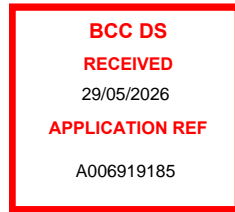


29th January 2026



Proposed Rooming Accommodation (6+p) in Low-medium Residential Zone.

34-36 Premier Street, Oxley QLD 4075

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Annexures

- A** **Building Plans**
- B** **Code Compliance**

Report Summary

Site Details

Applicant name	Andrade Properties QLD Pty Ltd
Report prepared by	RBA
Site address	34-36 Premier Street, Oxley
Real Property Description (RPD)	Lot 2 and Lot 1 on SP349626
Site area	304m ² each
Zone	Low-Medium Density Residential
Neighbourhood plan	Darra-Oxley district neighbourhood plan Oxley centre precinct - NPP-002 Oxley residential sub-precinct - NPP-002b
Relevant overlays	Airport environs overlay Community purposes network overlay Critical infrastructure and movement network overlay Dwelling house character overlay Potential and actual acid sulphate soils overlay Road hierarchy overlay Streetscape hierarchy overlay Transport noise corridor overlay

Aspects of Development

Type of development	Material Change of Use
Proposed use	Rooming Accommodation (6+ people)
Brief description of proposal	Conversion of existing Rooming Accommodation (5p) to Rooming Accommodation (6+p)
Referral agencies	none
Specialists' reports provided	-
Pre-lodgement advice	No

1 Site Location & Background Review

The subject lot—34-36 Premier Street, Oxley— form part of a broader subdivision approved in 2024, which resulted in the creation of two lots (1 SL349626 and 2 SL349626). Following the finalisation of the subdivision, rooming accommodation for five persons was constructed on both lots (34-36 Premier Street, Oxley), in accordance with the planning regulations at the time. Rooming accommodation for 5 people and under is considered acceptable as the planning regulation prohibits it from becoming assessable development.

Due to the increasing demand for housing in Brisbane, and the site's strategic location—close to Oxley train station and within convenient access to the Brisbane CBD—the proposed development seeks to increase the number of people living within the existing rooming accommodation. Specifically, the proposal aims to increase the occupancy from five to ten persons, with two persons per room for 34-36 Premier Street, Oxley.

This proposed change is impact assessable as the subject lots do adjoin a dwelling house. The application demonstrates compliance with the applicable planning instruments, including the relevant zone code, the Rooming Accommodation Code, and all secondary codes as required. The development is designed to respond to the city's evolving housing needs while maintaining alignment with planning objectives and site suitability.

1.1 Site Characteristics

Site Shape/Dimensions	Two rectangular small lot measuring 304m ² .
Access	The lots are currently accessed from Premier Street via existing driveway crossover.
Existing Vegetation	The site contains no protected or significant vegetation. There is no street trees impacted as existing crossovers are to be reused.
Topography	The site is generally flat.
Flooding	-
Infrastructure	Unaffected by the scope of the proposal.

1.2 Site History

The site at 34-36 Premier Street, Oxley, was part of a subdivision approved in 2024 that created two lots in total—34 and 36 Premier Street. Following the subdivision, the subject lots 34 and also 36 were developed with rooming accommodation for five persons per dwelling, consistent with the planning regulations in place. The demand for these rooms in such properties has been high and as such to respond to the rising demand and housing crisis in Brisbane, we would like to increase the occupancy from 5 persons to 10 persons for both lots, 34 and 36 Premier Street.

2 Proposal

The application is for rooming accommodation (5 bedroom- 10 persons) within the existing dwelling at 34-36 Premier Street, Oxley QLD 4075.

We consider the proposal includes the following component:

- Material Change of Use – Development Permit.
- Refer to Annexure A—Building Plans

The proposal reutilises the existing dwelling, access crossovers and carparking, as such does not result in physical changes on site apart from additional visitor parking being provided as part of this development in compliance with the Rooming Accommodation use code and Transport, Access and Parking Planning Policy.

The existing dwelling accommodate 5 ensuite bedrooms each, which the applicant wishes to continue renting out per room however now each room will be occupied by couples rather than individuals.

It is noted that the proposal involves the reuse of the existing building as is with no building or further site works required.

The application is impact assessment as the subject lot is adjoined by a dwelling house.

3 Assessment Benchmarks and Compliance

The proposal reflects the relevant planning outcomes set out in all applicable State and local government planning instruments, as follows.

3.1 South East Queensland Regional Plan

The development involves residential dwellings within the Urban Footprint and, as such, is consistent with the intent of the *South East Queensland Regional Plan 2023* (ShapingSEQ). In addition, the dwelling is nearby the Oxley train station which connects to major employment hubs around Brisbane.

3.2 State Planning Policy

The site is located in the following *State Planning Policy* mapped areas:

NATURAL HAZARDS RISK AND RESILIENCE

- Flood hazard area - local government flood mapping area

STRATEGIC AIRPORTS AND AVIATION FACILITIES

- Obstacle limitation surface area
- Lighting area buffer 6km
- Wildlife hazard buffer zone

The relevant state interests are reflected in applicable *City Plan 2014* overlays. The site is affected by the Flood overlay, however, during the subdivision works it has been confirmed the property is located way higher the water level, and no filling was required to be undertaken to comply with the Flood code.

In complying with the planning scheme, the proposal is taken to comply with the *State Planning Policy*.

3.3 Temporary Local Planning Instruments

Table 1. Current TLPIs in effect (Brisbane City Council).

TLPI	Description	Comments
02/23 (QLD)	Kurilpa Sustainable Growth Precinct	No effect on the site.
01/25 (QLD)	Colmslie Road Industry Precinct	No effect on the site.

3.4 Public Notification

The development is subject to impact assessment, as such public notification will be carried out in due course.

3.5 Referral Agencies

The development does not require referral.

3.6 Brisbane Planning Scheme and Planning Scheme Policies

The categories of development and assessment for the proposal are determined in accordance with Part 5 of *City Plan 2014*, as follows:

Table 4. City Plan 2014 categories of development and assessment—Material Change of Use (rooming accommodation):

	MCU (rooming accommodation)
Zone	
Low-medium Density Residential	Code assessment
Neighbourhood plan	
Darra-Oxley neighbourhood plan	No change
Overlays	
Airport environs overlay	Not applicable
Community purposes network overlay	Not applicable
Critical infrastructure and movement network overlay	Not applicable
Dwelling house character overlay	Not applicable
Potential and actual acid sulfate soils overlay	Not applicable
Road hierarchy overlay	Code assessment
Streetscape hierarchy overlay	Code assessment
Transport noise corridor overlay	Not applicable

Relevant assessment benchmarks are set out in the applicable planning scheme codes. Based on the tables of assessment in *City Plan 2014*, the following codes apply to this development:

Table 5. Applicable City Plan 2014 codes for the MCU area as follows:

Primary Codes	Rooming Accommodation Code
Zone Code	Low-medium density zone code
Secondary Codes	Filling and excavation code Infrastructure design code Landscape work code Outdoor Lighting code Stormwater code Transport, access, parking and servicing code Wastewater code
Overlay Codes	Road hierarchy overlay code Streetscape hierarchy overlay code

→ Refer to Annexure B—Code Compliance.

3.7 Definition of Rooming Accommodation

Rooming accommodation means the use of premises for—

- a. residential accommodation, if each resident—
 - i. has a right to occupy 1 or more rooms on the premises; and
 - ii. does not have a right to occupy the whole of the premises; and
 - iii. does not occupy a self-contained unit, as defined under the *Residential Tenancies and Rooming Accommodation Act 2008*, schedule 2, or has only limited facilities available for private use; and
 - iv. shares other rooms, facilities, furniture or equipment outside of the resident's room with 1 or more other residents, whether or not the rooms, facilities, furniture or equipment are on the same or different premises; or
- b. a manager's residence, an office or providing food or other service to residents, if the use is ancillary to the use in paragraph (a).

Examples of rooming accommodation— boarding house, hostel, monastery, off-site student accommodation

A tenant cannot therefore occupy a self-contained unit OR has only limited private facilities. The rooming accommodation definition offers an alternative to being self-contained i.e. ***“or has only limited facilities available for private use”***.

The word limited doesn't mean 'none'. From [the dictionary definition of limited] it appears by limiting facilities, the underlying use is still there however it has limited functionality for e.g. a train is still a train, however has limited stops/capacity/services. We extract from this that the rooms can still have all the items contributing towards being self-contained however these items are limited in functionality i.e. a kitchen can still have cooking facilities, however limited in function, i.e. only undertake basic food prep.

All the residents have access to a communal (full) kitchen which contains a large oven, standard sink, stove, pantry etc. The bedrooms only have limited facilities such as short benchtop, minimal cupboards, microwave, kettle etc and a small sink.

As the proposed bedrooms contain limited facilities for private use, the proposal complies with the definition of rooming accommodation.

Council's request to not have self-contained units takes the requirements beyond what is required to have a lawful rooming accommodation use and amounts to reading the definition as though the alternative was not in the definition:

"iii. does not occupy a self-contained unit, as defined under the *Residential Tenancies and Rooming Accommodation Act 2008*, schedule 2, ~~or has only limited facilities available for private use~~".

As such we do not believe it is lawful for Council to mark up the plans in red and/or insert a condition which states the bedrooms cannot be self-contained or that no cooking facilities are permitted.

4 Infrastructure Charges

As each dwelling can be considered one suite of 5 bedrooms, we believe the infrastructure charges will be \$0.00 as the demand and credit are the same.

5 Recommendation & Conclusion

The proposed development provides rooming accommodation that is responsive to the specific constraints of the site while aligning with the evolving housing needs of Brisbane and the historical development patterns in the surrounding area. The proposal complies with all relevant provisions of the Rooming Accommodation Code and the Zone Code, thereby demonstrating consistency with the applicable use, zone, and overlay outcomes.

Furthermore, the development advances the strategic intent for City Plan 2014 in providing built form which protects the amenity and subtropical lifestyle of residents, while facilitating urban consolidation through residential infill, nearby public transport and employment.

With these considerations, the development should be approved by Council, subject to relevant standard conditions.

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LOT 2, #34 PREMIER STREET OXLEY QLD 4075 DESIGN: PREM0002


LAYOUT INDEX

LAYOUT NO:	LAYOUT NAME
	COVER SHEET (THIS SHEET)
1	SITE PLAN
2	GROUND FLOOR PLAN
3	UPPER FLOOR PLAN
4	ELEVATIONS
5	SECTION
6	SLAB & FRAMING PLANS
7	PLUMBING PLANS
8	ELECTRICAL PLANS
9	ROOF PLAN
10	FLOOR COVERING PLANS
11	LANDSCAPE PLAN
12	KITCHEN LAYOUTS
13	KITCHEN LAYOUTS 2
14	BATHROOM LAYOUTS
15	BATHROOM & LAUNDRY LAYOUTS
16	PERSPECTIVE VIEWS

GENERAL NOTES - STEEL FRAMES:
CONSTRUCTION DETAILS:

ALL CONSTRUCTION SHALL CONFORM STRICTLY WITH THE REQUIREMENTS OF THE NCC & THE BUILDING CODE OF AUSTRALIA VOL2, THE QUEENSLAND BUILDING ACT 1975-1990 TOGETHER WITH THE BUILDING AMENDMENTS ACT 1991, THE QUEENSLAND BUILDING REGULATION 2021. ACCEPTED BUILDING PRACTICES: NATIONAL CONSTRUCTION CODE VOLUME TWO - PART 3.4.2 STEEL FRAMING

ALL MATERIALS USED FOR THE CONSTRUCTION WORK COVERED BY THESE PLANS SHALL BE NEW AND HIGHEST QUALITY.

ANY TIMBER CONSTRUCTION SHALL BE IN ACCORDANCE WITH A.S. 1684.2 - 2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION WHERE APPLICABLE.

TIMBER NOTES: ALL EXTERNAL AND EXPOSED TIMBER TO BE MINIMUM DURABILITY CLASS 2 AND BE ADEQUATELY TREATED TO THE RELEVANT HAZARD LEVEL PROTECTED AGAINST CORROSION DESIGN CRITERIA. MAXIMUM ROOF LOAD WIDTH RLW = 6.4m - U.N.O. DENOTES UNLESS NOTED OTHERWISE

SITE CLASSIFICATION: AS PER ENGINEER DESIGN

SOIL CLASSIFICATION: AS PER ENGINEER DESIGN

ENERGY RATING:

PROVIDE ENERGY EFFICIENT DESIGN MEASURES IN ACCORDANCE WITH ATTACHED ENERGY DESIGN & ASSESSMENT RATING SCHEDULE.

GROUND SLAB:

CONCRETE SLAB AND FOUNDATIONS ARE TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH A.S. 2870. REINFORCED CONCRETE GROUND SLAB POURED ON 200uM POLYTHENE MEMBRANE USING ENGINEER'S DESIGN & DETAIL DRAWINGS AND SPECIFICATION PROVIDED.

TERMITE CONTROL:

1. TERMITE CONTROL TO BE IN ACCORDANCE WITH A.S. 3660.1 & NCC VOL2 PART 3.4 - TERMITE RISK MANAGEMENT.
2. THE TERMITE SYSTEM TO BE INSPECTED & MAINTAINED AS ADVISED BY INSTALLERS, MANUFACTURER OR EVERY 12 MONTHS WHICHEVER IS THE LESSER. INSPECTIONS TO BE CARRIED OUT BY COMPETENT PERSONS.
3. TWO DURABLE NOTICES ARE TO BE FIXED BY BUILDER IN A PROMINENT PLACE, (E.G. METER BOX & KITCHEN CUPBOARD). NOTICE IS TO SHOW, METHOD OF PROTECTION, DATE OF INSTALLATION AND MANUFACTURER'S RECOMMENDATION FOR FUTURE INSPECTIONS.

