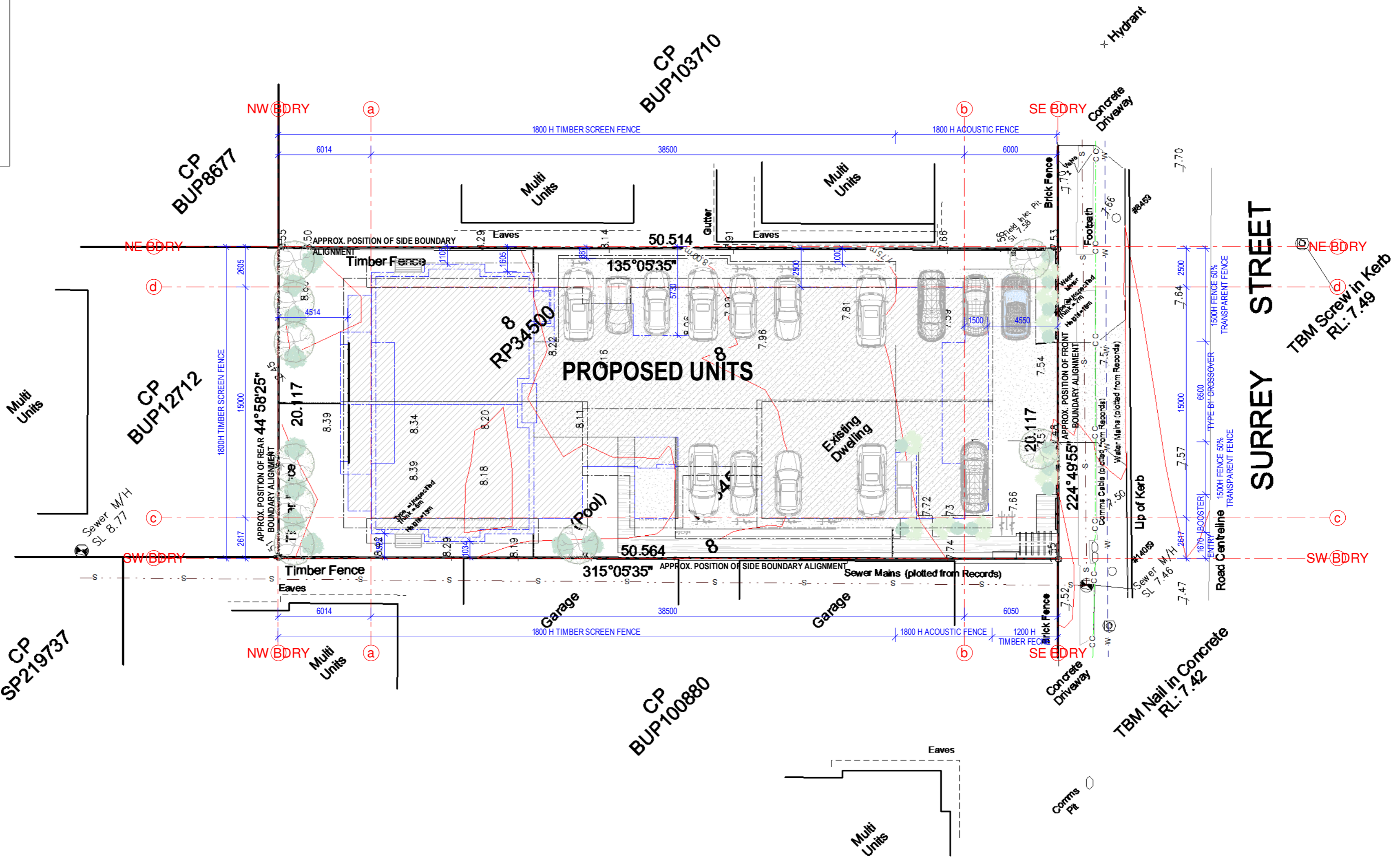
PROPOSED SITE PLAN LEGEND:

- C - C - : COMMUNICATIONS CABLE
- S - S - : SEWER LINE
- W - W - : WATER MAIN LINE
- - - - : SITE CONTOURS
- [Hatched Box] : PROPOSED FLOOR AREA
- - - - : PROPOSED ROOF OUTLINE

FLOOR AREAS (ALL)

