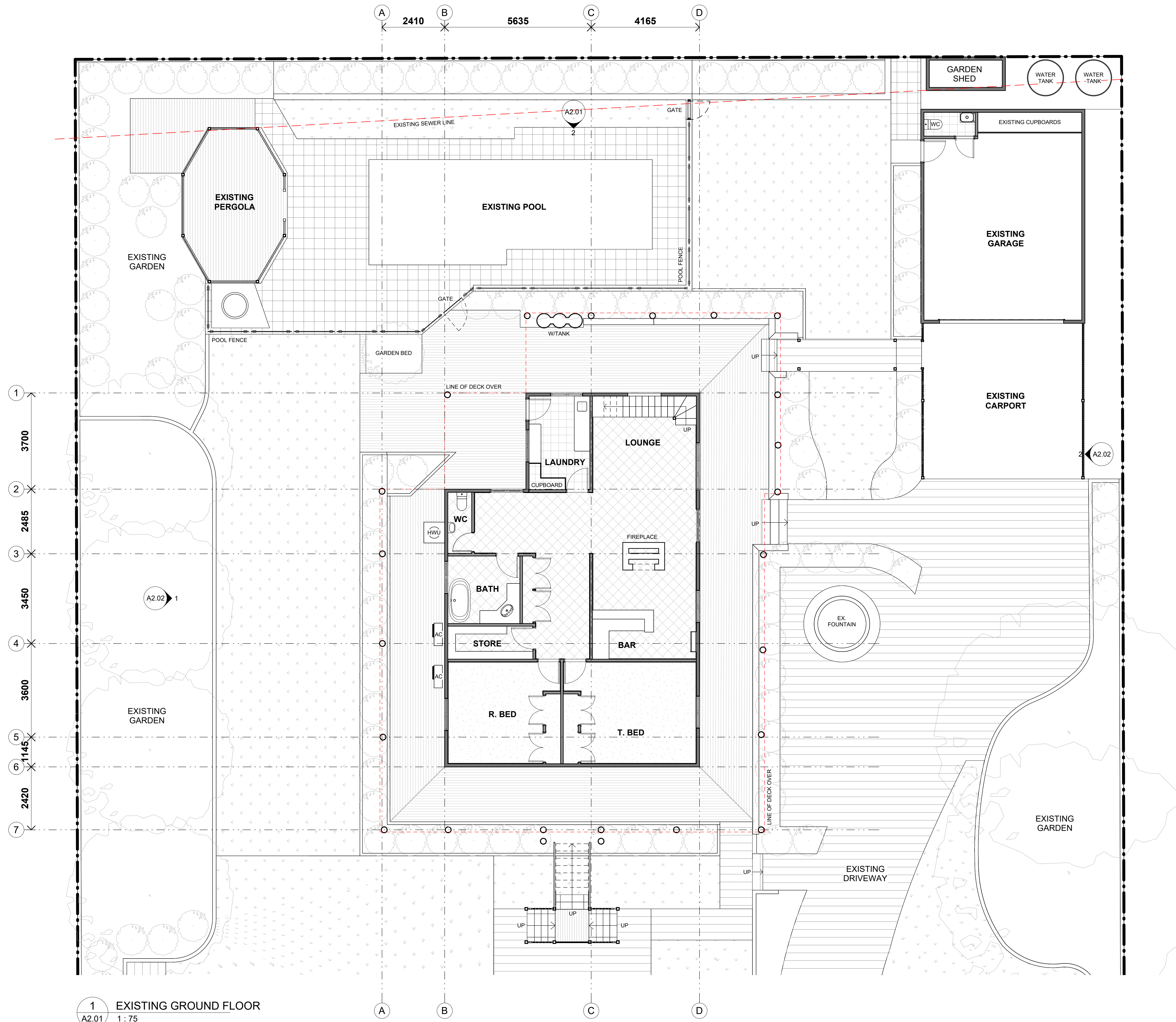


ANNA DUNNE

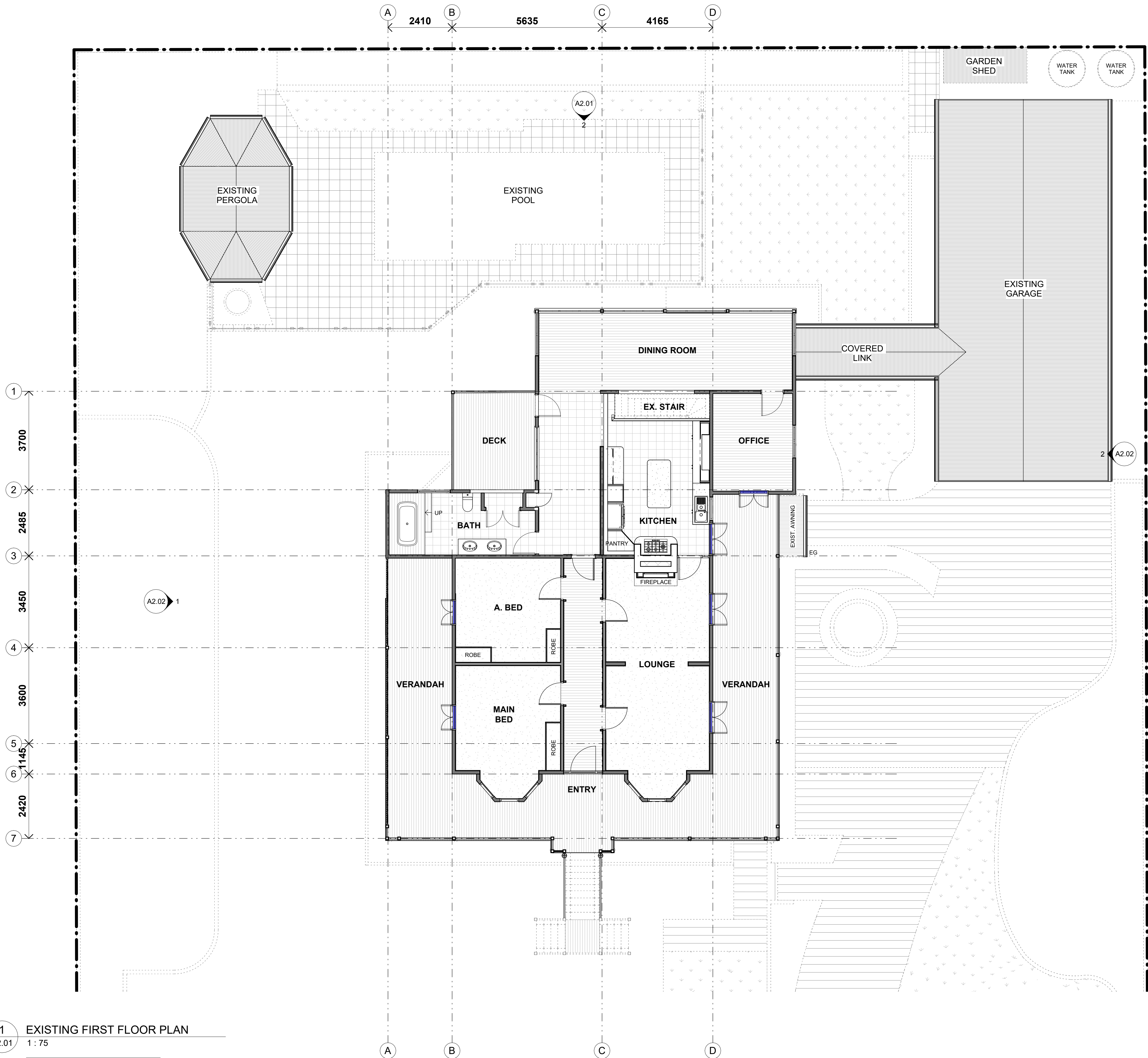
56 MOUNTJOY TERRACE

ALTERATIONS & ADDITIONS





1
A2.01
EXISTING GROUND FLOOR
1 : 75



1 EXISTING FIRST FLOOR PLAN
A2.01 1 : 75



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Revisions
EX1 EXISTING PLAN ISSUE
TP1 TOWN PLANNING ISSUE 1

05.05.26
01.07.26