ZERO BOUNDARY WALLS:

REFER TO METHOD CHOSEN AS OUTLINED FURTHER IN THIS DRAWING SET

ENGINEERS DETAILS:

REFER TO INDIVIDUAL ENGINEER'S REPORT FOR SOIL TEST, FOUNDATION, SLAB DESIGN AND ANY STRUCTURAL DESIGN INCLUDING BUT NOT LIMITED TO STEEL POSTS, BEAMS, FLOOR SYSTEM & ROOF TRUSSES

CONSTRUCTION DETAILS - STEEL WALL/FLOOR FRAMES:

ACCEPTED BUILDING PRACTICES: NASH Standard - Residential and Low-Rise Steel Framing, Part 1 or Part 2 AND STEEL STRUCTURES: AS 4100 & AS/NZS 4600

TRUSS DESIGN AND SPECIFICATION:

1. PRE FABRICATED ROOF TRUSSES AT PITCH SHOWN ON THESE PLANS & SPACED AT 1200mm CENTRES, UNO.
2. ENTIRE ROOF TO BE TRUSS CONSTRUCTION UNLESS INDICATED OTHERWISE ON FLOOR/FRAMING PLAN SUPPLIED BY THE TRUSS MANUFACTURER.
3. TRUSSES TO BE ENGINEER DESIGNED AND FIXED & BRACED AS PER THE MANUFACTURER'S REQUIREMENTS.
4. THE TRUSS MANUFACTURER SHALL PROVIDE ALL NECESSARY DOCUMENTATION & CERTIFICATION AS REQUIRED FOR THE CONSTRUCTION/ERECTION OF THE ROOF FRAMING AND THE APPROVAL BY COUNCIL/PRIVATE CERTIFIER.
5. WHERE TRUNCATED & GIRDER TRUSSES OCCUR THE TRUSS MANUFACTURER IS TO CHECK THE ADEQUACY OF LINTELS SUPPORTING THEM AND THE TIE-DOWN REQUIREMENTS.
6. TRUSS MANUFACTURER TO NOMINATE THE NUMBER OF STUDS REQUIRED UNDER TRUNCATED & GIRDER TRUSSES OR BESIDE OPENINGS.
7. TRUSS BOTTOM CHORD BINDERS AS PER TRUSS MANUFACTURER'S SPECIFICATION & AT MAXIMUM 3000mm CENTRES.
8. ROOFING MATERIAL TO BE FIXED TO MANUFACTURER'S SPECIFICATIONS FOR TERRAIN CATEGORY, PROFILE & FINISH AS PER SPECIFICATION.
9. TRUSS LAYOUT SHALL INDICATE LOAD BEARING WALLS.

ROOF CLADDING:

1. SELECTED COLORBOND SHEET ROOFING FIXED TO BATTENS AS NOMINATED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
2. QUAD SLOTTED GUTTERS FIXED TO METAL FASCIA. GUTTER TO FALL TO 90mm DOWNPIPES SPACED AS SHOWN AND FIXED TO WALL. GUTTER & FASCIA FIXED AS PER MANUFACTURERS/SUPPLIERS DETAILS TO COMPLY WITH NCC GUTTER & OVERFLOWS PERFORMANCES REQUIREMENT ACCORDING TO NCC VOL2 PART 7.4 'GUTTERS AND DOWNPIPES'
3. FASCIA & GUTTER SHALL BE COLORBOND AS PER SPECIFICATION.
4. DOWNPIPES TO BE PAINTED PVC.

JOINERY:

1. ALL JOINERY TO BE POWDERCOATED ALUMINIUM FRAMED TO CONFORM TO A.S. 2047 & A.S. 1288.
2. NO LOADING IS TO BEAR ON WINDOW/DOOR FRAMES.
3. KEEP ALL FRAMES & GLAZING CLEAR OF CONCRETE, MORTAR & SOLVENTS.
4. ALL SLIDING GLASS DOORS SHALL BE WITHOUT MID-RAILS.
5. ALL HINGED DOOR STYLES & FEATURES (INCLUDING FRONT DOOR) TO BE AS NOMINATED IN THE SPECIFICATION.
6. WINDOWS DIRECTLY BEHIND GAS/ELECTRIC COOKTOPS TO USE TOUGHENED GLASS PANELS

LININGS:

1. INTERNAL LININGS TO BE PLASTERBOARD, 10mm TO WALLS & 13mm OR 10mm THICK ABLE TO SPAN 600mm TO CEILINGS. 10mm GAP TO BE LEFT BETWEEN FLOOR & SHEETING.
2. FIXING, SPECIFICATION ON JOINT LOCATIONS & LEVEL OF FINISH IS TO BE AS PER A.S./N.Z. 2589.1-1997 OR MANUFACTURER'S SPECIFICATION.
3. CORNICE TYPE AS PER SPECIFICATION.
4. WET AREA LININGS TO BE VILLABOARD OR SIMILAR APPROVED WATER RESISTANT GRADED LININGS.
5. METAL CEILING BATTENS SPACED AT MAX. 600mm CENTRES

SOFFIT LININGS:

SOFFITS/GABLE OVERRANGS ARE TO BE BATTENED WITH METAL BATTENS TO MANUFACTURERS SPECIFICATION & SHEETED WITH 4.5mm HARDIFLEX FC SHEETING.

HOT WATER SERVICE - ELECTRIC SYSTEM:

1. COLD WATER SERVICE LEADING TO HWS TO BE RO.3 LAGGED FOR FIRST 500mm OUT FROM HWS.
2. HOT WATER SERVICE LEADING FROM HWS TO ALL FIXTURES TO BE RO.3 LAGGED FOR ALL EXPOSED PIPEWORK ADJACENT TO HWS & ALL PIPEWORK IN ROOF VOID EXCEPT FOR ROOFS WITH INSULATION BLANKET/BATTS UNDER ROOFING MATERIAL.

SKILLION VERANDAHS:

STRATCO STYLE OR SIMILAR TO MANUFACTURERS SPECIFICATION. FIXED TO FASCIA. PITCHED WITH MIN. VERTICAL 2000mm CLEARANCE FROM THE BEAM TO THE CONCRETE SLAB.

SMOKE ALARMS:

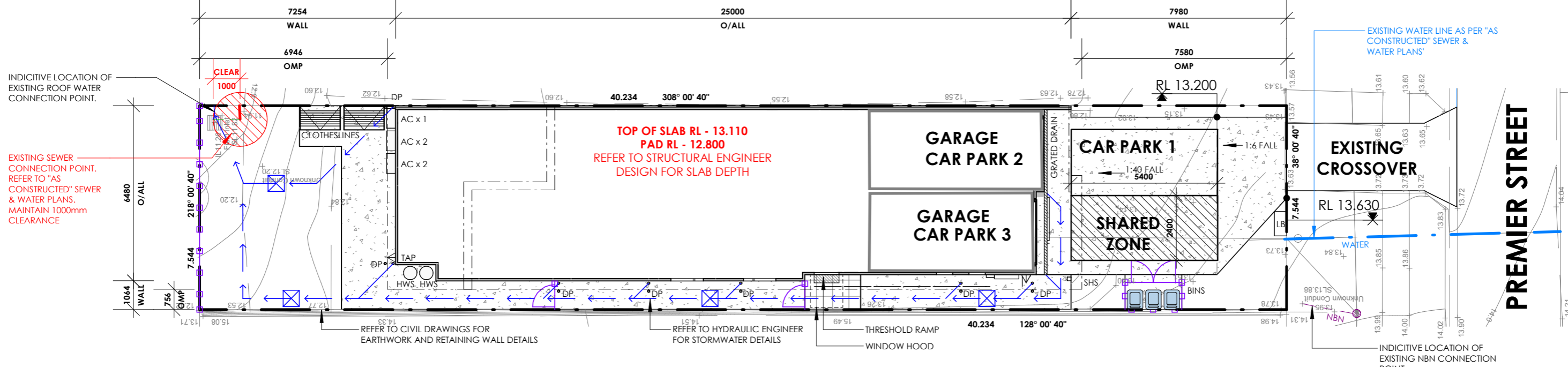
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH BCA REQUIREMENTS AND COMPLY WITH AS3786. ALARM TO BE CONNECTED TO THE CONSUMERS' MAIN POWER SUPPLY. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS. PROVIDE SMOKE ALARMS TO THE RESIDENCE IN ACCORDANCE WITH NCC VOL2 PART 9.5. ALARMS SHALL BE INTERCONNECTED & CONNECTED TO MAINS POWER WITH BATTERY BACKUP AS PER QUEENSLAND GOVERNMENT LEGISLATION.

STAIRS:

ENSURE MINIMUM 2100 HEAD HEIGHT ABOVE STAIR NOSING

WATERPROOFING:

ALL WATERPROOFING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND AS.3740. WET AREA WATERPROOFING TO COMPLY WITH NCC VOL2 PART 10.2 'WET AREA WATERPROOFING'



1 SITE PLAN

1 : 150

LOT 2 - 304m²
 RP69841
TOTAL SITE COVERAGE - 162.8m² - 53.5%
 LOCAL COUNCIL: BRISBANE CITY COUNCIL

GENERAL NOTES

- DRAWN TO SCALE ON AN A3 SHEET.
- PROPERTY BOUNDARIES AND DIMENSIONS SHOWN ON THIS PLAN HAS BEEN COMPILED FROM SP344201 AND SUBJECT TO CONFIRMATION BY SURVEY.
- ALL LEVELS SHOWN ARE IN METRES ON AUSTRALIAN HEIGHT DATUM AS DERIVED BY GNSS USING OPM50336 RL10.836 (AHD), SITUATED ON MANKINNA STREET.
- FEATURES AND SERVICES SHOWN ON THIS PLAN ARE SHOWN BY A COMBINATION OF SURVEY AND SUPPLIED RECORDS. THE EXACT NATURE AND LOCATION OF THESE SERVICES MUST BE CONFIRMED BY RELEVANT AUTHORITIES PRIOR TO ANY OPERATIONAL WORKS. THIS PLAN HAS BEEN PRODUCED FOR CLIENT INFORMATION PURPOSES ONLY. FOR ADDITIONAL SITE DETAIL AND EXISTING SURFACE MODEL, REFER TO DIGITAL DOCUMENTATION OF THIS PLAN.
- SONTO ACCEPTS NO RESPONSIBILITY FOR ANY DAMAGES OR LOSS IN CONTRAVENTION TO THE ABOVE.
- THIS PLAN CANNOT BE COPIED UNLESS THESE NOTES ARE INCLUDED.
- REFER TO SHEET 2 OF 2 FOR ADDITIONAL INFORMATION.
- REFER TO SHEET 3 OF 3 FOR FENCE TO BOUNDARY OFFSETS.
- FENCES SHOWN ON THIS PLAN ARE FOR DISPLAY PURPOSES ONLY. AN IDENTIFICATION SURVEY IS REQUIRED TO CONFIRM THE EXACT LOCATION OF THE FENCES SHOWN.

SITE PLUMBING NOTES

- ALL DRAINAGE AND PLUMBING WORKS MUST BE CARRIED OUT BY A LICENCED PLUMBER/DRAINER ONLY AND STRICTLY IN ACCORDANCE WITH "THE STANDARD SEWERAGE BY-LAWS".
- NO WORK SHALL BE BACK FILLED OR COVERED UP UNTIL IT HAS BEEN ACCESSED AND PASSED BY THE COUNCIL'S PLUMBING INSPECTOR.
- DISCHARGE ALL SEWER WASTES TO SEWERAGE SYSTEM IN ACCORDANCE WITH THE LOCAL COUNCIL'S SPECIFICATION.
- DISCHARGE ROOF WATER DRAINAGE TO STORMWATER CONNECTION POINT AS PER COUNCIL'S REQUIREMENT OR TO LEGAL APPROVED POINT OF DISCHARGE, IF STREET KERB CHANNEL AVAILABLE & HAS FALL DISCHARGE VIA 100mm DIA PIPES.
 DP - DENOTES 90mm DIA. UPVC PIPE
 STORMWATER PIPES TO BE LAID AT 1 IN 100 AND SHOULD NOT CARRY MORE THAN 450 L/MIN, OR 100m² OF ROOF CATCHMENT. MULTIPLE 100mm DIA. PIPES MAY BE REQUIRED TO COMPLY WITH AS.3500 + NCC.
- ROOFING SUPPLIER/INSTALLER AND/OR PLUMBER TO ENSURE THAT THE NUMBER OF DOWNPIPES SHOWN ON PLAN ARE ADEQUATE AND LOCATED IN THE OPTIMUM POSITIONS ACCORDING TO NCC VOL2 PART 7.4 'GUTTERS AND DOWNPIPES'

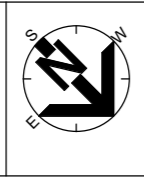
SITE NOTES

- BUILDER TO CLEAR SITE OF ALL VEGETATION TO ONE METRE PAST THE BUILDING PERIMETER, REMOVE ALL STUMPS & ROOTS AND STOCKPILE ANY TOP SOIL FOR RE-USE AT THE COMPLETION OF CONSTRUCTION DURING LANDSCAPING. TOP SOIL IS NOT TO BE USED AS FILL MATERIAL.
- ALL EARTHWORKS TO BE IN ACCORDANCE TO A.S. 2870.
- CUT & FILL REQUIREMENTS FOR THIS BUILDING SITE ARE BASED ON CONTOURS/SURFACE LEVELS PROVIDED BY THE SURVEYOR SHOWN WITH BUILDING PLATFORM SHOWN TO BUILDERS REQUIREMENTS. THE PLATFORM LEVEL SHOWN MAY VARY TO SUIT SITE CONDITIONS AND/OR LOCAL AUTHORITY REQUIREMENTS
- PLATFORM LEVEL (RL) OF CONCRETE SLAB TO THE DWELLING IS TO BE VERIFIED BY BUILDER TO ENSURE THAT A MINIMUM HEIGHT ABOVE FINISHED GROUND LEVEL CAN BE ATTAINED IN ACCORDANCE TO THE NCC, QLD BUILDING ACT- AMMENDMENT ACT 1991 & THE LOCAL AUTHORITY POLICY AND TO CONFIRM CUT AND FILL LEVELS.
- ALL CUT AND FILL EMBANKMENTS TO BE NO STEEPER THAN 1:2 AND ALL DRIVEWAYS TO BE NO STEEPER THAN MAXIMUM DRIVEWAY GRADIENT SPECIFIED BY THE LOCAL AUTHORITY
- GRADE BUILDING PAD TO DRAIN ALL SURFACE WATER AWAY FROM THE DWELLING AS PER NCC VOL2 PART 3.1.2 DRAINAGE & AS 3500.3
- ALL RETAINING WALLS & EMBANKMENTS SHOWN ARE TO COMPLY WITH THE LOCAL AUTHORITIES POLICY FOR RETAINING WALLS & EMBANKMENTS ON RESIDENTIAL BUILDING SITES. POSITION OF RETAINING WALLS & EMBANKMENTS MAY VARY ACCORDING TO SITE CONDITIONS.
- BUILDER TO VERIFY THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.
- CONFIRM THAT ALL SURVEY PEGS ARE IN THE CORRECT POSITION BEFORE SETTING OUT THE BUILDING. IF ANY DOUBT ARISES CONTACT THE SURVEYOR.
- AFTER COMPLETION OF CONSTRUCTION OF THE DWELLING, THE OWNER SHALL MAINTAIN THE SITE & DWELLING IN ACCORDANCE WITH THE C.S.I.R.O. LEAFLET SHEET No. 10-91 'GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE'.
- DO NOT SCALE DIMENSIONS OFF PLAN. FIGURED DIMENSIONS TO BE USED AT ALL TIMES.