FOYER	
FF FOYER	33.52
GF FOYER	15.15
SF FOYER	33.52
	82.19
PARKING AREA	
PARKING AREA	201.38
WC	4.58
	205.95
UNIT 1	
PORCH	1.23
UNIT 1	90.33
UNIT 1 PATIO	9.19
	100.75
UNIT 2	
PORCH	1.23
UNIT 2	90.33
UNIT 2 PATIO	9.19
	100.75
UNIT 3	
BALCONY	16.44
UNIT 3	86.93
	103.37
UNIT 4	
BALCONY	16.38
UNIT 4	94.77
	111.15
UNIT 5	
BALCONY	15.45
UNIT 5	100.87
	116.33
UNIT 6	
BALCONY	16.38
UNIT 6	98.52
	114.90
UNIT 7	
BALCONY	16.38
UNIT 7	90.68
	107.06
UNIT 8	
BALCONY	16.44
UNIT 8	86.93
	103.37
UNIT 9	
BALCONY	16.38
UNIT 9	94.77
	111.15
UNIT 10	
BALCONY	15.45
UNIT 10	100.87
	116.33
UNIT 11	
BALCONY	16.38
UNIT 11	98.52
	114.90
UNIT 12	
BALCONY	16.38
UNIT 12	90.68
	107.06
Grand total	1595.27

Received
02/11/2020
BCC DS



DA-SITE PLAN-1-200

NOT FOR CONSTRUCTION

Use figured dimensions. DO NOT SCALE. Check before fabrication or set out.	ISS DATE	ISSUE	REVISION	DESCRIPTION				Level 7, 7 15 Blackwood Street Melbourne VIC 3004 Australia Tel: 03 9556 8944 Fax: 03 9556 8944 Email: info@mrdstudio.com.au Website: www.mrdstudio.com.au	PLANS IN NAME OF NICAD DEVELOPMENTS Pty Ltd	PROJECT PROPOSED UNIT DEVELOPMENT	AUTHOR ZM DESIGNER JH CHECKED VH	PROJECT STATUS TP3.1	SHEET NO. OF DA-02 OF 02	SHEET TITLE PROPOSED SITE PLAN	PROJECT NO. B7006	DATE DEC19	ISSUE 0
	RE DAT	REVISION	DESCRIPTION	SCALE AT PROJECT STATUS As indicated PROJECT STATUS TP3.1													

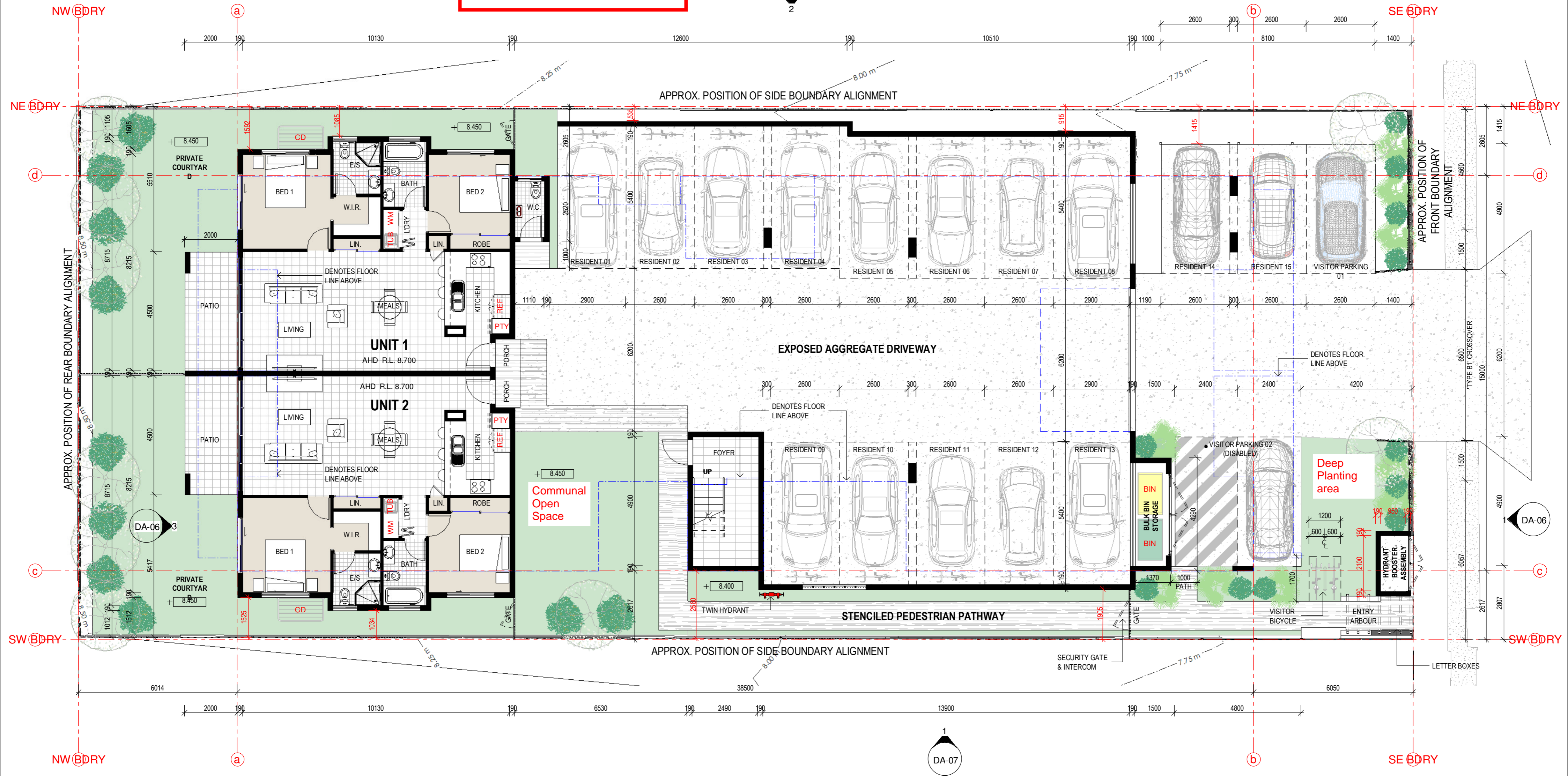
KEYNOTES LEGEND	
ITEM	DESCRIPTION
BIN	BIN LOCATION
CD	CLOTHES DRYING
PTY	PANTRY
REF	REFRIGERATOR LOCATION
TUB	LAUNDRY TUB SS OR AS SELECTED
WM	WASHING MACHINE LOCATION WITH DRYER OVER