Project
56 MOUNTJOY TERRACE
ALTERATIONS & ADDITIONS

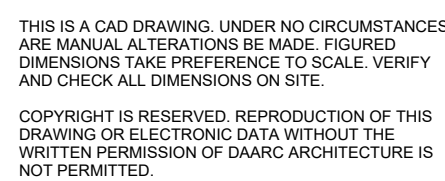
For
ANNA DUNNE

Drawing
EXISTING FIRST FLOOR PLAN

PRELIMINARY ONLY

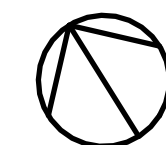
Drawn SGB
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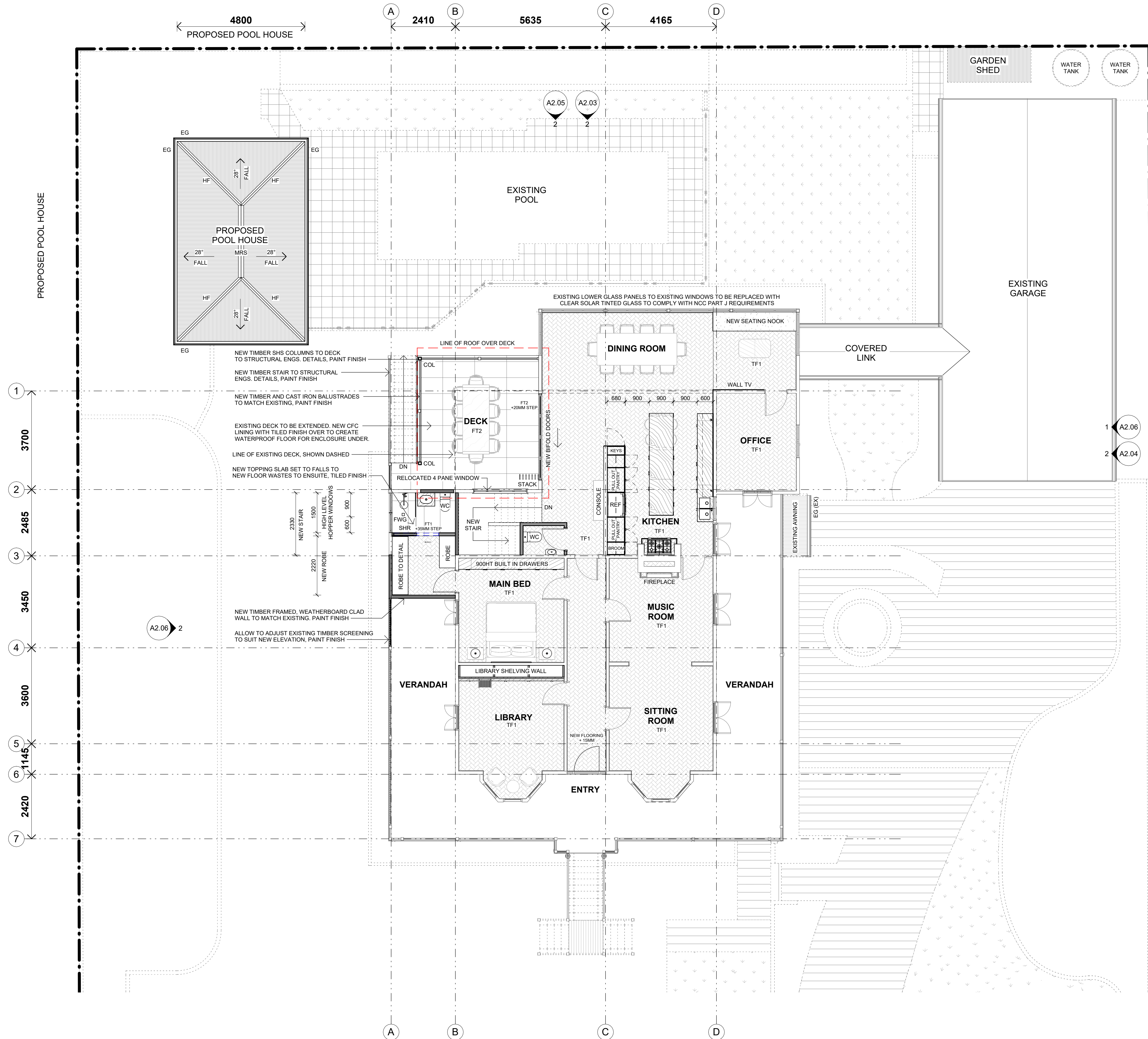
Project No. 20250045
Drawing No. A1.02
Revision TP1