NOTE: SEWER HOUSE CONNECTION & MAIN LOCATION TO BE CONFIRMED WITH LOCAL AUTHORITY PRIOR TO CONSTRUCTION. UNDERGROUND SERVICE LOCATIONS SHOWN ARE APPROXIMATE ONLY & SHOULD BE VERIFIED BY LOCAL AUTHORITY PRIOR TO CONSTRUCTION.

SITE LEGEND	
SYMBOL	DESCRIPTION
	STORMWATER LINE
	1800 HIGH TIMBER PALING FENCE
	STORMWATER FIELD GULLY
	RECESSED METER BOX
	HOT WATER SYSTEM
	A/C CONDENSER UNIT
	NBN BOX
	HOSE COCK
	DOWNPIPE (STORMWATER)

SURVEY NOTE:
 DESIGNED IN ACCORDANCE WITH:
 P-16549 - DET1 REV_A
 DATE: 09/08/2024



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THESE ARE THE DRAWINGS REFERRED TO IN SIGNED BUILDING CONTRACT AND ARE SUBJECT TO WORKING DRAWINGS
 ALL TRADES SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE BUILDER. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE BUILDER FOR CONSTRUCTION.

Client:
 Design Name:
PREM002

Project Address:
LOT 2, 34 PREMIER STREET, OXLEY

Revision Description:
WORKING DRAWINGS

Drawing Name:
SITE PLAN

Project Code: **PREM0002** Acoustic Cat: **TBC** Drawing Status: **WD**

Wind Cat:
N2

Scale:
As indicated

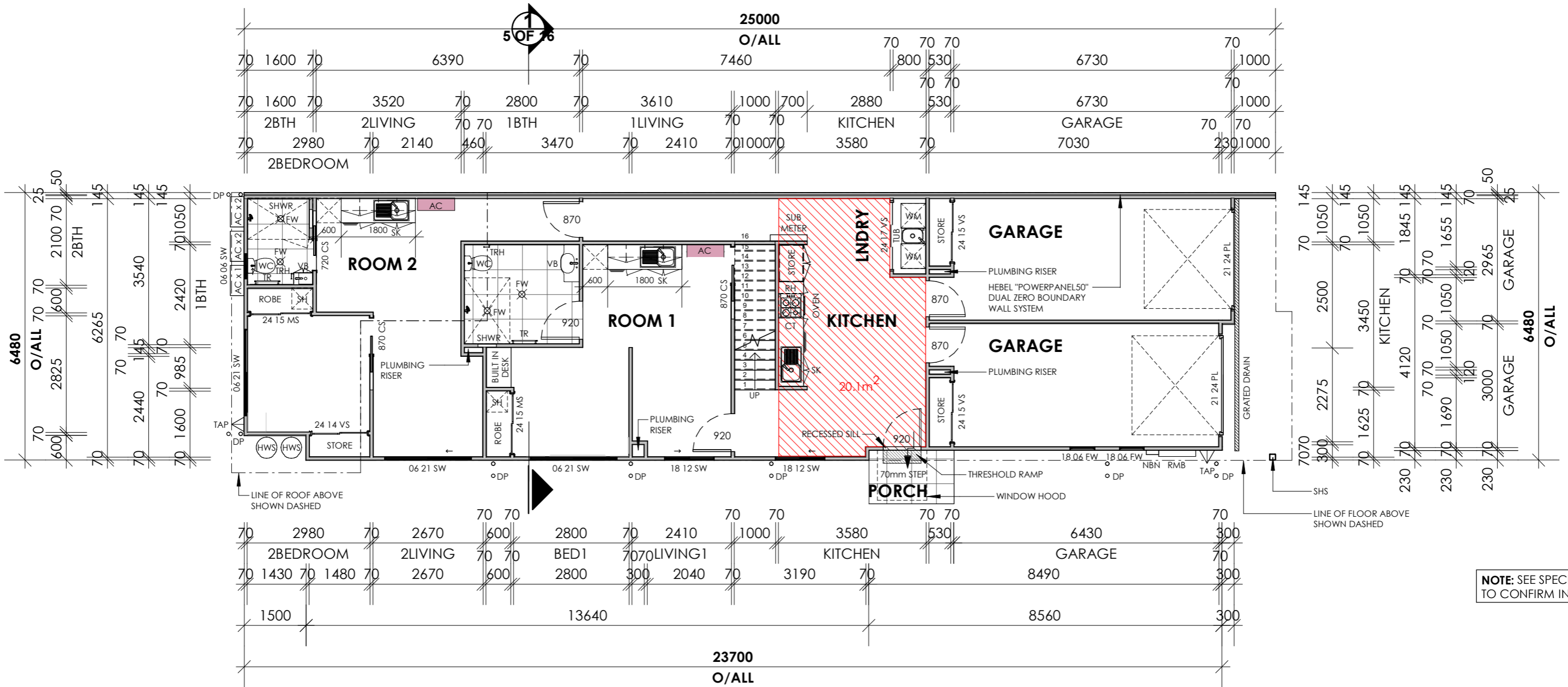
Sheet Size:
A3

Drawn By:
JM

Date Drawn:
17/01/24

REVISION
7A

Drawing No:
2 OF 5



NOTE: SEE SPECIFICATIONS TO CONFIRM INCLUSIONS.

1 GROUND FLOOR PLAN

1 : 100

SURVEY NOTE:
DESIGNED IN ACCORDANCE WITH:
P-16549 - DET1 REV_A
DATE: 09/08/2024

NOTES

SYMBOL LEGEND

1806AW (Height x Width) Awning Window	GAS CYL Replaceable LPG Gas Cylinders	S.D. Smoke Detector with backup (Interconnected)
1806DH (Height x Width) Double Hung Window	HTR Hand Towel Rail	SD Sliding Glass Door
1806FG (Height x Width) Fixed Glass Window	HWS Hot Water System (Electric)	SH Shelves (4 off)
1806SW (Height x Width) Sliding Window	HWSg Hot Water System (Gas)	SHR Shower
A/C Air-Conditioning	LOH Lift Off Hinges	SHS Square Hollow Section Steel Column/Post
B'BAR Breakfast Bar Overhang	MH Man Hole access	SL Door Glass Side Light
BH 130mm high ceiling break hamper	MSD Mirror Sliding Door	TRH Toilet Roll Holder
CAV Cavity Sliding Door	MW Space for microwave oven	TR Towel Rail
DN Down connection	NBN National Broadband Network	VAN Bathroom Vanity Unit
DP Down Pipe	OBS Obscure Glass	VSD Vinyl Sliding Doors
DR Drawers	OHC Overhead Cupboards	WC Toilet Pan (Water Closet)
DW Dishwasher Space	PTY Pantry	WM Washing Machine Position
ENS Ensuite	RH Range Hood	WIL Walk in Linen Closet
FOW Face of Wall Sliding Door	REF Refrigerator Space	WIR Walk in Wardrobe

NOTE:
R2.0 BULK TO ALL INTERNAL WALLS.

NOTE:
R2.0 BULK TO ALL EXTERNAL WALLS.

NOTE:
R4.0 BULK TO ALL EXTERNAL CEILINGS.

NOTE:
FOIL UNDER ALL METAL SHEET ROOFING.

BUILDING AREA CALCULATIONS

DESCRIPTION	AREA (m ²)
PORCH	2.6m ²
GFA (GROUND)	152.1m ²
GFA (UPPER)	131.7m ²
TOTAL	286.4m²

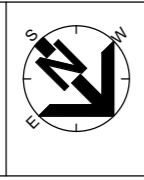
STUDIO AREA CALCULATIONS

DESCRIPTION	AREA (m ²)
ROOM 1	32.9m ²
ROOM1 PATIO	N/A
ROOM 2	38.5m ²
ROOM 2 PATIO	N/A
ROOM 3	39.6m ²
ROOM 3 PATIO	4.0m ²
ROOM 4	31.8m ²
ROOM 4 PATIO	N/A
ROOM 5	46.1m ²
ROOM 5 PATIO	N/A
COMMON AREA (GROUND)	34.8m ²
COMMON AREA (UPPER)	14.1m ²
GARAGE	45.8m ²
TOTAL	287.6m²

- FLOOR PLAN NOTES:**
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING
 - BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - ALL INTERNAL DIMENSIONS STATED ARE FRAME SIZE - EXCLUDING LININGS
 - THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH NASH STANDARD - RESIDENTIAL AND LOW-RISE STEEL FRAMING, PART 1 OR PART 2 AND STEEL STRUCTURES: AS 4100 & AS/NZS 4600 AND WIND SPEED REFER TO TITL BLOCK SUPPLIER MAY SUBSTITUTE LINTELS FOR THOSE OF EQUAL STRENGTH TO SPAN RATIO
 - ALL STRUCTURAL SIZES TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS & DETAILS
 - MASONRY ARTICULATION JOINTS TO COMPLY WITH NCC VOL 2 PART 5.6 'MASONRY COMPONENTS AND ACCESSORIES'
 - MECHANICAL VENTILATION TO COMPLY WITH NCC VOL 2 PART 10.6 'VENTILATION'
 - SMOKE ALARMS TO COMPLY WITH AS 3786 AND QLD GOVERNMENT LEGISLATION
 - TERMITE CONTROL TO BE IN ACCORDANCE WITH A.S. 3660.1 & NCC VOL2 PART 3. 4 - TERMITE RISK MANAGEMENT.
 - BUILDING ENERGY EFFICIENCY OF 6 STAR (MINIMUM) TO COMPLY WITH QDC MP 4.1 "SUSTAINABLE BUILDINGS"
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 - EXPANSION JOINTS FOR FLOOR TILES TO AS 3958.1 & FOR CEILINGS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - HEADS (LINTELS) - (WINDOWS & DOORS) AS NOMINATED ON PLANS TO NOMINAL 2100MM ABOVE FLOOR LEVEL. (AFL) UNLESS NOTED OTHERWISE

NOTE:
UNIT 1 TO BE MADE ACCESSIBLE IN ACCORDANCE WITH A.S. 1428.1-2009

NOTE:
CLASS 1B DWELLINGS TO COMPLY TO QUEENSLAND DEVELOPMENT CODE MP 6.1



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Client:

Project Address:
LOT 2, 34 PREMIER STREET, OXLEY

Design Name:
PREM0002

Revision Description:
WORKING DRAWINGS

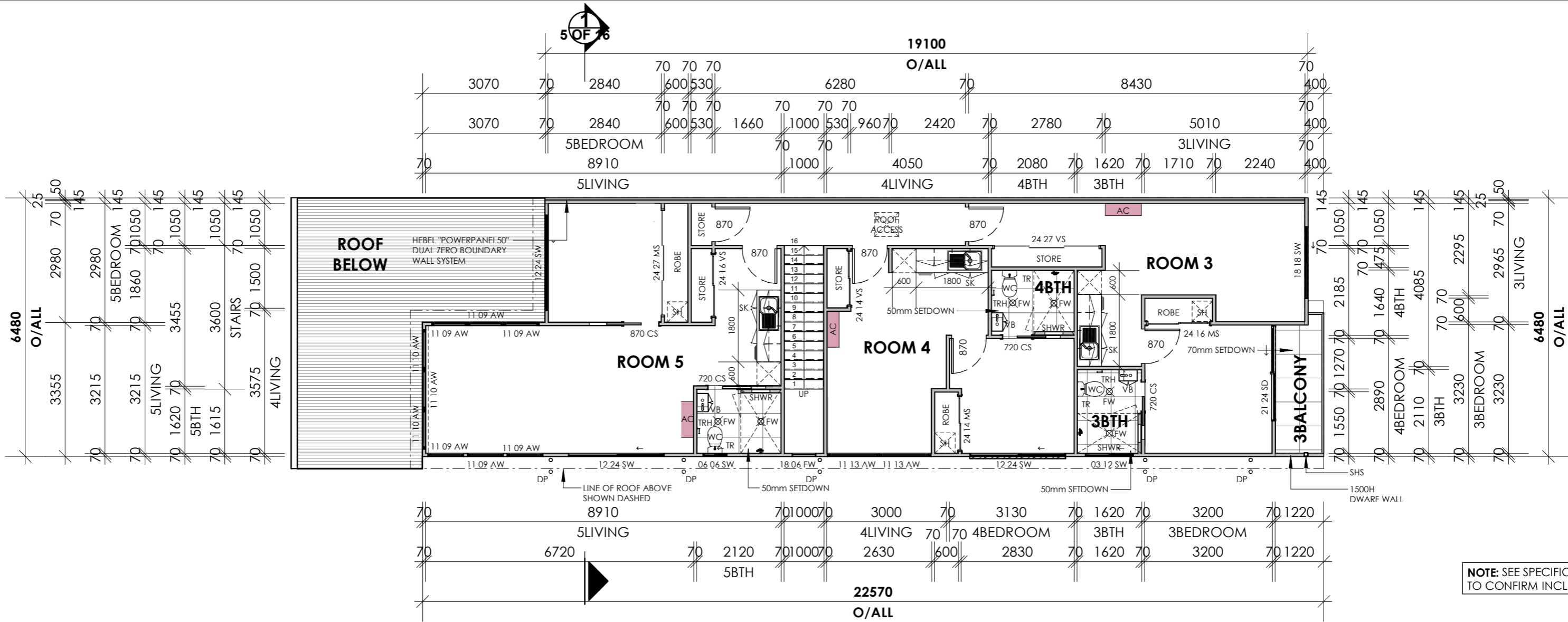
Drawing Name:
GROUND FLOOR PLAN

Project Code: **PREM0002** Acoustic Cat: **TBC** Drawing Status: **WD**

Wind Cat: **N2** Scale: **As indicated** Sheet Size: **A3** Drawn By: **JM** Date Drawn: **17/01/24**

REVISION
7A

Drawing No:
3 OF 5



NOTE: SEE SPECIFICATIONS TO CONFIRM INCLUSIONS.