PLANS AND DOCUMENTS
referred to in the
DEVELOPMENT APPROVAL

Issued: 11/04/2017

Minor change: 08/12/2020

THIS APPROVAL SHOULD NOT BE
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TO ENTER NEIGHBOURING
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(INCLUDING ASSOCIATED WORKS
SUCH AS DRAINAGE AND EXCAVATION)
ANY BUILT TO BOUNDARY WALL OR
FENCES. PERMISSION MUST BE
OBTAINED FROM RELEVANT
PROPERTY OWNERS.



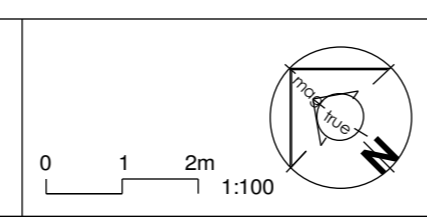
DA-GROUND FLOOR PLAN
1 : 100

Received
02/11/2020
BCC DS

AMENDED IN RED
3/12/2020

NOT FOR CONSTRUCTION

ISS DATE	ISSUE	REVISION	DESCRIPTION



MRD studio
www.mrdstudio.com.au

Level 7
16 Blackwood Street
Melbourne VIC 3003
Tel: 03 9555 8822
Fax: 03 9555 8844

DowRoyle Building Designers Pty Ltd
T/A MRDstudio
ABN 77 079 724 119
Building Designers Licence 111 539 6

PLANS IN NAME OF NICAD DEVELOPMENTS Pty Ltd	SITE 6 SURREY STREET, NUNDAH QLD, 4012	SCALE AT PROJECT STATUS 1 : 100 TP3.1	PROJECT PROPOSED UNIT DEVELOPMENT
AUTHOR ZM DESIGNED QH CHECKED VH	PROJECT PROPOSED UNIT DEVELOPMENT	SHEET TITLE GROUND FLOOR PLAN	SHEET NO. OF DA-03 02