Project
56 MOUNTJOY TERRACE
ALTERATIONS & ADDITIONS

Project No.	Drawing No.	Revision
20250045	A1.03	TP3





DEMOLITION NOTES

- 1. DEMOLITION**
GENERALLY, EXISTING WALLS AND CONCRETE SLABS AS REQUIRED, REFER TO STRUCTURAL ENGINEER'S DETAILS FOR EXTENT OF NEW FOOTINGS, SLABS AND PROPPING OF EXISTING STRUCTURE.
A. ALLOW TO REINSTATE AND MAKE GOOD TO THE ORIGINAL CONDITION ANY DAMAGE TO EXISTING AND/OR ADJOINING SURFACES DUE TO THE DEMOLITION AND CONSTRUCTION OF NEW WORKS.
B. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS INCLUDING CONSULTANTS' DOCUMENTATION FOR THE FULL EXTENT OF DEMOLITION WORKS. THERE SHALL BE NO EXTRAS GIVEN FOR FAILURE TO READ AND COORDINATE THE EXISTING AND NEW WORKS.
C. ALL NECESSARY MEASURES SHALL BE TAKEN TO PREVENT NUISANCE FROM DUST DURING DEMOLITION.
D. ALL EXISTING MATERIALS FOUND TO BE DEFECTIVE WHERE THE EXISTING CONSTRUCTION IS INTERFERED SHALL BE REPLACED WITH NEW MATERIALS TO MATCH THE EXISTING. CONTRACTOR TO NOTIFY THE ARCHITECT OF ALL DEFECTIVE MATERIALS BEFORE PROCEEDING WITH DEMOLITION.
F. ALL WORK DAMAGED OR DEEMED DEFECTIVE FROM DEMOLITION BY ANY TRADE SHALL BE REINSTATE TO MATCH EXISTING WORK.
- 2. SERVICES**
A. THE CONTRACTOR IS TO LOCATE AND IDENTIFY ALL EXISTING SERVICES, PAYING AND GROUND AS REQUIRED FOR EXTENT OF NEW WORKS. APPROPRIATE ALTERNATIVE CONNECTIONS TO ENSURE NO INTERRUPTION TO ANY SERVICE TO THIS RESIDENCE.
B. ALL SERVICES, CONSULTANTS' DOCUMENTATION FOR DEMOLITION, TERMINATION AND CAPPING OF EXISTING SERVICES, WHERE NOT SHOWN ON THE DRAWINGS, ALLOW TO REMOVE ALL REDUNDANT EXISTING SERVICE CONDUITS, PIPES AND EQUIPMENT AND MAKE GOOD AS NECESSARY. REDUNDANT SERVICES SHALL BE SEALED OFF AT THE MAIN LINE AND REMOVED.
C. CONFIRM SET OUT OF UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF EARTHWORKS.
- 3. SITE**
A. DEMOLISH, BREAK APART AND REMOVE EXISTING LANDSCAPING SLABS, PAVING AND GROUND AS REQUIRED FOR EXTENT OF NEW WORKS.
B. ALLOW TO MAKE GOOD ALL SOFTSCAPE DUE TO DEMOLITION WORKS.
C. REFER TO LANDSCAPE ARCHITECT'S DOCUMENTATION FOR FULL EXTENT OF DEMOLITION TO THE SITE, TREE RETENTION AND PROTECTION.
- 4. ROADS AND FOOTPATHS**
A. ALL ROADS, FOOTPATHS AND PUBLIC SERVICES DISTURBED OR DAMAGED AS A RESULT OF THE WORKS SHALL BE MADE GOOD AND REINSTATED UPON COMPLETION.
- 5. WALLS**
A. REMOVE EXISTING PARTITION AND MASONRY WALLS WITHIN THE BUILDING DEMOLITION AREA AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO COMPLETE THE NEW WORKS. THE CONTRACTOR IS TO COORDINATE THE REMOVAL OF WALLS AND ALLOW FOR AREAS THAT MAY NOT BE INDICATED ON THIS DRAWING.
B. SAW CUT OPENINGS IN WALLS AND/OR FLOORS WHERE REQUIRED TO COMPLETE THE WORKS INCLUDING WHERE REQUIRED FOR ANY SERVICE PENETRATION, ALLOW TO RECTIFY AND MAKE GOOD TO MATCH EXISTING WHERE ANY SERVICE PENETRATION OCCURS.
C. REFER TO STRUCTURAL ENGINEER'S DOCUMENTATION FOR ALTERATIONS TO EXISTING STRUCTURE.
- 6. CEILINGS**
A. DEMOLISH CEILINGS REQUIRED TO COMPLETE NEW WORKS.
B. REFER TO REFLECTED CEILING PLANS FOR THE FINAL CEILING LAYOUTS, TYPES AND FINISHES.
C. MAKE GOOD TO EXISTING CEILINGS WHERE DAMAGED BY DEMOLITION OR FOR THE INSTALLATION OF NEW SERVICES AS REQUIRED TO COMPLETE THE NEW WORKS.
D. COMPLETE THE NEW WORKS TO MATCH EXISTING FINISH TO THE ENTIRE AREA WHERE CEILINGS HAVE BEEN PATCHED.
- 7. FLOORS**
A. REMOVE FLOOR COVERINGS, INCLUDING UNDERLAY, FIXINGS AND ADHESIVES TO AREAS AS SPECIFIED TO HAVE NEW FLOOR FINISHES. SCABBLE AND PREPARE EXISTING SUBSTRATES FOR THE INSTALLATION OF NEW FLOOR FINISHES IN ACCORDANCE WITH THE SPECIFICATION. THIS IS TO INCLUDE THE INSTALLATION OF AN APPROVED TOPPING COMPOUND WHERE REQUIRED TO PROVIDE A SUITABLE LEVEL SUBSTRATE FOR THE FLOOR FINISHES TO BE Laid DOWN.
B. ALLOW TO REINSTATE ALL FLOORS AND FLOOR FINISHES AS REQUIRED TO MATCH EXISTING WHERE FLOORS ARE TRENCHED FOR NEW SERVICES.
C. ALL FLOOR AREAS TO FALL TO FLOOR WASTES WITH A MINIMUM OF 1:100 FALLS UNLESS NOTED OTHERWISE ON DRAWINGS.
D. ALLOW FLUSH FINISH BETWEEN ALL ADJACENT FLOOR FINISHES UNLESS NOTED OTHERWISE.
- 8. ROOF**
A. REMOVE ALL ROOFS, FLASHINGS, CAPPINGS, GUTTERS ETC. AS REQUIRED FOR THE COMPLETION OF THE WORKS.
B. ALLOW TO REINSTATE ALL ROOFS AND FLASHINGS WHERE EXISTING SERVICES ARE RELOCATED AND/OR NEW SERVICES ARE INSTALLED. THIS INCLUDES THE INSTALLATION AN REINSTATEMENT OF ALL SUBSTRATE APPROPRIATE TO THE ROOF TYPE AS REQUIRED TO COMPLETE THE WORKS AND LEAVE THE ROOF WATERTIGHT.
C. ALLOW TO REMOVE ALL REDUNDANT SERVICES, VENTS, EQUIPMENT TO ROOFS AND FLASH AND/OR CAP TO ENSURE THE ROOF IS WATERTIGHT.
- 9. JOINERY, FITTINGS AND FIXTURES**
A. REMOVE ALL JOINERY ITEMS, FITTINGS AND FIXTURES AS REQUIRED TO COMPLETE NEW WORKS. ALLOW TO RELOCATE AND/OR TERMINATE EXISTING SERVICES AND FITTINGS AND/OR FIXTURES AND FITTINGS AS REQUIRED TO COMPLETE NEW WORKS.
B. ALL LOOSE AND REMOVABLE ITEMS ARE TO BE RETURNED TO THE ORIGINAL UNFINISHED CONDITION. ALL ITEMS TO BE RELOCATED TO THE EXTENT OF ITEMS TO BE RETAINED AND RETURNED. ALLOW TO REMOVE AND REINSTATE ITEMS THAT ARE TO BE REUSED IN THE FINISHED AREAS AS REQUIRED.
C. RELOCATE ASSOCIATED SERVICES THAT REQUIRE REFIXING DUE TO NEW WORKS.