1 UPPER FLOOR PLAN

1 : 100

SURVEY NOTE:
 DESIGNED IN ACCORDANCE WITH:
 P-16549 - DET1 REV_A
 DATE: 09/08/2024

NOTES

SYMBOL LEGEND	
1806AW (Height x Width) Awning Window	GAS CYL Replaceable LPG Gas Cylinders
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DP Down Pipe	OBS Obscure Glass
DR Drawers	OHC Overhead Cupboards
DW Dishwasher Space	PTY Pantry
ENS Ensuite	RH Range Hood
FOW Face of Wall Sliding Door	REF Refrigerator Space
S.D. Smoke Detector with backup (Interconnected)	SD Sliding Glass Door
SH Shelves (4 off)	SHR Shower
SHS Square Hollow Section Steel Column/Post	SL Door Glass Side Light
SL Toile Roll Holder	TRH Toilet Roll Holder
TR Towel Rail	VAN Bathroom Vanity Unit
VAN Bathroom Vanity Unit	VSD Vinyl Sliding Doors
VSD Vinyl Sliding Doors	WC Toilet Pan (Water Closet)
WC Toilet Pan (Water Closet)	WM Washing Machine Position
WM Washing Machine Position	WIL Walk in Linen Closet
WIL Walk in Linen Closet	WIR Walk in Wardrobe
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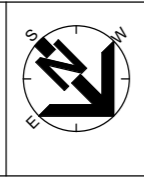
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NOTE:
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NOTE:
CLASS 1B DWELLINGS TO COMPLY TO QUEENSLAND DEVELOPMENT CODE MP 6.1



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Client:
Project Address:
LOT 2, 34 PREMIER STREET, OXLEY

Design Name:
PREM0002

Revision Description:
WORKING DRAWINGS

Drawing Name:
UPPER FLOOR PLAN

Project Code: **PREM0002** Acoustic Cat: **TBC** Drawing Status: **WD**

Wind Cat: **N2** Scale: **As indicated** Sheet Size: **A3** Drawn By: **JM** Date Drawn: **17/01/24**

REVISION
7A

Drawing No:
4 OF 5

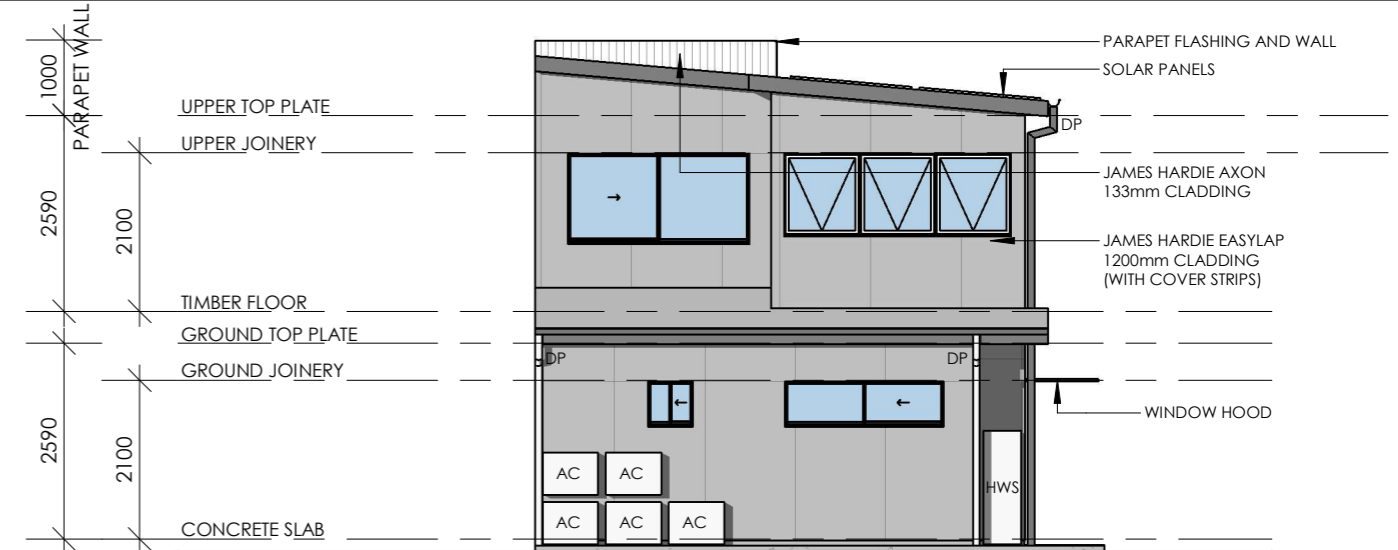


1 FRONT ELEVATION

1:100

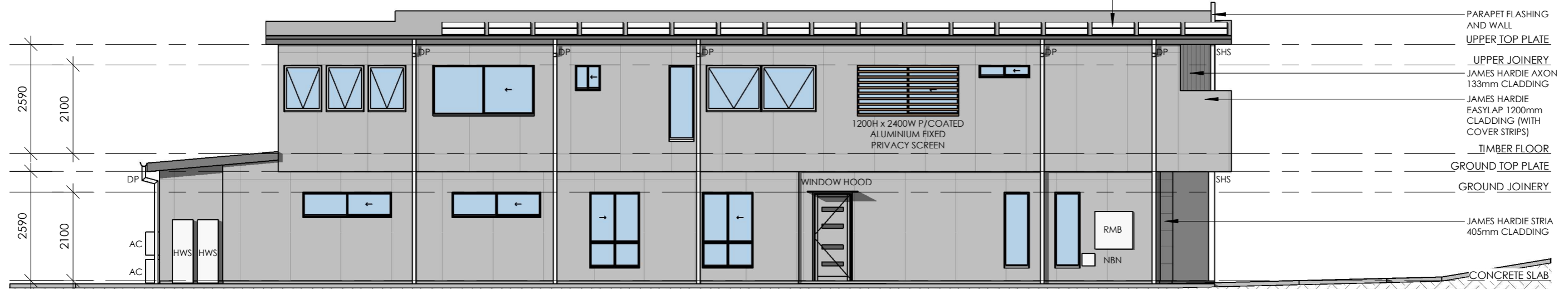
NOTE: SEE SPECIFICATIONS TO CONFIRM INCLUSIONS.

NOTE: COLOURS/FINISHES SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY



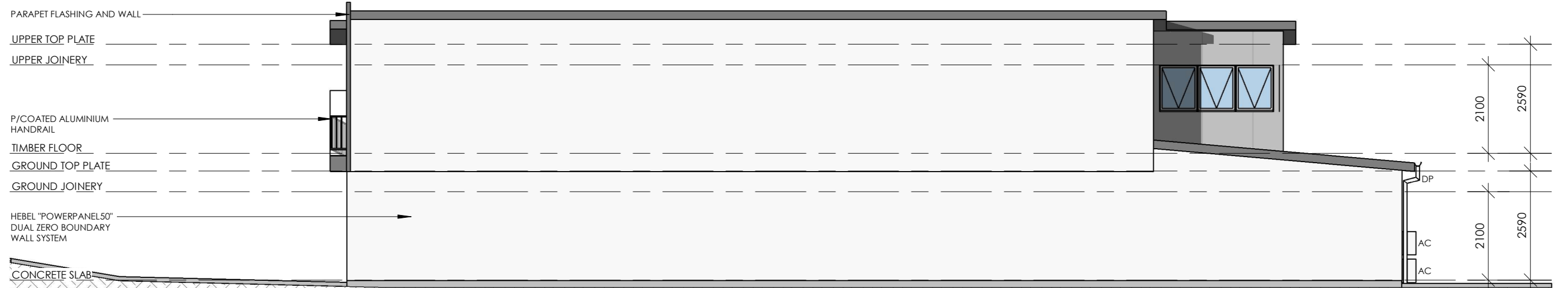
2 REAR ELEVATION

1:100



3 LEFT ELEVATION

1:100



4 RIGHT ELEVATION

1:100



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PROPOSED NEW RESIDENCE AT: LOT 1, #36 PREMIER STREET OXLEY QLD 4075 DESIGN: PREM0001

GENERAL NOTES - STEEL FRAMES:

CONSTRUCTION DETAILS:

ALL CONSTRUCTION SHALL CONFORM STRICTLY WITH THE REQUIREMENTS OF THE NCC & THE BUILDING CODE OF AUSTRALIA VOL2, THE QUEENSLAND BUILDING ACT 1975-1990 TOGETHER WITH THE BUILDING AMENDMENTS ACT 1991, THE QUEENSLAND BUILDING REGULATION 2021. ACCEPTED BUILDING PRACTICES: NATIONAL CONSTRUCTION CODE VOLUME TWO - PART 3.4.2 STEEL FRAMING

ALL MATERIALS USED FOR THE CONSTRUCTION WORK COVERED BY THESE PLANS SHALL BE NEW AND HIGHEST QUALITY.

ANY TIMBER CONSTRUCTION SHALL BE IN ACCORDANCE WITH A.S. 1684.2 - 2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION WHERE APPLICABLE.

TIMBER NOTES: ALL EXTERNAL AND EXPOSED TIMBER TO BE MINIMUM DURABILITY CLASS 2 AND BE ADEQUATELY TREATED TO THE RELEVANT HAZARD LEVEL PROTECTED AGAINST CORROSION DESIGN CRITERIA.
MAXIMUM ROOF LOAD WIDTH RLW = 6.4m - U.N.O. DENOTES UNLESS NOTED OTHERWISE

SITE CLASSIFICATION: AS PER ENGINEER DESIGN

SOIL CLASSIFICATION: AS PER ENGINEER DESIGN

ENERGY RATING:

PROVIDE ENERGY EFFICIENT DESIGN MEASURES IN ACCORDANCE WITH ATTACHED ENERGY DESIGN & ASSESSMENT RATING SCHEDULE.

GROUND SLAB:

CONCRETE SLAB AND FOUNDATIONS ARE TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH A.S. 2870. REINFORCED CONCRETE GROUND SLAB POURED ON 200UM POLYTHENE MEMBRANE USING ENGINEER'S DESIGN & DETAIL DRAWINGS AND SPECIFICATION PROVIDED.

TERMITE CONTROL:

1. TERMITE CONTROL TO BE IN ACCORDANCE WITH A.S. 3660.1 & NCC VOL2 PART 3.4 - TERMITE RISK MANAGEMENT.
2. THE TERMITE SYSTEM TO BE INSPECTED & MAINTAINED AS ADVISED BY INSTALLERS, MANUFACTURER OR EVERY 12 MONTHS WHICHEVER IS THE LESSER. INSPECTIONS TO BE CARRIED OUT BY COMPETENT PERSONS.
3. TWO DURABLE NOTICES ARE TO BE FIXED BY BUILDER IN A PROMINENT PLACE, (E.G. METER BOX & KITCHEN CUPBOARD). NOTICE IS TO SHOW, METHOD OF PROTECTION, DATE OF INSTALLATION AND MANUFACTURER'S RECOMMENDATION FOR FUTURE INSPECTIONS.

ZERO BOUNDARY WALLS:

REFER TO METHOD CHOSEN AS OUTLINED FURTHER IN THIS DRAWING SET



LAYOUT INDEX

LAYOUT NO:	LAYOUT NAME
	COVER SHEET (THIS SHEET)
1	SITE PLAN
2	GROUND FLOOR PLAN
3	UPPER FLOOR PLAN
4	ELEVATIONS
5	SECTION
6	SLAB & FRAMING PLANS
7	PLUMBING PLANS
8	ELECTRICAL PLANS
9	ROOF PLAN
10	FLOOR COVERING PLANS
11	LANDSCAPE PLAN
12	KITCHEN LAYOUTS
13	KITCHEN LAYOUTS 2
14	BATHROOM LAYOUTS
15	BATHROOM & LAUNDRY LAYOUTS
16	PERSPECTIVE VIEWS

ENGINEERS DETAILS:

REFER TO INDIVIDUAL ENGINEER'S REPORT FOR SOIL TEST, FOUNDATION, SLAB DESIGN AND ANY STRUCTURAL DESIGN INCLUDING BUT NO LIMITED TO STEEL POSTS, BEAMS, FLOOR SYSTEM & ROOF TRUSSES

CONSTRUCTION DETAILS - STEEL WALL/FLOOR FRAMES:

ACCEPTED BUILDING PRACTICES: NASH Standard - Residential and Low-Rise Steel Framing, Part 1 or Part 2 AND STEEL STRUCTURES: AS 4100 & AS/NZS 4600

TRUSS DESIGN AND SPECIFICATION:

1. PRE FABRICATED ROOF TRUSSES AT PITCH SHOWN ON THESE PLANS & SPACED AT 1200mm CENTRES, UNO.
2. ENTIRE ROOF TO BE TRUSS CONSTRUCTION UNLESS INDICATED OTHERWISE ON FLOOR/FRAMING PLAN SUPPLIED BY THE TRUSS MANUFACTURER.
3. TRUSSES TO BE ENGINEER DESIGNED AND FIXED & BRACED AS PER THE MANUFACTURER'S REQUIREMENTS.
4. THE TRUSS MANUFACTURER SHALL PROVIDE ALL NECESSARY DOCUMENTATION & CERTIFICATION AS REQUIRED FOR THE CONSTRUCTION/ERECTION OF THE ROOF FRAMING AND THE APPROVAL BY COUNCIL/PRIVATE CERTIFIER.
5. WHERE TRUNCATED & GIRDER TRUSSES OCCUR THE TRUSS MANUFACTURER IS TO CHECK THE ADEQUACY OF LINTELS SUPPORTING THEM AND THE TIE-DOWN REQUIREMENTS.
6. TRUSS MANUFACTURER TO NOMINATE THE NUMBER OF STUDS REQUIRED UNDER TRUNCATED & GIRDER TRUSSES OR BESIDE OPENINGS.
7. TRUSS BOTTOM CHORD BINDERS AS PER TRUSS MANUFACTURER'S SPECIFICATION & AT MAXIMUM 3000mm CENTRES.
8. ROOFING MATERIAL TO BE FIXED TO MANUFACTURER'S SPECIFICATIONS FOR TERRAIN CATEGORY, PROFILE & FINISH AS PER SPECIFICATION.
9. TRUSS LAYOUT SHALL INDICATE LOAD BEARING WALLS.

ROOF CLADDING:

1. SELECTED COLORBOND SHEET ROOFING FIXED TO BATTENS AS NOMINATED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
2. QUAD SLOTTED GUTTERS FIXED TO METAL FASCIA. GUTTER TO FALL TO 90mm DOWNPIPES SPACED AS SHOWN AND FIXED TO WALL. GUTTER & FASCIA FIXED AS PER MANUFACTURERS/SUPPLIERS DETAILS TO COMPLY WITH NCC GUTTER & OVERFLOWS PERFORMANCES REQUIREMENT ACCORDING TO NCC VOL2 PART 7.4 'GUTTERS AND DOWNPIPES'
3. FASCIA & GUTTER SHALL BE COLORBOND AS PER SPECIFICATION.
4. DOWNPIPES TO BE PAINTED PVC.