PROJECT NO. B7006	DATE DEC 19
ISSUE NO. 02	ISSUE DATE

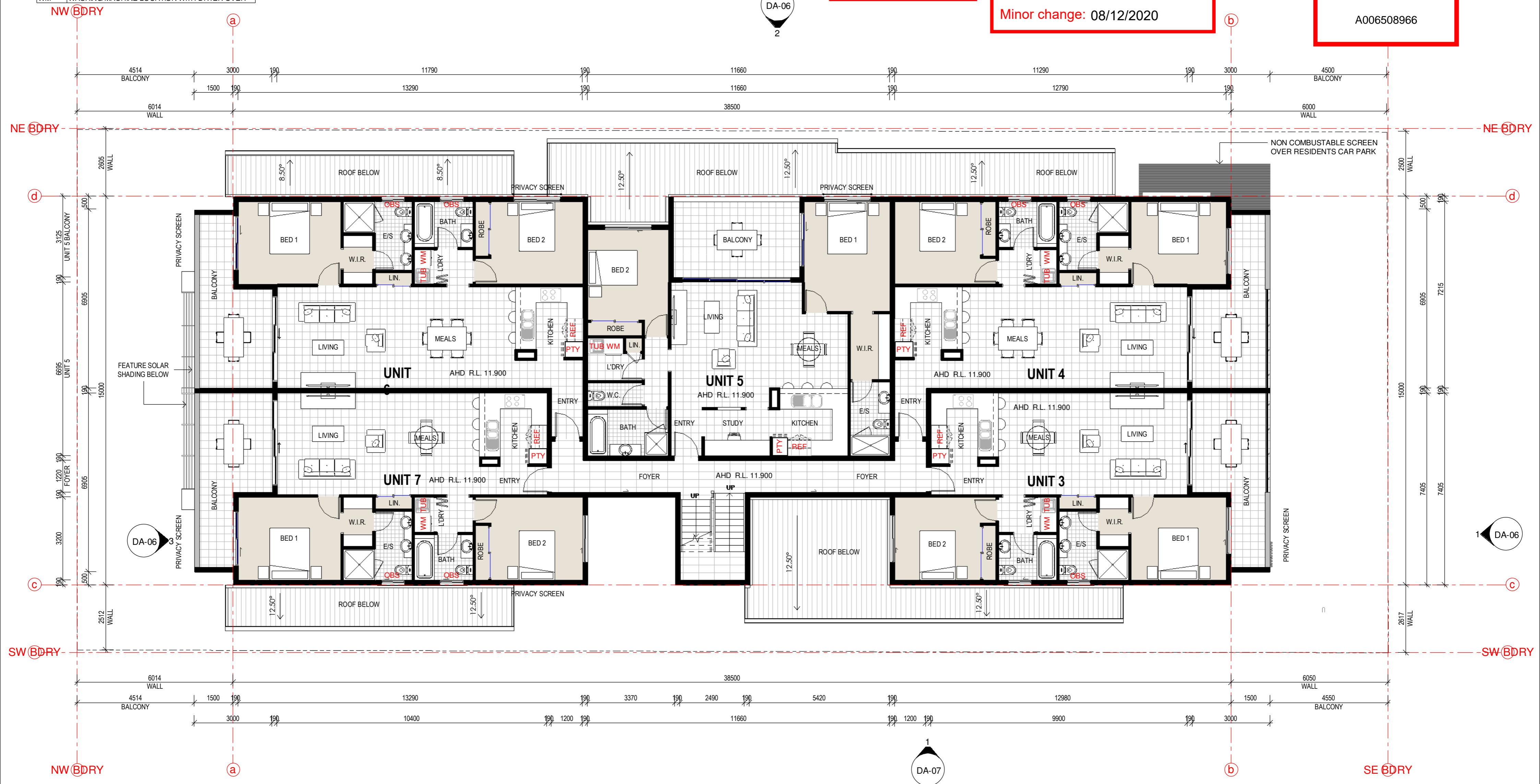
KEYNOTES LEGEND	
ITEM	DESCRIPTION
OBS	OBSCURE GLASS
PTY	PANTRY
REF	REFRIGERATOR LOCATION
TUB	LAUNDRY TUB SS OR AS SELECTED
WM	WASHING MACHINE LOCATION WITH DRYER OVER

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RECEIVED
29/04/2024
APPLICATION REF
A006508966



DA-FIRST FLOOR PLAN
1 : 100

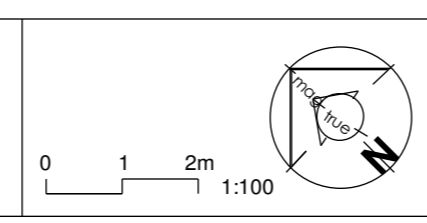
Received
02/11/2020
BCC DS

Development is required to comply with condition titled: "Screening Multiple Dwelling/ Dual Occupancy".