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Revisions		
TP1	TOWN PLANNING ISSUE 1	01.07.26
TP2	TOWN PLANNING ISSUE 2	13.07.26

Project
56 MOUNTJOY TERRACE
ALTERATIONS & ADDITIONS

For
ANNA DUNNE

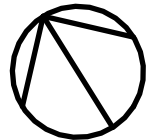
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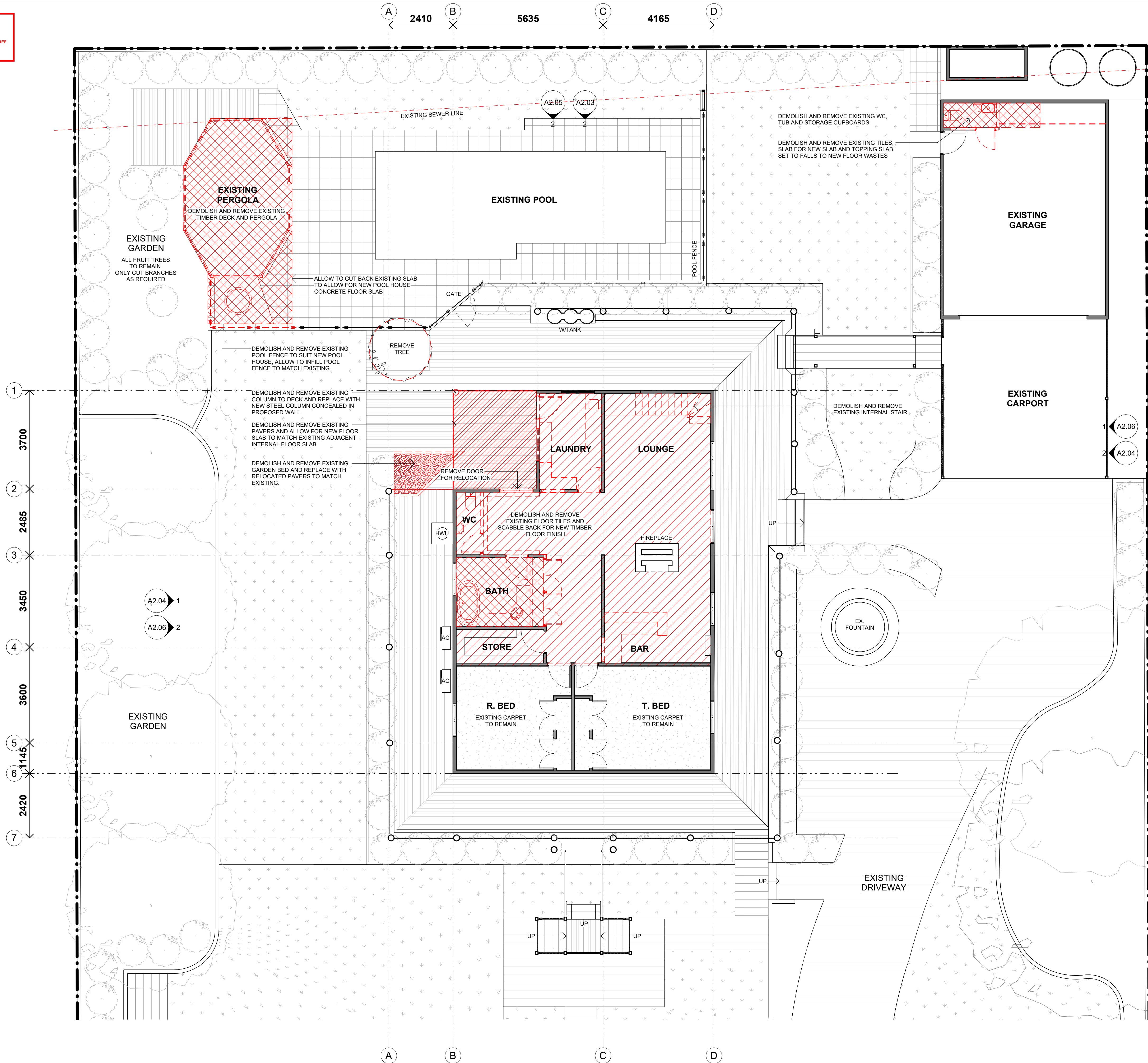
PROPOSED FIRST FLOOR PLAN

PRELIMINARY ONLY

Drawn SGB
Scale As indicated at A1

Project No.	Drawing No.	Revision
20250045	A1.04	TP2





- — — FLOOR TO BE DEMOLISHED
- — — FLOOR FINISH TO BE DEMOLISHED
- — — EXTERNAL HARDSTAND TO BE DEMOLISHED
- — — LANDSCAPING TO BE DEMOLISHED
- - - ELEMENTS TO BE DEMOLISHED