JOINERY:

1. ALL JOINERY TO BE POWDERCOATED ALUMINIUM FRAMED TO CONFORM TO A.S. 2047 & A.S. 1288.
2. NO LOADING IS TO BEAR ON WINDOW/DOOR FRAMES.
3. KEEP ALL FRAMES & GLAZING CLEAR OF CONCRETE, MORTAR & SOLVENTS.
4. ALL SLIDING GLASS DOORS SHALL BE WITHOUT MID-RAILS.
5. ALL HINGED DOOR STYLES & FEATURES (INCLUDING FRONT DOOR) TO BE AS NOMINATED IN THE SPECIFICATION.
6. WINDOWS DIRECTLY BEHIND GAS/ELECTRIC COOKTOPS TO USE TOUGHENED GLASS PANELS

LININGS:

1. INTERNAL LININGS TO BE PLASTERBOARD, 10mm TO WALLS & 13mm OR 10mm THICK ABLE TO SPAN 600mm TO CEILINGS. 10mm GAP TO BE LEFT BETWEEN FLOOR & SHEETING.
2. FIXING, SPECIFICATION ON JOINT LOCATIONS & LEVEL OF FINISH IS TO BE AS PER A.S./N.Z. 2589.1-1997 OR MANUFACTURER'S SPECIFICATION.
3. CORNICE TYPE AS PER SPECIFICATION.
4. WET AREA LININGS TO BE VILLABOARD OR SIMILAR APPROVED WATER RESISTANT GRADED LININGS.
5. METAL CEILING BATTENS SPACED AT MAX. 600mm CENTRES

SOFFIT LININGS:

SOFFITS/GABLE OVERANGS ARE TO BE BATTENED WITH METAL BATTENS TO MANUFACTURERS SPECIFICATION & SHEETED WITH 4.5mm HARDIFLEX FC SHEETING.

HOT WATER SERVICE - ELECTRIC SYSTEM:

1. COLD WATER SERVICE LEADING TO HWS TO BE RO.3 LAGGED FOR FIRST 500mm OUT FROM HWS.
2. HOT WATER SERVICE LEADING FROM HWS TO ALL FIXTURES TO BE RO.3 LAGGED FOR ALL EXPOSED PIPEWORK ADJACENT TO HWS & ALL PIPEWORK IN ROOF VOID EXCEPT FOR ROOFS WITH INSULATION BLANKET/BATTS UNDER ROOFING MATERIAL.

SKILLION VERANDAHS:

STRATCO STYLE OR SIMILAR TO MANUFACTURERS SPECIFICATION. FIXED TO FASCIA. PITCHED WITH MIN. VERTICAL 2000mm CLEARANCE FROM THE BEAM TO THE CONCRETE SLAB.

SMOKE ALARMS:

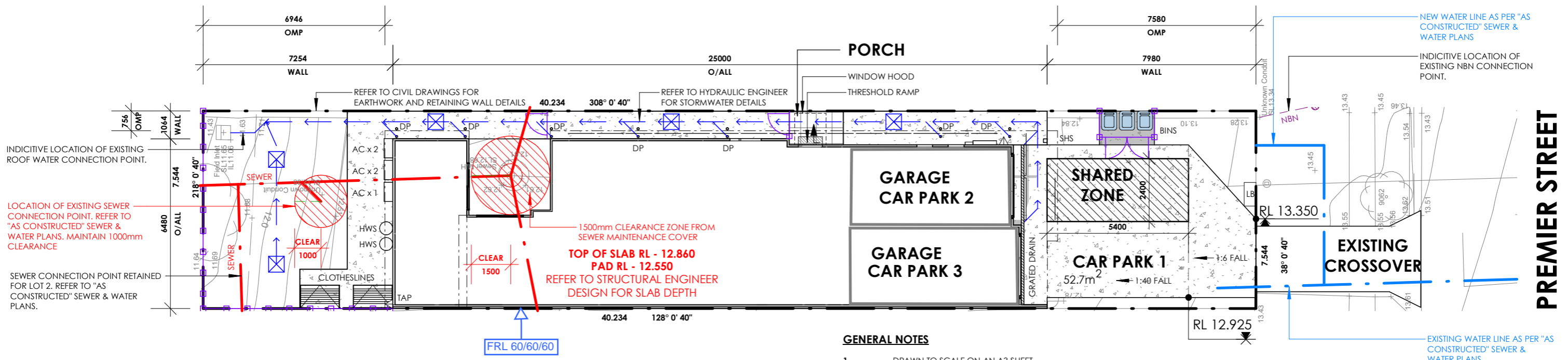
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH BCA REQUIREMENTS AND COMPLY WITH AS3786. ALARM TO BE CONNECTED TO THE CONSUMERS' MAIN POWER SUPPLY. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS. PROVIDE SMOKE ALARMS TO THE RESIDENCE IN ACCORDANCE WITH NCC VOL2 PART 9.5. ALARMS SHALL BE INTERCONNECTED & CONNECTED TO MAINS POWER WITH BATTERY BACKUP AS PER QUEENSLAND GOVERNMENT LEGISLATION.

STAIRS:

ENSURE MINIMUM 2100 HEAD HEIGHT ABOVE STAIR NOSING

WATERPROOFING:

ALL WATERPROOFING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND AS.3740. WET AREA WATERPROOFING TO COMPLY WITH NCC VOL2 PART 10.2 'WET AREA WATERPROOFING'



1 SITE PLAN

1 : 150

LOT 1 - 304m²
RP69841
TOTAL SITE COVERAGE - 155.3m² - 51.0%
 LOCAL COUNCIL: BRISBANE CITY COUNCIL

GENERAL NOTES

- DRAWN TO SCALE ON AN A3 SHEET.
- PROPERTY BOUNDARIES AND DIMENSIONS SHOWN ON THIS PLAN HAS BEEN COMPILED FROM SP344201 AND SUBJECT TO CONFIRMATION BY SURVEY.
- ALL LEVELS SHOWN ARE IN METRES ON AUSTRALIAN HEIGHT DATUM AS DERIVED BY GNSS USING OPM50336 RL10.836 (AHD), SITUATED ON MANKINNA STREET.
- FEATURES AND SERVICES SHOWN ON THIS PLAN ARE SHOWN BY A COMBINATION OF SURVEY AND SUPPLIED RECORDS. THE EXACT NATURE AND LOCATION OF THESE SERVICES MUST BE CONFIRMED BY RELEVANT AUTHORITIES PRIOR TO ANY OPERATIONAL WORKS. THIS PLAN HAS BEEN PRODUCED FOR CLIENT INFORMATION PURPOSES ONLY. FOR ADDITIONAL SITE DETAIL AND EXISTING SURFACE MODEL, REFER TO DIGITAL DOCUMENTATION OF THIS PLAN.
- SONTO ACCEPTS NO RESPONSIBILITY FOR ANY DAMAGES OR LOSS IN CONTRAVENTION TO THE ABOVE.
- THIS PLAN CANNOT BE COPIED UNLESS THESE NOTES ARE INCLUDED.
- REFER TO SHEET 2 OF 2 FOR ADDITIONAL INFORMATION.
- REFER TO SHEET 3 OF 3 FOR FENCE TO BOUNDARY OFFSETS. FENCES SHOWN ON THIS PLAN ARE FOR DISPLAY PURPOSES ONLY.
- AN IDENTIFICATION SURVEY IS REQUIRED TO CONFIRM THE EXACT LOCATION OF THE FENCES SHOWN.

SITE PLUMBING NOTES

- ALL DRAINAGE AND PLUMBING WORKS MUST BE CARRIED OUT BY A LICENCED PLUMBER/DRAINER ONLY AND STRICTLY IN ACCORDANCE WITH "THE STANDARD SEWERAGE BY-LAWS". NO WORK SHALL BE BACK FILLED OR COVERED UP UNTIL IT HAS BEEN ACCESSED AND PASSED BY THE COUNCIL'S PLUMBING INSPECTOR.
- DISCHARGE ALL SEWER WASTES TO SEWERAGE SYSTEM IN ACCORDANCE WITH THE LOCAL COUNCIL'S SPECIFICATION.
- DISCHARGE ROOF WATER DRAINAGE TO STORMWATER CONNECTION POINT AS PER COUNCIL'S REQUIREMENT OR TO LEGAL APPROVED POINT OF DISCHARGE, IF STREET KERB CHANNEL AVAILABLE & HAS FALL DISCHARGE VIA 100mm DIA PIPES.
- DP - DENOTES 90mm DIA. UPVC PIPE
 STORMWATER PIPES TO BE LAID AT 1 IN 100 AND SHOULD NOT CARRY MORE THAN 450 L/MIN, OR 100m² OF ROOF CATCHMENT. MULTIPLE 100mm DIA. PIPES MAY BE REQUIRED TO COMPLY WITH AS.3500 + NCC.
- ROOFING SUPPLIER/INSTALLER AND/OR PLUMBER TO ENSURE THAT THE NUMBER OF DOWNPIPES SHOWN ON PLAN ARE ADEQUATE AND LOCATED IN THE OPTIMUM POSITIONS ACCORDING TO NCC VOL2 PART 7.4 'GUTTERS AND DOWNPIPES'

SITE NOTES

- BUILDER TO CLEAR SITE OF ALL VEGETATION TO ONE METRE PAST THE BUILDING PERIMETER, REMOVE ALL STUMPS & ROOTS AND STOCKPILE ANY TOP SOIL FOR RE-USE AT THE COMPLETION OF CONSTRUCTION DURING LANDSCAPING. TOP SOIL IS NOT TO BE USED AS FILL MATERIAL.
- ALL EARTHWORKS TO BE IN ACCORDANCE TO A.S. 2870.
- CUT & FILL REQUIREMENTS FOR THIS BUILDING SITE ARE BASED ON CONTOURS/SURFACE LEVELS PROVIDED BY THE SURVEYOR SHOWN WITH BUILDING PLATFORM SHOWN TO BUILDERS REQUIREMENTS. THE PLATFORM LEVEL SHOWN MAY VARY TO SUIT SITE CONDITIONS AND/OR LOCAL AUTHORITY REQUIREMENTS
- PLATFORM LEVEL (RL) OF CONCRETE SLAB TO THE DWELLING IS TO BE VERIFIED BY BUILDER TO ENSURE THAT A MINIMUM HEIGHT ABOVE FINISHED GROUND LEVEL CAN BE ATTAINED IN ACCORDANCE TO THE NCC, QLD BUILDING ACT- AMMENDMENT ACT 1991 & THE LOCAL AUTHORITY POLICY AND TO CONFIRM CUT AND FILL LEVELS.
- ALL CUT AND FILL EMBANKMENTS TO BE NO STEEPER THAN 1:2 AND ALL DRIVEWAYS TO BE NO STEEPER THAN MAXIMUM DRIVEWAY GRADIENT SPECIFIED BY THE LOCAL AUTHORITY
- GRADE BUILDING PAD TO DRAIN ALL SURFACE WATER AWAY FROM THE DWELLING AS PER NCC VOL2 PART 3.1.2 DRAINAGE & AS 3500.3
- ALL RETAINING WALLS & EMBANKMENTS SHOWN ARE TO COMPLY WITH THE LOCAL AUTHORITIES POLICY FOR RETAINING WALLS & EMBANKMENTS ON RESIDENTIAL BUILDING SITES. POSITION OF RETAINING WALLS & EMBANKMENTS MAY VARY ACCORDING TO SITE CONDITIONS.
- BUILDER TO VERIFY THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.
- CONFIRM THAT ALL SURVEY PEGS ARE IN THE CORRECT POSITION BEFORE SETTING OUT THE BUILDING. IF ANY DOUBT ARISES CONTACT THE SURVEYOR.
- AFTER COMPLETION OF CONSTRUCTION OF THE DWELLING, THE OWNER SHALL MAINTAIN THE SITE & DWELLING IN ACCORDANCE WITH THE C.S.I.R.O. LEAFLET SHEET No. 10-91 'GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE'.
- DO NOT SCALE DIMENSIONS OFF PLAN. FIGURED DIMENSIONS TO BE USED AT ALL TIMES.

NOTE: SEWER HOUSE CONNECTION & MAIN LOCATION TO BE CONFIRMED WITH LOCAL AUTHORITY PRIOR TO CONSTRUCTION. UNDERGROUND SERVICE LOCATIONS SHOWN ARE APPROXIMATE ONLY & SHOULD BE VERIFIED BY LOCAL AUTHORITY PRIOR TO CONSTRUCTION.

SITE LEGEND	
SYMBOL	DESCRIPTION
	STORMWATER LINE
	1800 HIGH TIMBER PALING FENCE
	STORMWATER FIELD GULLY
	RECESSED METER BOX
	HOT WATER SYSTEM
	A/C CONDENSER UNIT
	NBN BOX
	HOSE COCK
	DOWNPIPE (STORMWATER)

SOLAR PANEL NOTE:
 SOLAR SYSTEM PROVIDED AT 13.3 KW OR AS PER SPECIFICATION - PANELS SHOWN INDICATIVE ONLY, SUBJECT TO INSTALLERS POSITIONING

SURVEY NOTE:
 DESIGNED IN ACCORDANCE WITH:
 P-16548 - DET1 REV_A
 DATE: 09/08/2024



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Client:
 Design Name:
PREM001
 Project Address:
LOT 1, 36 PREMIER STREET, OXLEY

Revision Description:
WORKING DRAWINGS
 Wind Cat:
N2

Drawing Name:
SITE PLAN
 Project Code: **PREM0001** Acoustic Cat: **TBC** Drawing Status: **WD**
 Scale: **As indicated** Sheet Size: **A3** Drawn By: **JM** Date Drawn: **17/01/24**

REVISION
7A
 Drawing No:
2 OF 5

NOTE:
ALL GLAZING TO BE LOW E GLASS EXCLUDING GARAGE & BATHROOM WINDOWS.

NOTE:
INTERNAL PERIMETER WALLS OF ALL STUDIOS TO INCLUDE HIGH DENSITY WALL INSULATION TO ASSIST IN REDUCTION OF NOISE TRANSMISSION.

NOTE:
UPPER LEVEL FLOORING TO INCLUDE INSULATION SYSTEM TO ABSOLVE NOISE TRANSMISSION.

NOTE:
DOUBLE STUD DETAIL TO BATHS 2, 3, 4 & 5 TO ALLOW FOR WALL NICHE AND CAVITY SLIDING DOOR. REFER TO WET AREA DETAIL SHEETS.