AMENDED IN RED
3/12/2020

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Level 7, 77 Blackwood Street, Melbourne VIC 3004
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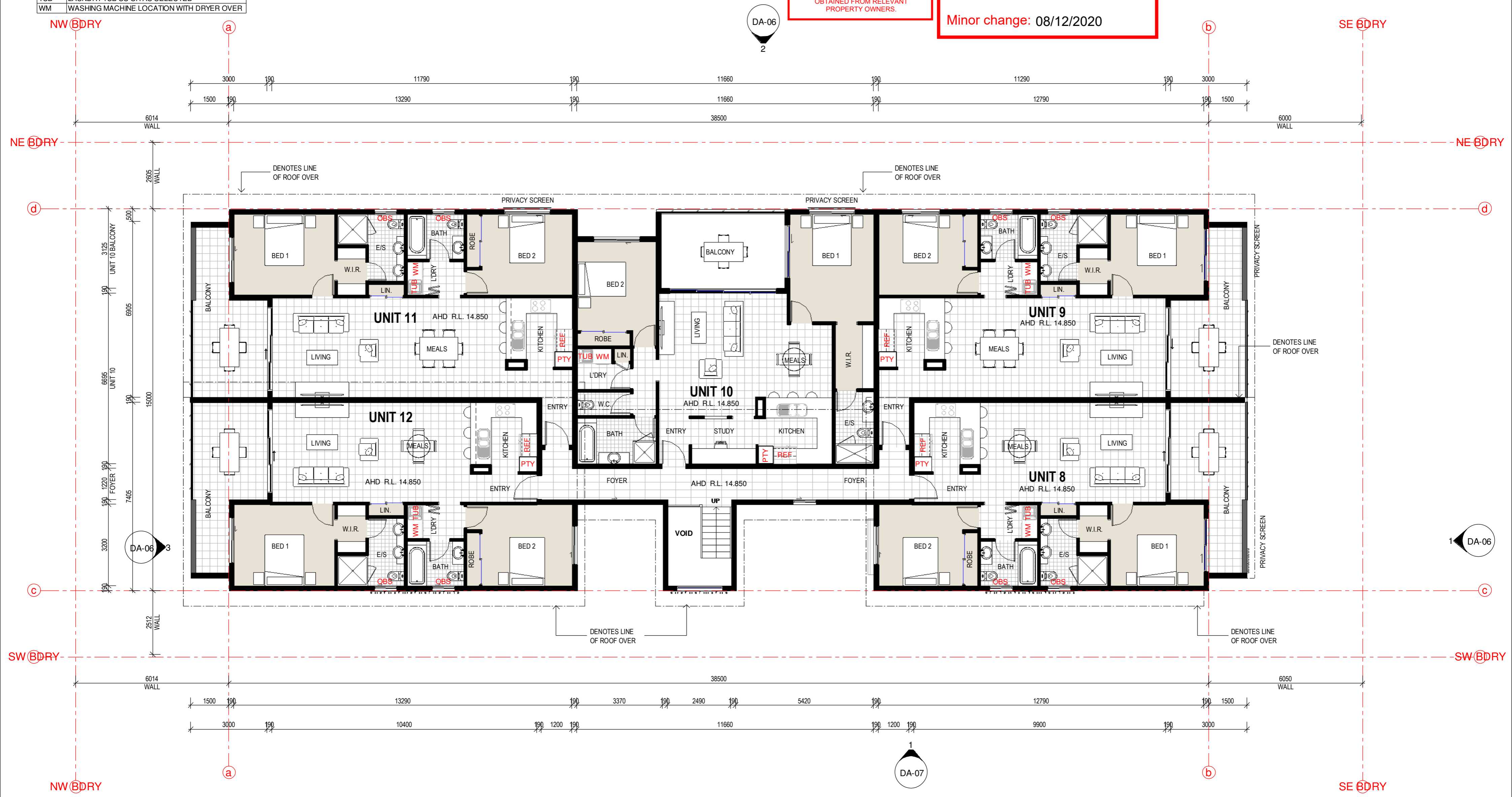
PLANS IN NAME OF NICAD DEVELOPMENTS Pty Ltd	SITE 6 SURREY STREET, NUNDAH QLD, 4012	SCALE AT PROJECT STATUS 1 : 100 TP3.1	PROJECT STATUS TP3.1	PROJECT NO B7006
AUTHOR ZM	DESIGNED WH	CHECKED VH	SHEET TITLE PROPOSED UNIT DEVELOPMENT	SHEET NO OF DA-04 02
ISSUE				O

KEYNOTES LEGEND	
ITEM	DESCRIPTION
OBS	OBSCURE GLASS
PTY	PANTRY
REF	REFRIGERATOR LOCATION
TUB	LAUNDRY TUB SS OR AS SELECTED
WM	WASHING MACHINE LOCATION WITH DRYER OVER

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PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Issued: 11/04/2017
Minor change: 08/12/2020



DA-SECOND FLOOR PLAN
1 : 100

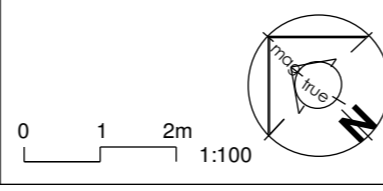
Received
02/11/2020
BCC DS

Development is required to comply with condition titled: "Screening Multiple Dwelling/ Dual Occupancy".

AMENDED IN RED
3/12/2020

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ISS DATE	ISSUE	REVISION	DESCRIPTION



MRD studio
www.mrdstudio.com.au

DowRoyle Building Designers Pty Ltd
T/A MRDstudio ABN 17 079 724 119
Building Designers Licence 111 539 6

Level 7
16 Blackwood Street
Melbourne VIC 3003
Tel: 07 9855 8822
Tel: 07 9855 8844

 EMBERS Sustainable Building Designers	PLANS IN NAME OF NICAD DEVELOPMENTS Pty Ltd	SITE 6 SURREY STREET, NUNDAH QLD, 4012	SCALE AT PROJECT STATUS 1 : 100 TP3.1	PROJECT NO B7006
	AUTHOR ZM DESIGNED WH CHECKED VH	PROJECT PROPOSED UNIT DEVELOPMENT	SHEET TITLE SECOND FLOOR PLAN	DATE DEC19 SHEET NO OF DA-05 OF ISSUE 02