DEMOLITION NOTES

- 1 GENERALLY**
A. DEMOLISH WALLS AND CONCRETE SLABS AS REQUIRED. REFER TO STRUCTURAL ENGINEER'S DETAILS FOR EXTENT OF NEW FOOTINGS, SLABS AND PROPPING OF EXISTING STRUCTURE.
B. ALLOW TO REINSTATE AND MAKE GOOD TO THE ORIGINAL CONDITION ANY DAMAGE TO EXISTING AND/OR ADJOINING SURFACES DUE TO THE DEMOLITION AND CONSTRUCTION OF NEW WORKS.
C. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS INCLUDING CONSULTANTS' DOCUMENTATION FOR THE FULL EXTENT OF DEMOLITION WORKS. THERE SHALL BE NO EXTRAS GIVEN FOR FAILURE TO READ AND COORDINATE THE EXISTING AND NEW WORKS.
D. ALL NECESSARY MEASURES SHALL BE TAKEN TO PREVENT NUISANCE FROM DUST DURING DEMOLITION.
E. ALL EXISTING MATERIALS FOUND TO BE DEFECTIVE WHERE THE EXISTING CONSTRUCTION IS INTERFERED SHALL BE REPLACED WITH NEW MATERIALS TO MATCH THE EXISTING. CONTRACTOR TO NOTIFY THE ARCHITECT OF ALL DEFECTIVE MATERIALS BEFORE PROCEEDING WITH DEMOLITION.
F. ALL WORK DAMAGED OR DEEMED DEFECTIVE FROM DEMOLITION BY ANY TRADE SHALL BE REINSTATED TO MATCH EXISTING WORK.
- 2 SERVICES**
A. THE CONTRACTOR IS TO LOCATE AND IDENTIFY ALL EXISTING SERVICES PRIOR TO COMMENCING DEMOLITION WORKS AND PROVIDE APPROPRIATE ALTERNATIVE CONNECTIONS TO ENSURE NO INTERRUPTION TO ANY SERVICE TO THIS RESIDENCE.
B. REFER SERVICES CONSULTANTS' DOCUMENTATION FOR DEMOLITION, TERMINATION AND CAPPING OF EXISTING SERVICES. WHERE NOT SHOWN ON THE DRAWINGS, ALLOW TO REMOVE ALL REDUNDANT EXISTING SERVICE CONDUITS, PIPES AND EQUIPMENT AND MAKE GOOD AS NECESSARY. REDUNDANT SERVICES SHALL BE SEALED OFF AT THE MAIN LINE AND REMOVED.
C. CONFIRM SET OUT OF UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF EARTHWORKS.
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A. DEMOLISH, BREAK APART AND REMOVE EXISTING LANDSCAPING SLABS, PAVING AND GROUND AS REQUIRED FOR EXTENT OF NEW WORKS.
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B. ALLOW TO REINSTATE ALL FLOORS AND FLOOR FINISHES AS REQUIRED TO MATCH EXISTING WHERE FLOORS ARE TRENCHED FOR NEW SERVICES.
C. ALL FLOORS ARE TO FALL TO FLOOR WASTES WITH A MINIMUM OF 1:100 FALLS UNLESS NOTED OTHERWISE ON DRAWINGS.
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A. REMOVE ALL ROOFS, FLASHINGS, CAPPINGS, GUTTERS ETC. AS REQUIRED FOR THE COMPLETION OF THE WORKS.
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B. ALL LOOSE AND REMOVABLE ITEMS ARE TO BE RETURNED TO THE PRINCIPAL UNLESS NOTED OTHERWISE. LIAISE WITH PRINCIPAL AS TO THE EXTENT OF ITEMS TO BE RETAINED AND RETURNED. ALLOW TO REMOVE AND REINSTATE ITEMS THAT ARE TO BE REUSED IN THE FINISHED AREAS AS REQUIRED.
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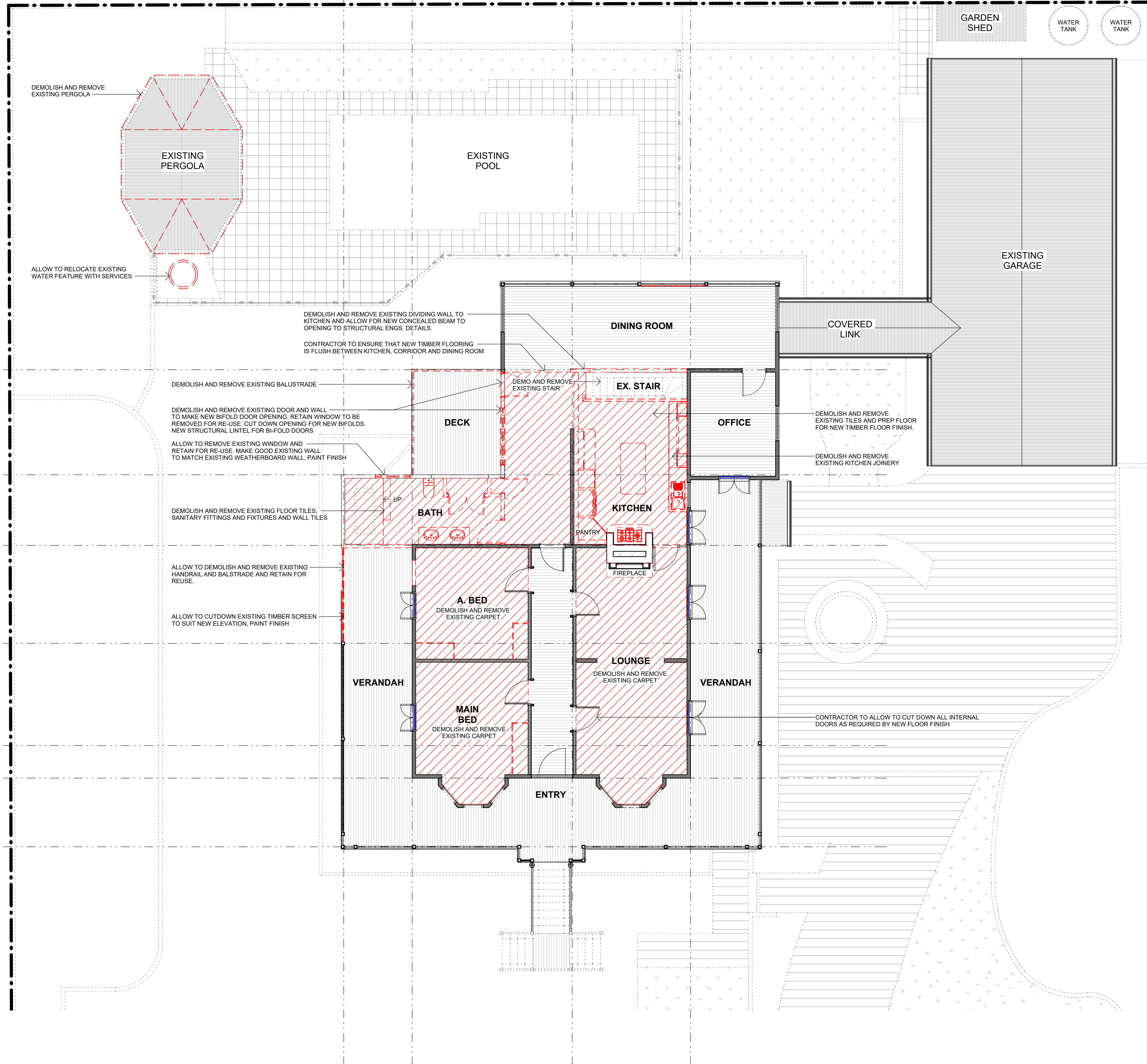
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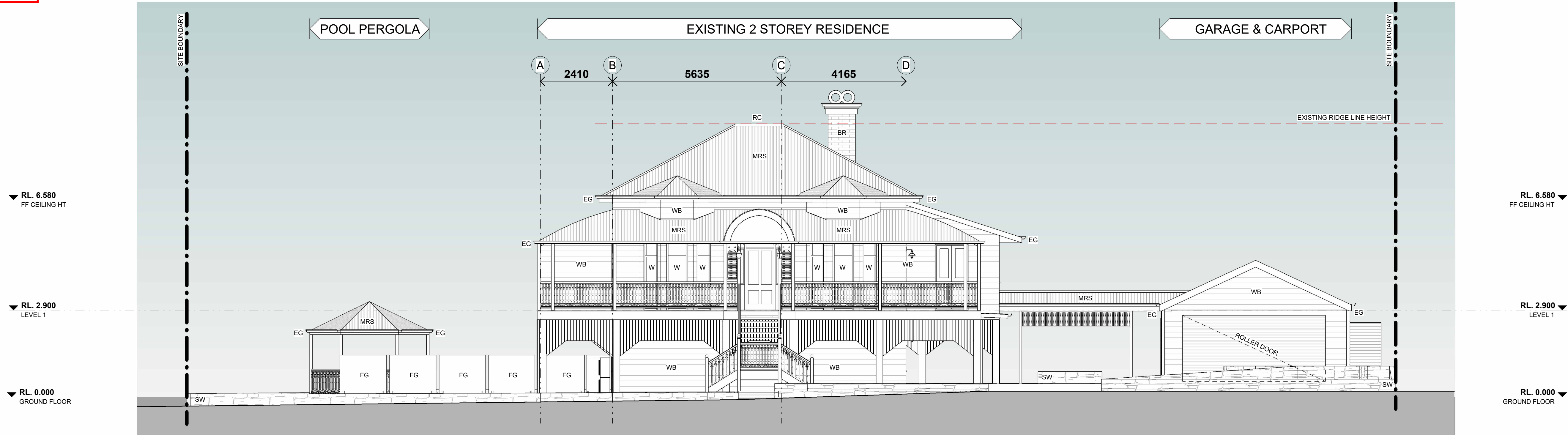
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- FLOOR TO BE DEMOLISHED
- FLOOR FINISH TO BE DEMOLISHED
- EXTERNAL HARDSTAND TO BE DEMOLISHED
- LANDSCAPING TO BE DEMOLISHED
- ELEMENTS TO BE DEMOLISHED