1 GROUND FLOOR PLAN

1 : 100

NOTE:
R2.0 BULK TO ALL INTERNAL WALLS.

NOTE:
R2.0 BULK TO ALL EXTERNAL WALLS.

NOTE:
R4.0 BULK TO ALL EXTERNAL CEILINGS.

NOTE:
FOIL UNDER ALL METAL SHEET ROOFING.

BUILDING AREA CALCULATIONS	
DESCRIPTION	AREA (m ²)
PORCH	2.6m ²
GFA (GROUND)	144.0m ²
GFA (UPPER)	132.5m ²
TOTAL	279.1m²

NOTE:
450 x 450 WALL NICHE @ 1000MM AFL (PWD BATH).
450 x 450 WALL NICHE @ 1100MM AFL.

STUDIO AREA CALCULATIONS	
DESCRIPTION	AREA (m ²)
STUDIO 1	32.4m ²
STUDIO 1 PATIO	N/A
STUDIO 2	30.6m ²
STUDIO 2 PATIO	8.9m ²
STUDIO 3	39.6m ²
STUDIO 3 PATIO	4.0m ²
STUDIO 4	31.8m ²
STUDIO 4 PATIO	N/A
STUDIO 5	47.7m ²
STUDIO 5 PATIO	N/A
COMMON AREA (GROUND)	35.1m ²
COMMON AREA (UPPER)	13.4m ²
GARAGE	45.8m ²
TOTAL	289.3m²

SURVEY NOTE:
DESIGNED IN ACCORDANCE WITH:
P-16548 - DET1 REV_A
DATE: 09/08/2024

SOLAR PANEL NOTE:
SOLAR SYSTEM PROVIDED AT 13.3 KW OR AS PER SPECIFICATION - PANELS SHOWN INDICATIVE ONLY, SUBJECT TO INSTALLERS POSITIONING

FLOOR PLAN NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING
- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- ALL INTERNAL DIMENSIONS STATED ARE FRAME SIZE - EXCLUDING LININGS
- THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH NASH STANDARD - RESIDENTIAL AND LOW-RISE STEEL FRAMING, PART 1 OR PART 2 AND STEEL STRUCTURES: AS 4100 & AS/NZS 4600 AND WIND SPEED REFER TO TITLE BLOCK
- SUPPLIER MAY SUBSTITUTE LINTELS FOR THOSE OF EQUAL STRENGTH TO SPAN RATIO
- ALL STRUCTURAL SIZES TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS & DETAILS
- MASONRY ARTICULATION JOINTS TO COMPLY WITH NCC VOL 2 PART 5.6 'MASONRY COMPONENTS AND ACCESSORIES'
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- LIGHTING AND PLUMBING FIXTURES & FITTINGS TO COMPLY WITH QDC MP 4.1 "SUSTAINABLE BUILDINGS"
- LIFT OFF HINGES TO ALL INTERNAL SWING WC DOORS TO COMPLY WITH THE QUEENSLAND BUILDING ACT 1975-1990 TOGETHER WITH THE BUILDING AMENDMENTS ACT 1991
- STAIR CONSTRUCTION TO COMPLY WITH NCC VOL2 PART 11.2 'STAIRWAY AND RAMP CONSTRUCTION' AND HANDRAILS & BALUSTRADES TO COMPLY WITH NCC VOL PART 11.3 'BARRIER AND HANDRAILS'
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- EXPANSION JOINTS FOR FLOOR TILES TO AS 3958.1 & FOR CEILINGS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- HEADS (LINTELS) - (WINDOWS & DOORS) AS NOMINATED ON PLANS TO NOMINAL 2100MM ABOVE FLOOR LEVEL. (AFL) UNLESS NOTED OTHERWISE

NOTES

SYMBOL LEGEND	
1806AW (Height x Width) Awning Window	GAS CYL Replaceable LPG Gas Cylinders
1806DH (Height x Width) Double Hung Window	HTR Hand Towel Rail
1806FG (Height x Width) Fixed Glass Window	HWS Hot Water System (Electric)
1806SW (Height x Width) Sliding Window	HWSg Hot Water System (Gas)
A/C Air-Conditioning	LOH Lift Off Hinges
B'BAR Breakfast Bar Overhang	MH Man Hole access
BH 130mm high ceiling break hamper	MSD Mirror Sliding Door
CAV Cavity Sliding Door	MW Space for microwave oven
DN Down	NBN National Broadband Network connection
DP Down Pipe	OBS Obscure Glass
DR Drawers	OHC Overhead Cupboards
DW Dishwasher Space	PTY Pantry
ENS Ensuite	RH Range Hood
FOW Face of Wall Sliding Door	REF Refrigerator Space
S.D. Smoke Detector with backup (Internconnected)	SD Sliding Glass Door
SH Shelves (4 off)	SHR Shower
SHS Square Hollow Section Steel Column/Post	SL Door Glass Side Light
SL Toilet Roll Holder	TRH Toilet Roll Holder
TR Towel Rail	VAN Bathroom Vanity Unit
VAN Vinyl Sliding Doors	VSD Vinyl Sliding Doors
WC Toilet Pan (Water Closet)	WM Washing Machine Position
WIL Walk in Linen Closet	WIR Walk in Wardrobe



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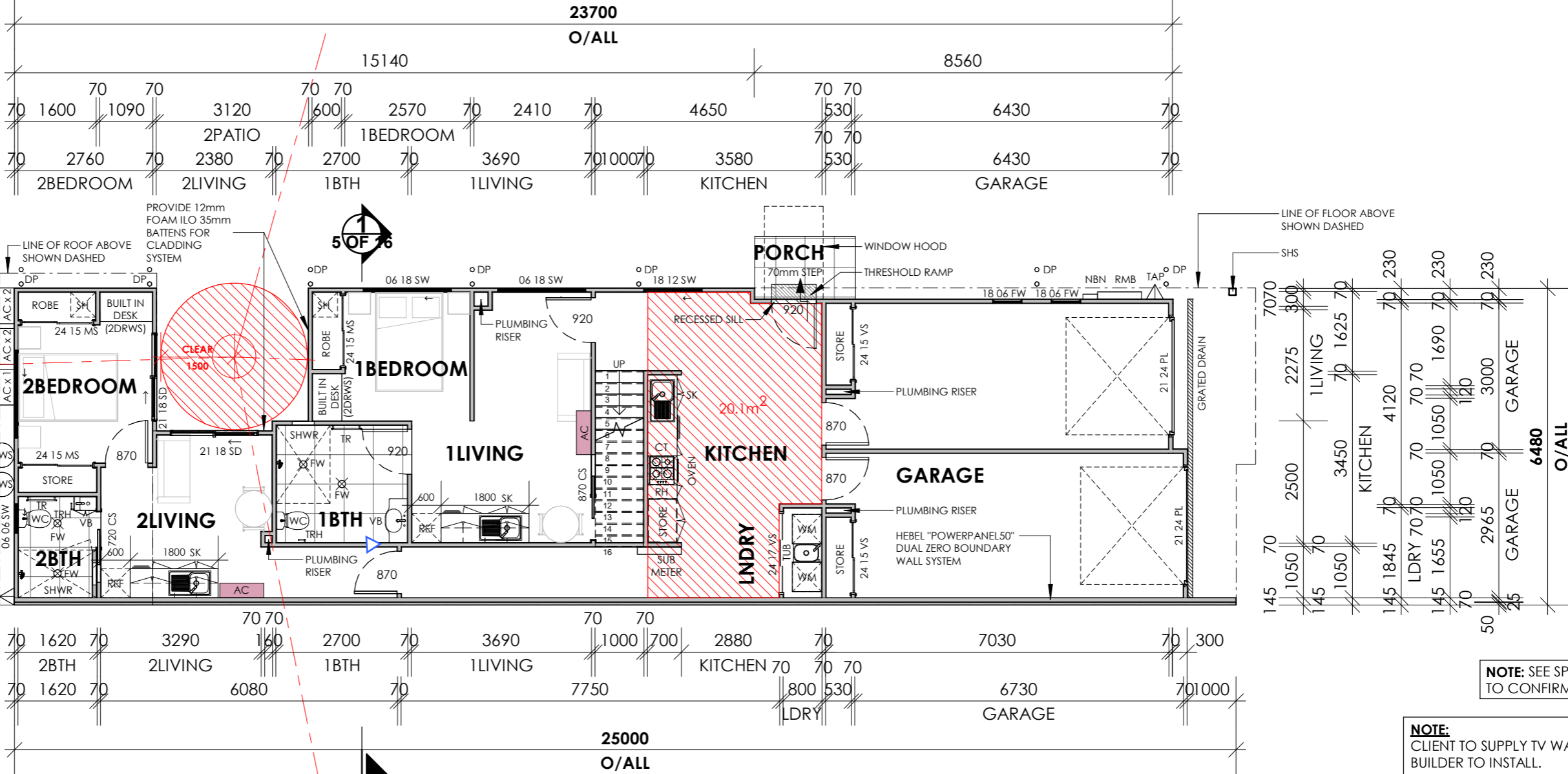
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Client:
PREM001
Project Address:
LOT 1, 36 PREMIER STREET, OXLEY

Design Name:
PREM001
Revision Description:
WORKING DRAWINGS

Drawing Name:
GROUND FLOOR PLAN
Project Code:**PREM0001** Acoustic Cat:**TBC** Drawing Status: **WD**
Wind Cat: **N2** Scale: **As indicated** Sheet Size: **A3** Drawn By: **JM** Date Drawn: **17/01/24**

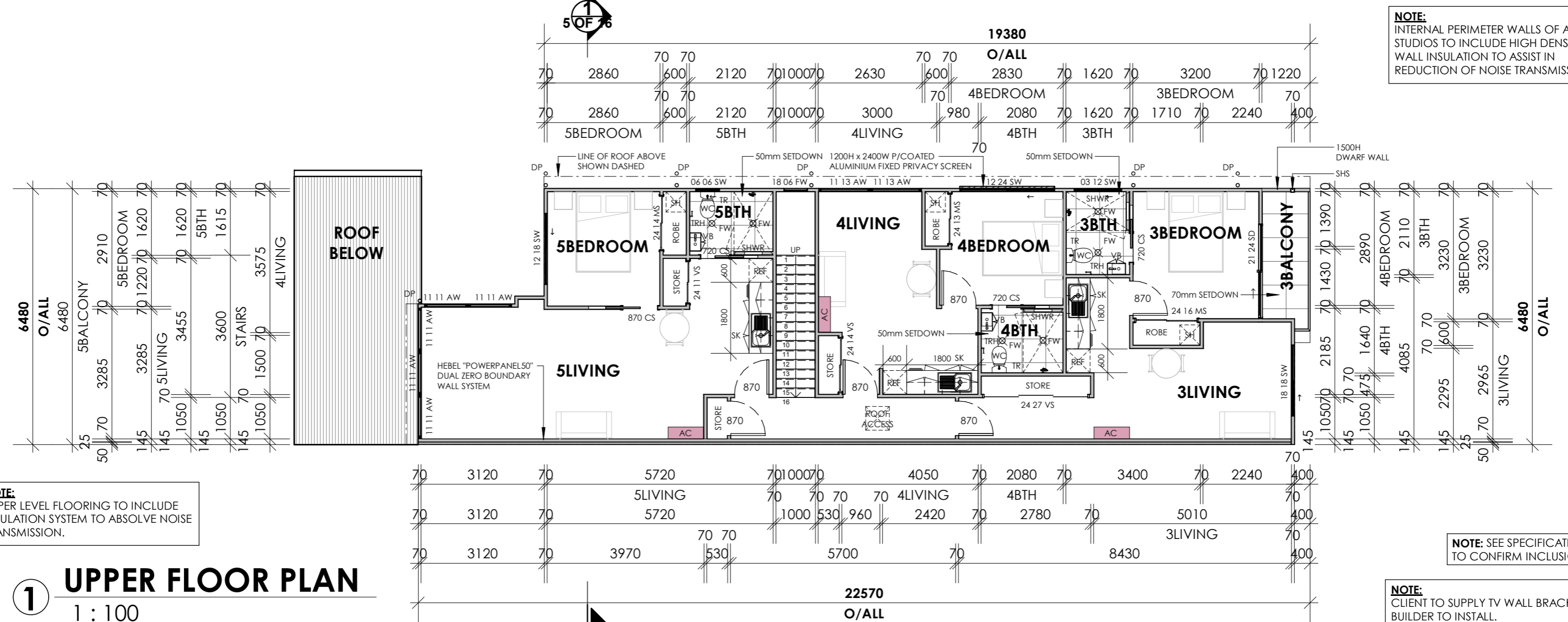
REVISION
7A
Drawing No:
3 OF 5



NOTE: SEE SPECIFICATIONS TO CONFIRM INCLUSIONS.

NOTE: CLIENT TO SUPPLY TV WALL BRACKETS. BUILDER TO INSTALL.

NOTE:
INTERNAL PERIMETER WALLS OF ALL STUDIOS TO INCLUDE HIGH DENSITY WALL INSULATION TO ASSIST IN REDUCTION OF NOISE TRANSMISSION.



NOTE:
UPPER LEVEL FLOORING TO INCLUDE INSULATION SYSTEM TO ABSOLVE NOISE TRANSMISSION.

NOTE: SEE SPECIFICATIONS TO CONFIRM INCLUSIONS.

NOTE:
CLIENT TO SUPPLY TV WALL BRACKETS. BUILDER TO INSTALL.

1 UPPER FLOOR PLAN

1 : 100

NOTE:
ALL GLAZING TO BE LOW E GLASS EXCLUDING GARAGE & BATHROOM WINDOWS.

NOTE:
DOUBLE STUD DETAIL TO BATHS 2, 3, 4 & 5 TO ALLOW FOR WALL NICHE AND CAVITY SLIDING DOOR. REFER TO WET AREA DETAIL SHEETS.

NOTE:
450 x 450 WALL NICHE @ 1000MM AFL (PWD BATH).
450 x 450 WALL NICHE @ 1100MM AFL.