DA-06

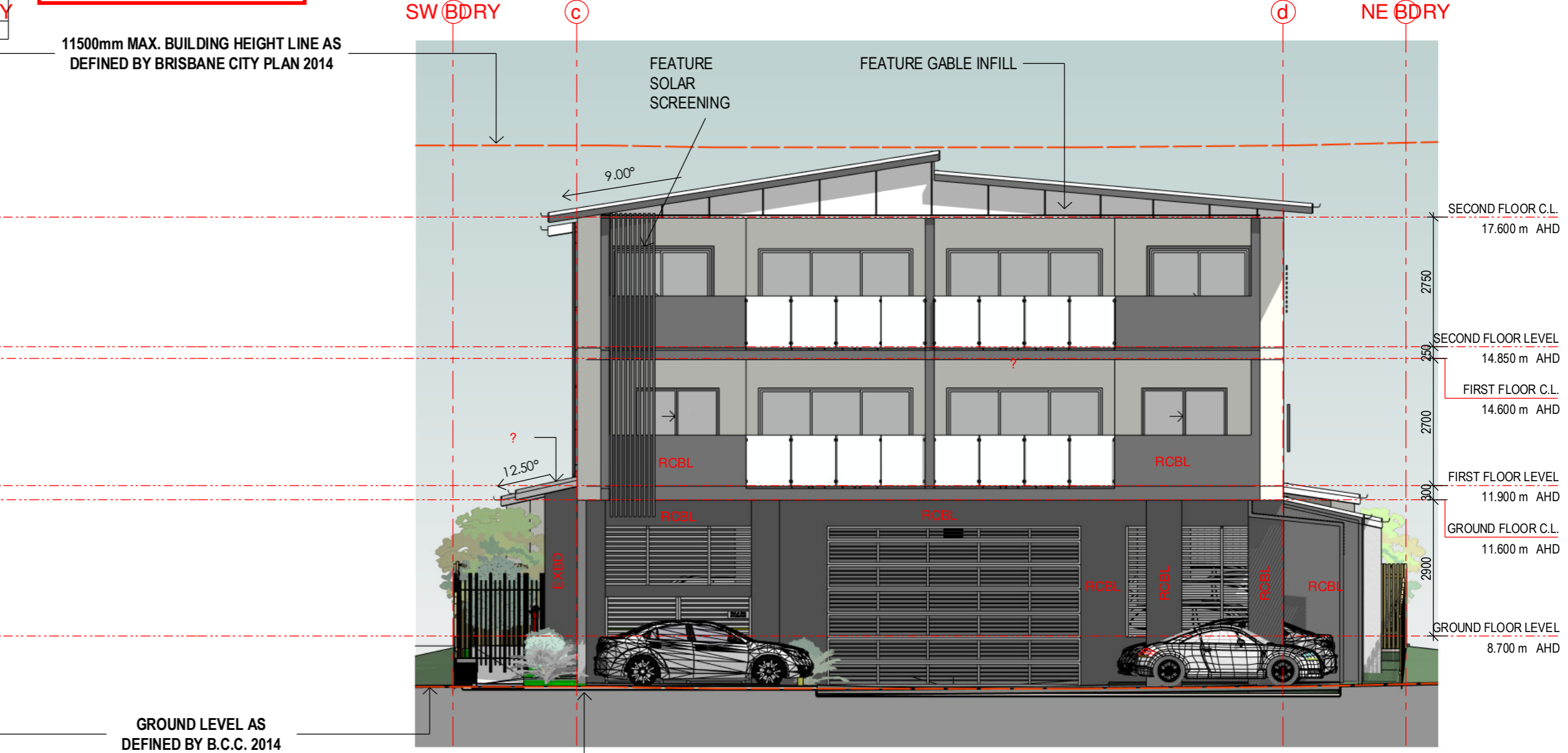
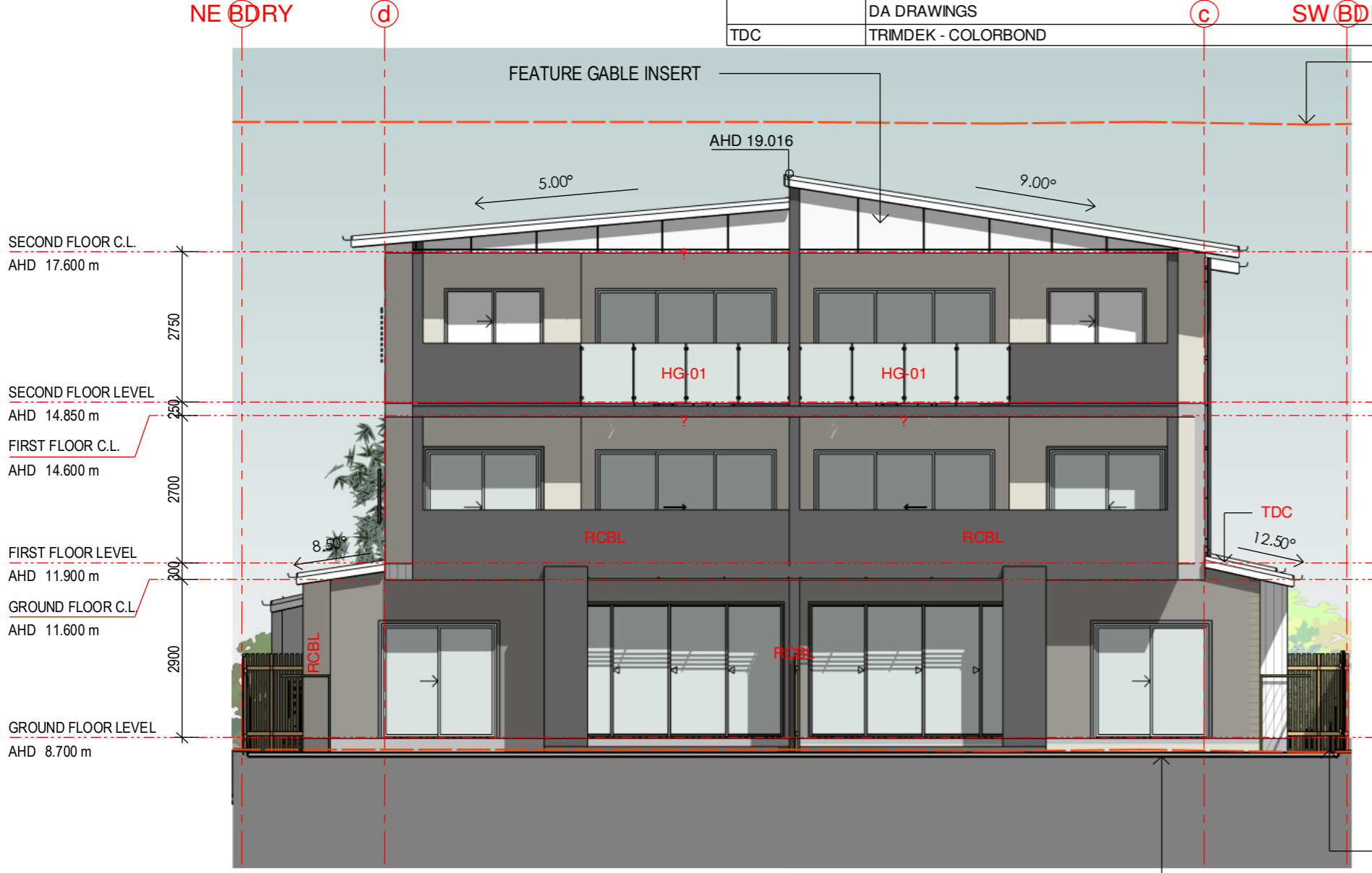
KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING
EXBD	SELECTED EXPRESS JOINTED CLADDING FIXED OVER DOUBLE SIDED ANTI-GLARE SISALATION TO MANUFACTURER'S WRITTEN INSTRUCTIONS. REFER END 'NOTE'.
HG-01	HANDRAILS GLASS 1000 HIGH WITH STEEL RAILS & POSTS