DEMOLITION NOTES

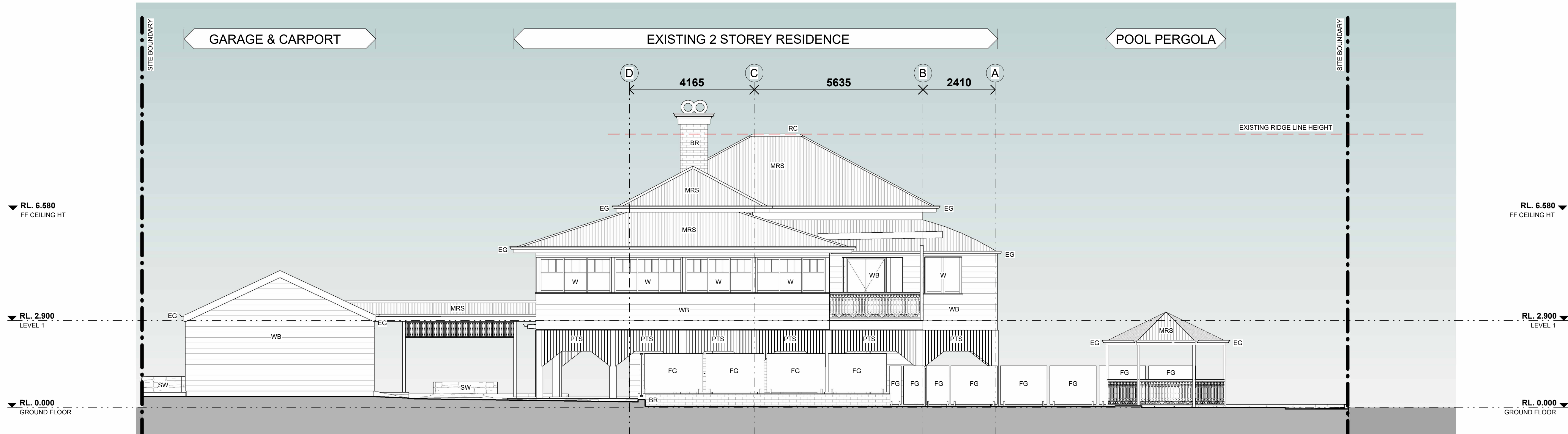
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 - C. ALL FLOORS ARE TO FALL TO FLOOR WASTES WITH A MINIMUM OF 1:100 FALLS UNLESS NOTED OTHERWISE ON DRAWINGS.
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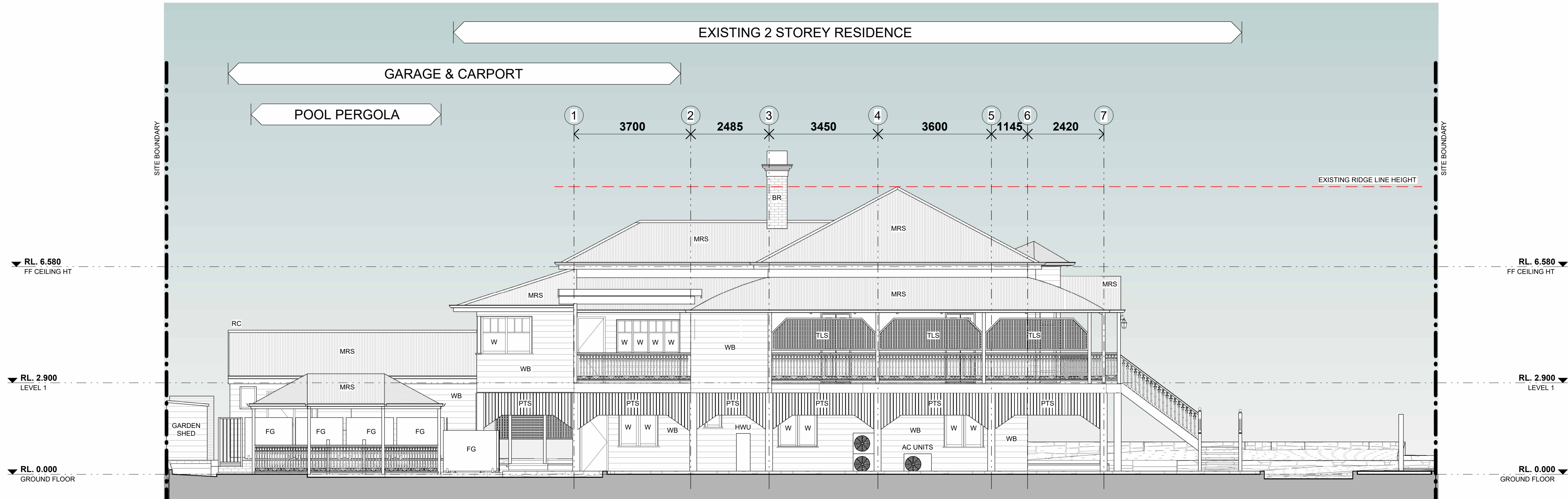
1 SOUTH WEST ELEVATION
1 : 75