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DATE: 09/08/2024

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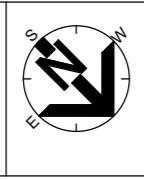
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A/C Air-Conditioning	LOH Lift Off Hinges	TR Towel Rail	VAN Bathroom Vanity Unit
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BH 130mm high ceiling break hamper	MSD Mirror Sliding Door	WM Washing Machine Position	WIL Walk in Linen Closet
CAV Cavity Sliding Door	MW Space for microwave oven	WIR Walk in Wardrobe	
DN Down	NBN National Broadband Network connection		
DP Down Pipe	OBS Obscure Glass		
DR Drawers	OHC Overhead Cupboards		
DW Dishwasher Space	PTY Pantry		
ENS Ensuite	RH Range Hood		
FOW Face of Wall Sliding Door	REF Refrigerator Space		

- FLOOR PLAN NOTES:**
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 - HEADS (LINTELS) - (WINDOWS & DOORS) AS NOMINATED ON PLANS TO NOMINAL 2100MM ABOVE FLOOR LEVEL. (AFL) UNLESS NOTED OTHERWISE

NOTE:
UNIT 1 TO BE MADE ACCESSIBLE IN ACCORDANCE WITH A.S. 1428.1-2009

NOTE:
CLASS 1B DWELLINGS TO COMPLY TO QUEENSLAND DEVELOPMENT CODE MP 6.1



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Client: _____

Project Address: **LOT 1, 36 PREMIER STREET, OXLEY**

Design Name: **PREM001**

Revision Description: **WORKING DRAWINGS**

Drawing Name: **UPPER FLOOR PLAN**

Project Code: **PREM0001** Acoustic Cat: **TBC** Drawing Status: **WD**

Wind Cat: **N2** Scale: **As indicated** Sheet Size: **A3** Drawn By: **JM** Date Drawn: **17/01/24**

REVISION **7A**

Drawing No: **4 OF 5**

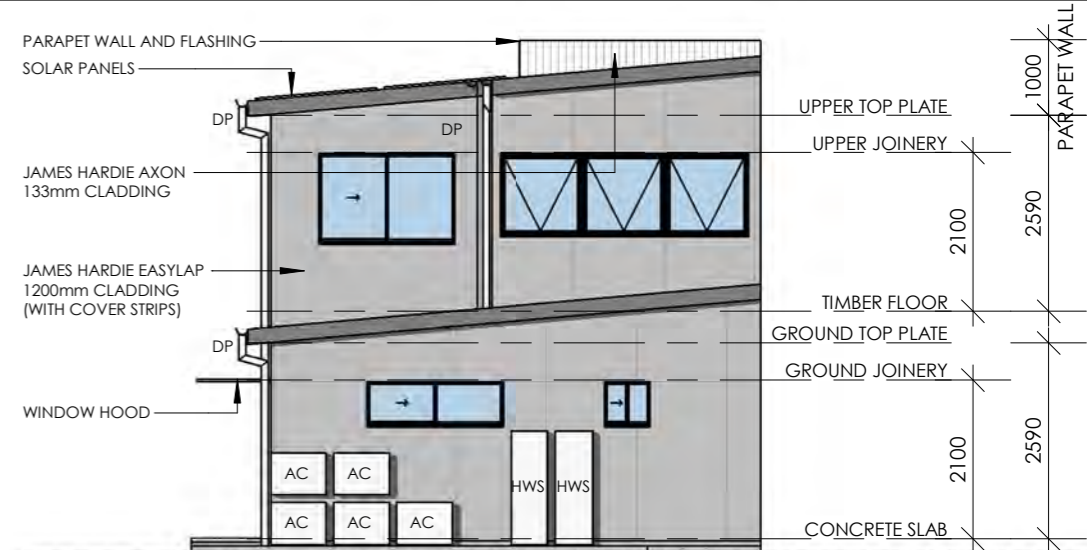


1 FRONT ELEVATION

1:100

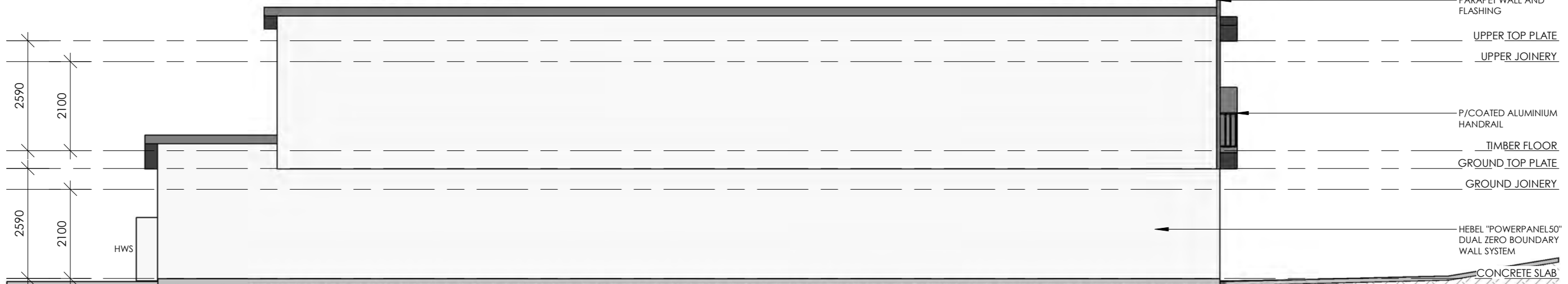
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NOTE: COLOURS/FINISHES SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY



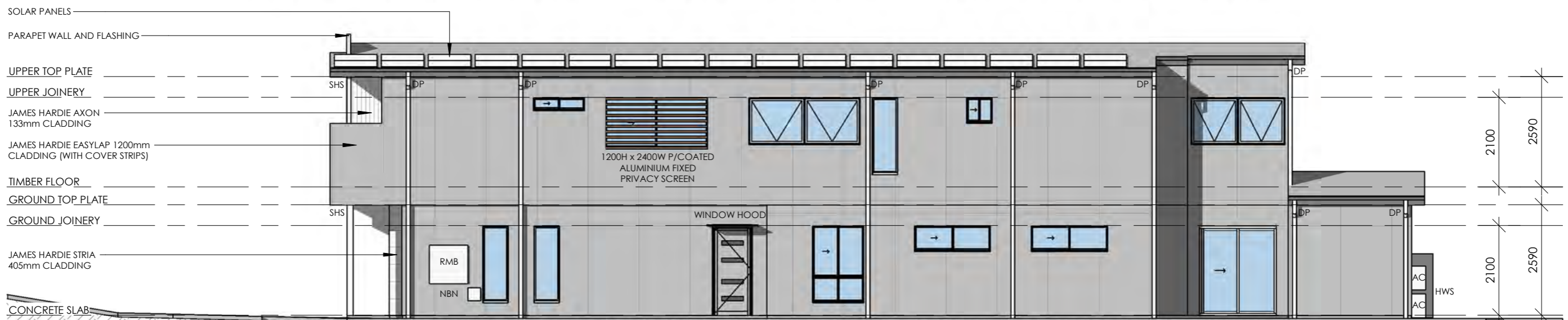
2 REAR ELEVATION

1:100



3 LEFT ELEVATION

1:100



4 RIGHT ELEVATION

1:100



ANNEXURE B

Code Compliance

34-36 Premier Street, Oxley

Contents

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2.1	Low-medium density residential zone code	9
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3.1	Darra–Oxley district neighbourhood plan code	13
4	Prescribed Secondary Codes.....	15
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5.1	Community purposes network overlay code	17

1 Use Codes

The applicable use codes under Part 5 of *City Plan 2014* are:

- Rooming accommodation code

1.1 Rooming accommodation code

Table 9.3.19.3.A—Performance outcomes and acceptable outcomes

Performance outcomes	Acceptable outcomes	Comments
Section A—If for accepted development subject to compliance with identified requirements (acceptable outcomes only) or assessable development accommodating 5 persons or less		
<i>Not applicable.</i>		
Section B—If for accepted development subject to compliance with identified requirements (acceptable outcomes only) or assessable development accommodating: <ul style="list-style-type: none"> a. 6 persons or more in a zone in the Residential zones category; b. Any number of persons in any other zone 		
PO7 Development is located on a site within a walking catchment of: <ul style="list-style-type: none"> a. high-frequency public transport (services every 15 minutes or less); or b. an educational establishment where a higher education campus (e.g. university or technical institute); or c. a teaching hospital. 	A07.1 Development is located in: <ul style="list-style-type: none"> a. a zone in the centre zones category; or b. the High density residential zone; or c. the Medium density residential zone; or d. the Low-medium density residential zone; or e. the Major health care zone precinct of the Community facilities zone; or f. the Mixed use zone; or g. the Major education and research facility zone precinct of the Specialised centre zone. 	<i>The site is in the Low-medium density residential zone.</i> ✓ Acceptable Outcome satisfied.
	A07.2 Development is located within 800m walking distance of a dedicated public pedestrian access point of an educational establishment where a higher education campus (e.g. university or technical institute).	<i>The site is within approximately 300 m walking distance of Oxley Railway Station, which provides high frequency rail services and connecting buses.</i> <i>Translink shows a frequency of between 2 and 11 minutes, weekdays.</i> ✓ Performance Outcome satisfied.

<p>PO8</p> <p>Development ensures that noise from the use does not exceed the following criteria:</p> <p>a. $L_{Aeq,adj,T}$ emitted from rooming accommodation is not greater than the rating background level plus 3 at a sensitive use;</p> <p>Where T is:</p> <p>Day (7am to 6pm): 11hr</p> <p>Evening (6pm to 10pm): 4hr</p> <p>Night (10pm to 6am): 9h</p> <p>Note—Where $L_{Aeq,adj,T}$ is the adjusted A-weighted equivalent continuous sound pressure level during measurement time T, determined in accordance with the methodology described in the Noise impact assessment planning scheme policy.</p> <p>Note—Rating background level is to be determined in accordance with the methodology described in the Noise impact assessment planning scheme policy.</p>	<p>A08.1</p> <p>Development:</p> <p>a. is on a site located in one of the following zones:</p> <ol style="list-style-type: none"> i. Principal centre zone; ii. Major centre zone; iii. District centre zone; iv. High density residential zone; v. Medium density residential zone; vi. Low-medium density residential zone; <p>b. does not emit noise from communal recreation, dining or cooking areas that is clearly audible and disturbing within a nearby sensitive use.</p>	<p><i>The site is in the Low-medium density residential zone.</i></p> <p><i>The common kitchen and dining area for the dwelling is located indoors. Based on the small scale of the dwelling, the balcony is not expected to be utilised by large groups and, as such, would not generate noise that would be disturbing to occupants in adjoining dwelling houses.</i></p> <p><i>It is noted the tenants need to abide by house rules, which limit the hours of usage of the common area so not to disturb other tenants.</i></p> <p>✓ Acceptable Outcome satisfied.</p>
	<p>A08.2</p> <p>Development provides a 2m high acoustic fence along a boundary between on-site car parking areas and adjoining sensitive uses.</p>	<p><i>The adjoining lot 32 Premier Street has parking on ground floor, which will not be impacted by the development. There is already solid fence along the shared boundary, as such nothing further is needed. Also the buildings have enclosed garages.</i></p> <p>• Acceptable Outcome not applicable.</p>
	<p>A08.3</p> <p>Development ensures mechanical plant or equipment is acoustically screened from adjoining sensitive uses.</p> <p>Note—Mechanical plant includes generators, motors, compressors and pumps such as air-conditioning, refrigeration or coldroom motors.</p>	<p><i>Air conditioning systems will be screened and/or acoustically attenuated as necessary in accordance with relevant standards.</i></p> <p>✓ Acceptable Outcome satisfied.</p>
<p>PO9</p> <p>Development protects the visual amenity of the immediate vicinity, public realm and any adjacent dwelling or sensitive use.</p>	<p>A09</p> <p>Development including mechanical plant, refuse and recycling areas, vents and exhausts is not visible from:</p> <ol style="list-style-type: none"> a. a street or public space; b. an adjacent dwelling or sensitive use. <p>Note—Mechanical plant includes generators, motors, compressors and pumps such as air-conditioning, refrigeration or coldroom motors.</p>	<p><i>Air conditioning units that is/are visible from beyond the site will be screened.</i></p> <p><i>The proposed bin stores are covered and fully screened.</i></p> <p>✓ Acceptable Outcome satisfied.</p>

<p>PO10</p> <p>Development is of a nature and scale which does not result in an odour or air emission that causes an unreasonable impact on the occupier of a nearby sensitive use.</p> <p>Note—The matters considered in assessing unreasonable impacts include the characteristics, nature, amount, intensity, frequency and duration of the emissions and whether the emissions could be reasonably expected in the area.</p>	<p>AO10.1</p> <p>Development where not in a zone in the centre zones category or the Mixed use zone:</p> <ol style="list-style-type: none"> a. does not involve activities that generate air emissions, including odour, dust, fumes or smoke beyond the site; b. where cooking or food odour is released, exhaust is discharged vertically and directed away from a sensitive use, and vents are separated by the following distances: <ol style="list-style-type: none"> i. a minimum of 6m horizontally from a sensitive use; ii. a minimum of 2m above a thoroughfare or roof with regular foot traffic. 	<p><i>The development will not result in air emissions.</i></p> <p>✓ Acceptable Outcome satisfied.</p>
	<p>AO10.2</p> <p>Development ensures that vents and exhausts for a below ground car park are separated by a minimum 15m from a sensitive use.</p>	<p><i>The development does not involve underground car parking.</i></p> <p>• Acceptable Outcome not applicable.</p>
<p>PO11</p> <p>Development is located to achieve the air quality (planning) criteria in Table 9.3.19.3.B and odour criteria in Table 9.3.19.3.C.</p> <p>Note—An air quality impact report prepared in accordance with the Air quality planning scheme policy can assist in demonstrating achievement of this performance outcome.</p>	<p>AO11</p> <p>Development is located at least 150m from a spray painting workshop.</p> <p>Note—This distance is to be measured between the building containing the spray painting workshop and the property boundary of the sensitive use.</p>	<p><i>There are no existing spray painting workshops within 150 m of the site.</i></p> <p>✓ Acceptable Outcome satisfied.</p>

<p>PO12</p> <p>Development for outdoor lighting:</p> <ol style="list-style-type: none"> does not have an adverse impact on any person, activity or fauna because of light emissions, either directly or by reflection; ensures that the external appearance of the premises is similar to adjoining premises with lighting that does not impact adversely on the amenity of the immediate vicinity and the public realm. 	<p>AO12</p> <p>Development provides for outdoor lighting:</p> <ol style="list-style-type: none"> with technical parameters, design, installation, operation and maintenance which comply with the requirements of AS 4282-1997 Control of the obtrusive effects of outdoor lighting; which maintains a minimum of 20lux at the footpath level where in a zone in the centre zones category or the Mixed use zone. <p>Note—The effect of outdoor lighting is to be mitigated where a window of a habitable room of a nearby dwelling will be illuminated beyond maximum permissible values outlined in AS 4282-1997 Control of the obtrusive effects of outdoor lighting.</p>	<p><i>Outdoor lighting will be designed and selected to comply with AS 4282.</i></p> <p>✓ Acceptable Outcome satisfied.</p>
<p>PO13</p> <p>Development within the City core or City frame identified in Figure a in the Transport, access, parking and servicing code, provides for car parking spaces at rates to discourage private car use and encourage walking, cycling and the use of public transport.</p>	<p>AO13</p> <p>Development within the City core or City frame as identified in Figure a in the Transport, access, parking and servicing code, provides for on-site parking spaces at parking rates in compliance with the standards in the Transport, access, parking and servicing planning scheme policy.</p>	<p><i>The site is not in the City core or City frame.</i></p> <p>• Acceptable Outcome not applicable.</p>
<p>PO14</p> <p>Development outside the City core and City frame as identified in Figure a in the Transport, access, parking and servicing code, provides for the number of on-site parking spaces that accommodate design peak car parking demands without overflow parking onto adjoining properties or adjacent streets.</p>	<p>AO14</p> <p>Development outside the City core and City frame identified in Figure a in the Transport, access, parking and servicing code, provides for on-site car parking in compliance with the standards in the Transport, access, parking and servicing planning scheme policy.</p>	<p><i>The development complies with Table 13 of the Transport, access, parking and servicing PSP, for rooming accommodation within 400 m walking distance of a major public transport interchange. That is:</i></p> <ul style="list-style-type: none"> - <i>Minimum 1.3 spaces per 3+ bedroom dwelling</i> - <i>Minimum 0.15 spaces per dwelling for visitor parking.</i> <p><i>The dwelling contain 3 carspaces.</i></p> <p>✓ Acceptable Outcome satisfied.</p>

2 Zone Code

The applicable zone code under Part 5 of *City Plan 2014* is:

- Low-medium density residential zone code.