KEYNOTES LEGEND	
ITEM	DESCRIPTION
RCBL	CONCRETE BLOCKWORK TO HAVE A CONCRETE RENDERED & PAINTED FINISH TO OWNER'S SPECIFICATIONS AND INSTALLED TO MANUFACTURER'S WRITTEN INSTRUCTIONS. REFER END 'NOTE'.
RCBL-HRG	CONCRETE BLOCKWORK WITH FEATURE HORIZONTAL GROOVES TO HAVE A CONCRETE RENDERED & FEATURE PAINTED FINISH TO OWNER'S SPECIFICATIONS AND INSTALLED TO MANUFACTURER'S WRITTEN INSTRUCTIONS IN ACCORDANCE WITH B.C.C. APPROVED DA DRAWINGS
TDC	TRIMDEK - COLORBOND

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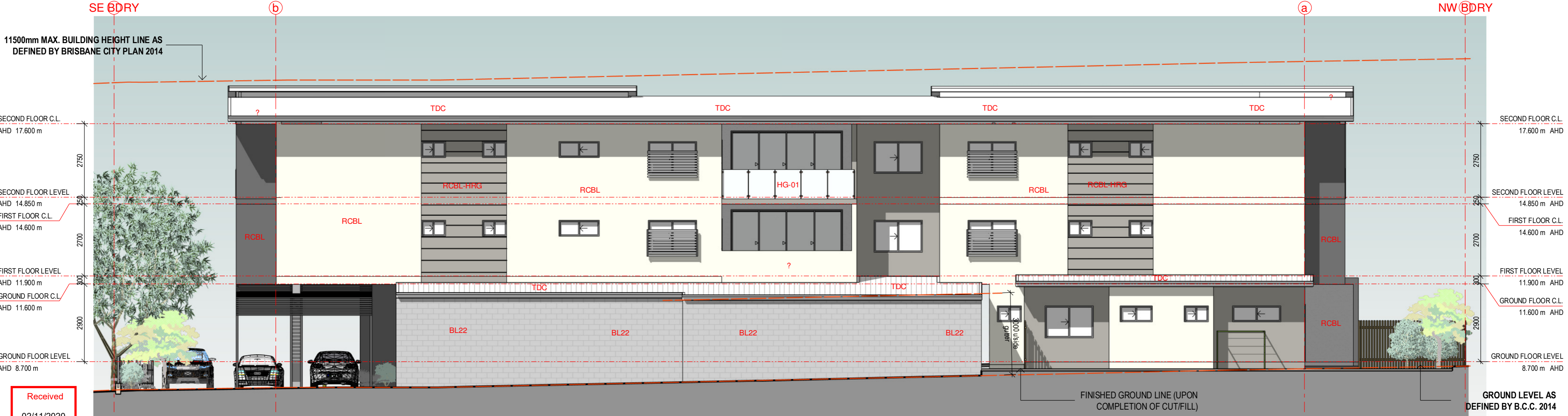
AMENDED IN RED
3/12/2020

Development is required to comply with condition titled: "Screening Multiple Dwelling/ Dual Occupancy".



DA-PROPOSED NORTH-WEST ELEVATION
1 : 100

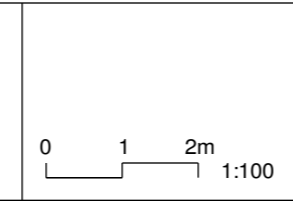
DA-PROPOSED SOUTH-EAST ELEVATION
1 : 100



DA-PROPOSED NORTH-EAST ELEVATION
1 : 100

Received
02/11/2020
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PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL
Issued: 11/04/2017
Minor change: 08/12/2020



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DowRoyle Building Designers Pty Ltd
T/A MRD studio ABN 17 079 724 119
Building Designers Licence 111 539 6

PLANS IN NAME OF
NICAD DEVELOPMENTS Pty Ltd
AUTHOR ZM
DESIGNED QH
CHECKED VH
PROJECT
PROPOSED UNIT DEVELOPMENT
SITE
6 SURREY STREET,
NUNDAH QLD, 4012
SCALE AT PROJECT STATUS
1 : 100 TP3.1

PROJECT NO
B7006
DATE
DEC19
SHEET NO OF
DA-06 02
ISSUE
O

KEYNOTES LEGEND	
ITEM	DESCRIPTION
EXBD	SELECTED EXPRESS JOINTED CLADDING FIXED OVER DOUBLE SIDED ANTI-GLARE SISALATION TO MANUFACTURER'S WRITTEN INSTRUCTIONS. REFER END 'NOTE'.
RCBL	CONCRETE BLOCKWORK TO HAVE A CONCRETE RENDERED & PAINTED FINISH TO OWNER'S SPECIFICATIONS AND INSTALLED TO MANUFACTURER'S WRITTEN INSTRUCTIONS. REFER END 'NOTE'.
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11500mm MAX. BUILDING HEIGHT LINE AS DEFINED BY BRISBANE CITY PLAN 2014



Development is required to comply with condition titled: "Screening Multiple Dwelling/ Dual Occupancy".

AMENDED IN RED
3/12/2020

GROUND LEVEL AS DEFINED BY B.C.C. 2014
FINISHED GROUND LINE (UPON COMPLETION OF CUT/FILL)

DA-PROPOSED SOUTH-WEST ELEVATION
1 : 100

HYDRANT BOOSTER ENCLOSURE
PEDESTRIAN ARBOUR
FEATURE SOLDIER COURSING BLOCKWORK

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

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02/11/2020
BCC DS

Issued: 11/04/2017
Minor change: 08/12/2020

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<small>Use figured dimensions. Do NOT SCALE. Check all dimensions before fabrication or set out.</small>	ISS DATE	ISSUE	DESCRIPTION			<small>10/138 07 3855 8822 07 3855 8844</small>	<small>Level 1 Tenancy 7 16 Blackwood Street P.O. Box 2176 Melbourne 4063</small>		PLANS IN NAME OF NICAD DEVELOPMENTS Pty Ltd	SITE 6 SURREY STREET, NUNDAH QLD, 4012	SCALE AT PROJECT STATUS 1 : 100 TP3.1	PROJECT NO B7006
	RE DAT	REVISION	DESCRIPTION						AUTHOR ZM	PROJECT PROPOSED UNIT DEVELOPMENT	SHEET TITLE ELEVATION 2 of 2	SHEET NO OF DA-07 02
									CHECKED VJH			ISSUE O