LEGEND

AP	ACCESS PANEL
BAL	PAINTED IRON BALUSTRADE
BF	SOLAR TINTED BI-FOLD GLASS DOORS
BR	BRICKWORK
CN	CORNICE
DP	DOWNPIPE
DR	DRAIN
EVJ	EASY VJ CEILING LINING
EG	EAVES GUTTER
FG	FIXED GLASS
FT1	FLOOR TILE - TYPE 1
HF	HIP FLASHING
HWU	HOT WATER UNIT
LM1	LAMINATE FINISH - TYPE 1
LM2	LAMINATE FINISH - TYPE 2
LM3	LAMINATE FINISH - TYPE 3
LT (EX)	EXISTING LIGHT FITTING
LTS	LATTICE TIMBER SCREEN
MRS	METAL ROOF SHEETING
PF	PAINT FINISH
PTS	PAINTED TIMBER SCREENS
RB	RENDERED BLOCKWORK
RC	RIDGE CAPPING
SC	STONE CLADDING
SW	STONE WALL
TF1	ENGINEERING TIMBER FLOORING
TLS	TIMBER LATTICE SCREENING
TR	TOWEL RAIL
VG	VALLEY GUTTER
VJ	TIMBER VJ CLADDING
W	WINDOW
WB	TIMBER WEATHERBOARDS
WB2	FC WEATHERBOARDS
WT1	WALL TILES - TYPE 1



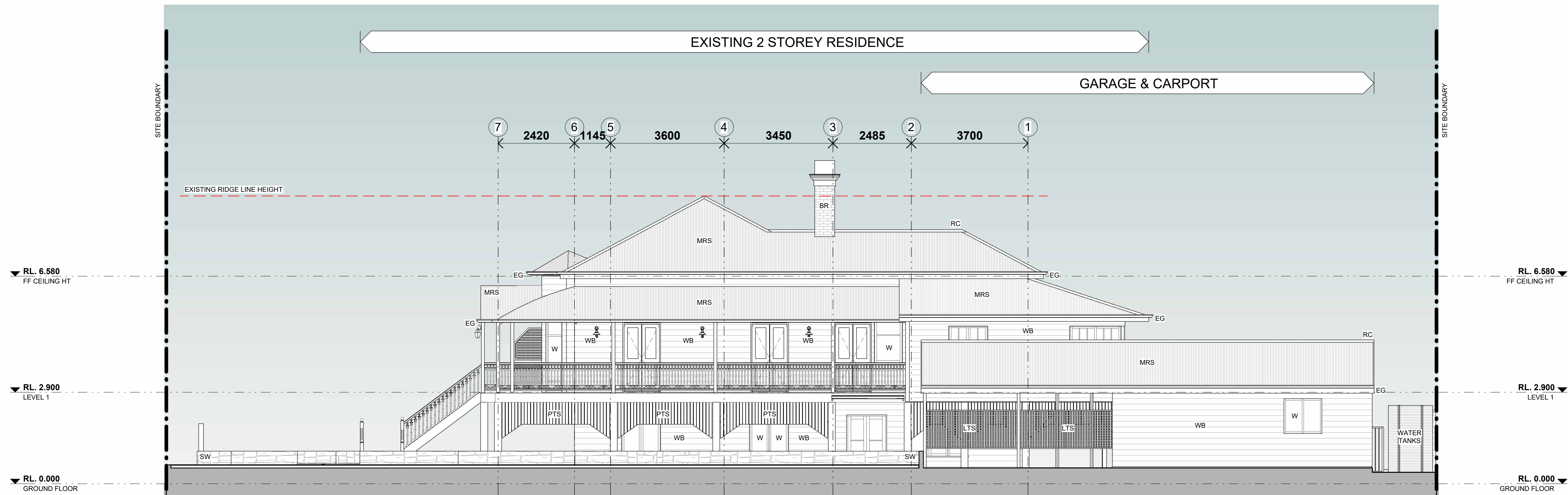
2 NORTH EAST ELEVATION
A1.01 1 : 75



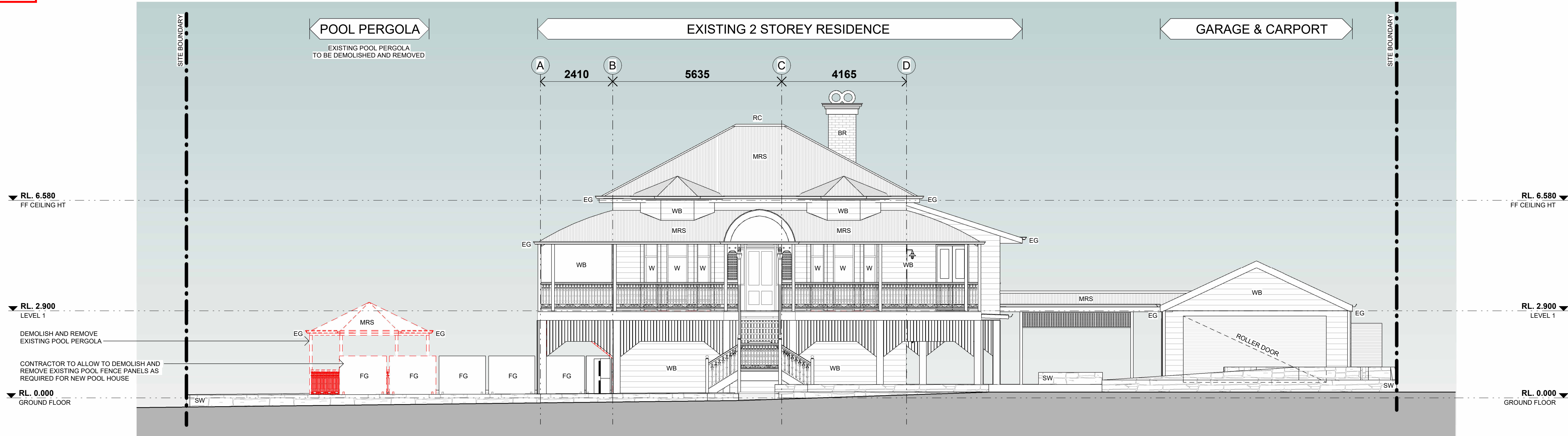
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A1.01 1 : 75