2.1 Low-medium density residential zone code

(4) Development location and uses overall outcomes

Outcomes	Comments
a. Development comprises a mix of low and low-medium rise, low-medium density residential development.	<i>The development facilitates 1-2 storey dwellings- no changes have been proposed to the existing dwelling.</i>
b. Development allows for urban consolidation and better use of physical and social infrastructure.	<i>The development utilises existing infrastructure networks for urban consolidation and by intensifying the use – the development aims to make better use of physical and social infrastructure. Currently the existing rooming accommodation can be considered underdeveloped due to the site's proximity to public transport and infrastructure.</i>
c. Development supports the creation of a walkable neighbourhood with the potential for residents to live within walking distance of regular public transport, nearby centres, recreational opportunities and community facilities, and reduces vehicle-based trips to work, shops or centres.	<i>The site is located within walking distance of bus stops, parks, commercial centres, and community facilities.</i>
d. Development provides for co-existence of dwelling houses, dual occupancies or multiple dwellings.	<i>The development facilitates dwellings to complement the mix of dwelling houses and multiple dwellings in the neighbourhood.</i>
e. Development retains an existing dwelling house that is located on land within the Traditional building character overlay, Heritage overlay or Pre-1911 building overlay.	<i>Not relevant to the proposal.</i>
f. Development for alternative housing types, such as rooming accommodation, a residential care facility or a retirement facility together with ancillary convenience activities and allied services (care co-located uses), which provide housing diversity and enable people to find suitable accommodation throughout their life cycle...	<i>The development is for rooming accommodation (increasing to 10 person) creates a housing diversity and addresses the ongoing housing crisis.</i>
g. Development for complementary residential accommodation options including short-term accommodation support, and meet the needs of visitors to, nearby destinations such as hospitals and is located in highly accessible locations fronting an arterial or suburban road that carries more than 6,000 vehicles per day in the Up to 3 storeys zone precinct or the 2 or 3 storey mix zone precinct.	<i>Not relevant to the proposal.</i>
h. Development for a relocatable home park or tourist park may continue to operate and expand on existing sites in the Up to 3 storeys zone precinct or 2 or 3 storey mix zone precinct to provide housing diversity.	<i>Not relevant to the proposal.</i>
i. Development for a dwelling unit may occur as part of a non-residential use.	<i>Not relevant to the proposal.</i>
j. Development reflects and supports the level of comfort, quiet, privacy and safety (including impacts of glare, odour, light, noise, traffic, parking, servicing and hours of operation) reasonably expected within a low-medium density, but predominantly permanent residential environment.	<i>The development facilitates rooming accommodation consistent with community expectations for the zone.</i>

k. Development for an active frontage use on land within the Active frontages in residential zones overlay is to comply with the Active frontages in residential zones overlay code.	<i>Not relevant to the proposal.</i>
l. Development for commercial character building activities on land within the Commercial character building overlay is to comply with the Commercial character building (activities) overlay code.	<i>Not relevant to the proposal.</i>
m. Development for a compatible and individual small-scale non-residential use which is a community care centre, community use, health care service, office, shop or veterinary service (together with any associated caretaker's accommodation or dwelling unit) where not on land within the Commercial character building overlay or the Active frontages in residential zones overlay, is to...	<i>Not relevant to the proposal.</i>
n. Development which would result in the co-location of new non-residential uses may only occur along an active frontage identified on the Active frontages in residential zones overlay map or where located in two or more adjoining commercial character buildings.	<i>Not relevant to the proposal.</i>
o. Development for a home-based business may operate in a dwelling house, dual occupancy or multiple dwelling and is of a scale and nature that protects the amenity of adjoining residents.	<i>Not relevant to the proposal.</i>
p. Development for any other non-residential use serves a local community facility need only such as a childcare centre or a substation.	<i>Not relevant to the proposal.</i>

(8) Up to 3 storeys zone precinct overall outcomes

Outcomes	Comments
a. Development comprises predominantly 3 storey low-medium rise multiple dwellings (such as apartments and row houses) in Growth Nodes on Selected Transport Corridors and in well-located parts of the city, to provide housing diversity and a sensitive transition between significant centres or higher density residential areas and lower density residential areas.	<i>Although the existing dwellings on site is two storeys, it provides housing diversity and help solve the ongoing housing crisis by creating more rental options for residents.</i>
b. Development of low-medium rise, medium density residential buildings: <ul style="list-style-type: none"> i. are predominantly (but no more than) 3 storeys in height; ii. are located on suitable sites, in well-located parts of the city, in close proximity to or on the periphery of significant centres, or along growth corridors. 	<i>The proposed development is for intensifying the existing use- 5-person rooming accommodation to 10person rooming accommodation and as such no new buildings have been proposed. The development makes better use of the existing dwellings and helps it achieve the highest and best use possible.</i>
c. Development incorporates a height and setback that:	<i>Not relevant as no physical changes are proposed to the existing dwellings on subject site.</i>

<ul style="list-style-type: none"> i. provides a sensitive transition at the edge of the zone or zone precinct to adjoining lower density zones or zone precincts; ii. responds to the existing and intended uses and built form in each particular adjoining zone. 	
<p>d. Dwellings are a mix of apartment and row-house style multiple dwellings which are of a scale and bulk that enable the building to co-exist comfortably with existing dwelling houses and dual occupancy uses.</p>	<i>Not relevant to the proposal</i>
<p>e. Development for a multiple dwelling or dual occupancy incorporates setbacks and landscaping which contribute to a cohesive and compatible human-scale streetscape.</p>	<i>Not relevant to the proposal</i>
<p>f. Development responds to local characteristics, such as protection of view corridors, reinforces a green landscape character and responds to the surrounding character and architecture by having a smaller building envelope than in the Medium density residential zone, acknowledging this zone precinct's role for providing a sensitive transition to low density residential areas and its location within Growth Nodes on Selected Transport Corridors.</p>	<i>The development facilitates rooming accommodation consistent with community expectations for the zone while protecting view corridors and reinforcing a green landscape character where possible.</i>

3 Neighbourhood Plan

The applicable neighbourhood plan code under Part 5 of *City Plan 2014* is:

- Darra–Oxley district neighbourhood plan code.

3.1 Darra–Oxley district neighbourhood plan code

Table 7.2.18.2.3.A—Performance outcomes and acceptable outcomes

Performance outcomes	Acceptable outcomes	Comments
<p>PO1</p> <p>Development is of a height, scale and form that achieves the intended outcome for the precinct, improves the amenity of the neighbourhood plan area, contributes to a cohesive streetscape and built form character and is:</p> <ol style="list-style-type: none"> consistent with anticipated density and assumed infrastructure demand; aligned to community expectations about the number of storeys to be built; proportionate to and commensurate with the utility of the site area and frontage width; designed to avoid a significant and undue adverse amenity impact to adjoining development; sited to enable existing and future buildings to be well separated from each other and to not avoid affecting the potential development of adjoining sites. <p>Note—Development that exceeds the intended number of storeys or building height can place disproportionate pressure on the transport network, public space or community facilities in particular.</p> <p>Note—Development that is over-scaled for its site can result in an undesirable dominance of vehicle access, parking and manoeuvring areas that significantly reduce streetscape character and amenity.</p>	<p>AO1</p> <p>Development complies with the number of storeys and building height in Table 7.2.4.1.3.B.</p> <p>Note—Neighbourhood plans will mostly specify maximum number of storey where varying zone outcomes in relation to building height. Some neighbourhood plans may also specify height in metres. Development must comply with both parameters where maximum number of storeys and height in metres are specified.</p>	<p><i>The development complies with the requirements identified in Table 7.2.4.1.3.B.</i></p> <p>✓ Acceptable Outcome satisfied</p>
<p>PO2</p> <p>Development creates an integrated and continuous pedestrian and cyclist network that facilitates logical and direct access to activity centres, public transport facilities and public open spaces.</p>	<p>AO2</p> <p>Development provides pedestrian and bicycle paths as shown in Figure a and Figure b.</p>	<p><i>Figures a and b do not identify any requirements for pedestrian and bicycle paths affecting the site.</i></p> <ul style="list-style-type: none"> • Acceptable Outcome not applicable.
<p>PO3</p> <p>Development supports the creation of a road network that efficiently provides for the movement of vehicles.</p>	<p>AO3</p> <p>Development provides road infrastructure in accordance with Council standards, as shown in Figure a, Figure b and Figure c.</p>	<p><i>Figures a, b, and c do not identify any road infrastructure requirements affecting the site.</i></p> <ul style="list-style-type: none"> • Acceptable Outcome not applicable.

<p>If in the Darra centre precinct (Darra—Oxley district neighbourhood plan/NPP-001), where in the Darra mixed light industry and business sub-precinct (Darra—Oxley district neighbourhood plan/NPP-001c)</p>		
<p><i>Not applicable.</i></p>		
<p>If in the Darra centre precinct (Darra—Oxley district neighbourhood plan/NPP-001), where in the Darra suburban centre sub-precinct (Darra—Oxley district neighbourhood plan/NPP-001a) or the Darra residential sub-precinct (Darra—Oxley district neighbourhood plan/NPP-001b), or if in the Oxley centre precinct (Darra—Oxley district neighbourhood plan/NPP-002), where in the Oxley suburban centre sub-precinct (Darra—Oxley district neighbourhood plan/NPP-002a) or the Oxley residential sub-precinct (Darra—Oxley district neighbourhood plan/NPP-002b)</p>		
<p>PO5</p> <p>Development boundary setbacks that:</p> <ol style="list-style-type: none"> create a consistent and cohesive streetscape; enable existing and future buildings to be well separated from each other to allow light penetration, air circulation, privacy and ensure windows are not built out by adjoining buildings. 	<p>AO5</p> <p>Development complies with the boundary setbacks in Table 7.2.4.1.3.C.</p>	<p><i>No changes to the existing dwelling have been proposed as part of this development.</i></p> <ul style="list-style-type: none"> Acceptable Outcome not applicable.
<p>PO6</p> <p>Development promotes activation of streets and parks in Darra and Oxley centres through responsive building design, site layout and a mix of uses.</p>	<p>AO6</p> <p>Development provides an active frontage as identified in Figure a and Figure b.</p>	<p><i>Figures a and b do not identify any requirements for active frontages affecting the site.</i></p> <ul style="list-style-type: none"> Acceptable Outcome not applicable.
<p>PO7</p> <p>Development protects the amenity of adjoining educational facilities by:</p> <ol style="list-style-type: none"> minimising impacts, including excess overshadowing, overlooking and visual dominance; providing an appropriate interface by stepping down in height and scale at site boundaries; maintaining adequate levels of natural ventilation and light penetration to neighbouring habitable rooms, balconies and private open space; providing landscape buffers and screens. 	<p>AO7</p> <p>Development that adjoins the boundary of the educational facility as shown in Figure a:</p> <ol style="list-style-type: none"> complies with the number of storeys and building height in Table 7.2.4.1.3.B; provides landscaping along a common boundary in accordance with an approved landscape plan. 	<p><i>The site does not adjoin the primary school identified in Figure a (OLSH Primary School).</i></p> <ul style="list-style-type: none"> Acceptable Outcome not applicable.

4 Prescribed Secondary Codes

Secondary codes applicable under Part 5 of *City Plan 2014* and relevant to the development include:

- Filling and excavation code – not applicable as no building works are proposed on site.
- Infrastructure design code- The subject lots are already connected to sewer, water and stormwater and other services as such this DA does not involve further civil works, as such no benchmarks in this code are relevant. In addition, existing crossovers and access to be utilised.
- Landscape work code- The lots are fully turfed and landscaped and nothing further is required as such the benchmarks in this code are irrelevant.
- Stormwater code - The subject lots are already connected to stormwater and other services as such this DA does not involve further civil works.
- Transport, access, parking and servicing code- The proposal reutilises existing crossovers and complies with parking requirements as per rooming accommodation code as such nothing further is required to satisfy this code.

5 Overlay Codes

The applicable overlay codes under Part 5 of *City Plan 2014* are:

- Community purposes network overlay code
- Road hierarchy overlay code - There are no relevant assessment criteria for the scope of the proposal.
- Street hierarchy overlay code - There are no relevant assessment criteria for the scope of the proposal.

5.1 Community purposes network overlay code

Table 8.2.8.A.3—Performance outcomes and acceptable outcomes

Performance outcomes	Acceptable outcomes	Comments
<p>If on a site in the Existing trunk park sub-category, Existing non-trunk park sub category, LGIP planned park acquisition specific location sub-category, LGIP planned park upgrade specific location sub-category, LGIP planned park embellishment specific location sub-category, LGIP planned corridor park specific location sub-category, Long term park specific location sub-category or Long term corridor park specific location sub-category</p>		
<p><i>Not applicable.</i></p>		
<p>If on a site in the Existing community facilities and land for community facilities sub-category, LGIP planned land for community facilities specific location sub-category or Long term land for community facilities specific location sub-category</p>		
<p><i>Not applicable.</i></p>		