LEGEND

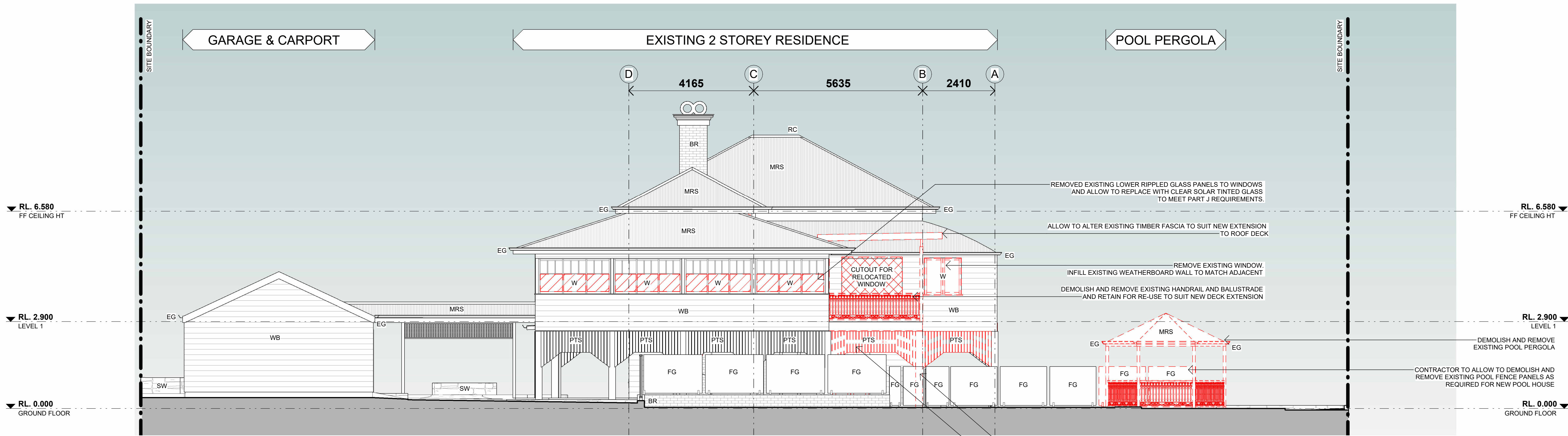
AP	ACCESS PANEL
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HF	HIP FLASHING
HWU	HOT WATER UNIT
LM1	LAMINATE FINISH - TYPE 1
LM2	LAMINATE FINISH - TYPE 2
LM3	LAMINATE FINISH - TYPE 3
LT (EX)	EXISTING LIGHT FITTING
LTS	LATTICE TIMBER SCREEN
MRS	METAL ROOF SHEETING
PF	PAINT FINISH
PTS	PAINTED TIMBER SCREENS
RB	RENDERED BLOCKWORK
RC	RIDGE CAPPING
SC	STONE CLADDING
SW	STONE WALL
TF1	ENGINEERING TIMBER FLOORING
TLS	TIMBER LATTICE SCREENING
TR	TOWEL RAIL
VG	VALLEY GUTTER
VJ	TIMBER VJ CLADDING
W	WINDOW
WB	TIMBER WEATHERBOARDS
WB2	FC WEATHERBOARDS
WT1	WALL TILES - TYPE 1



2 SOUTH EAST ELEVATION
A1.01 1 : 75



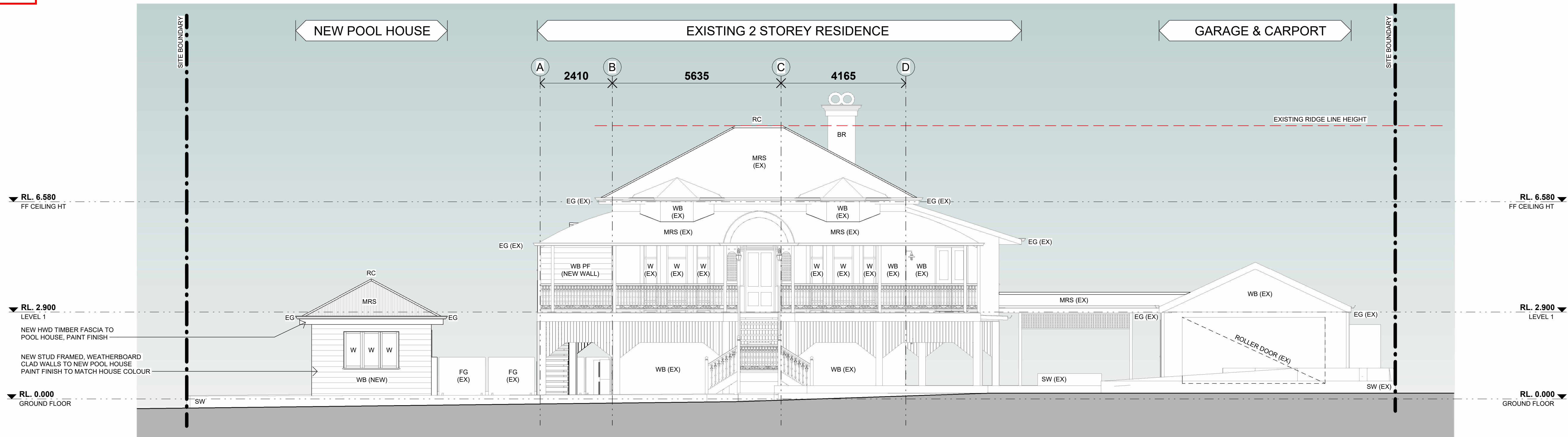
1 SOUTH WEST ELEVATION - DEMOLITION
1 : 75



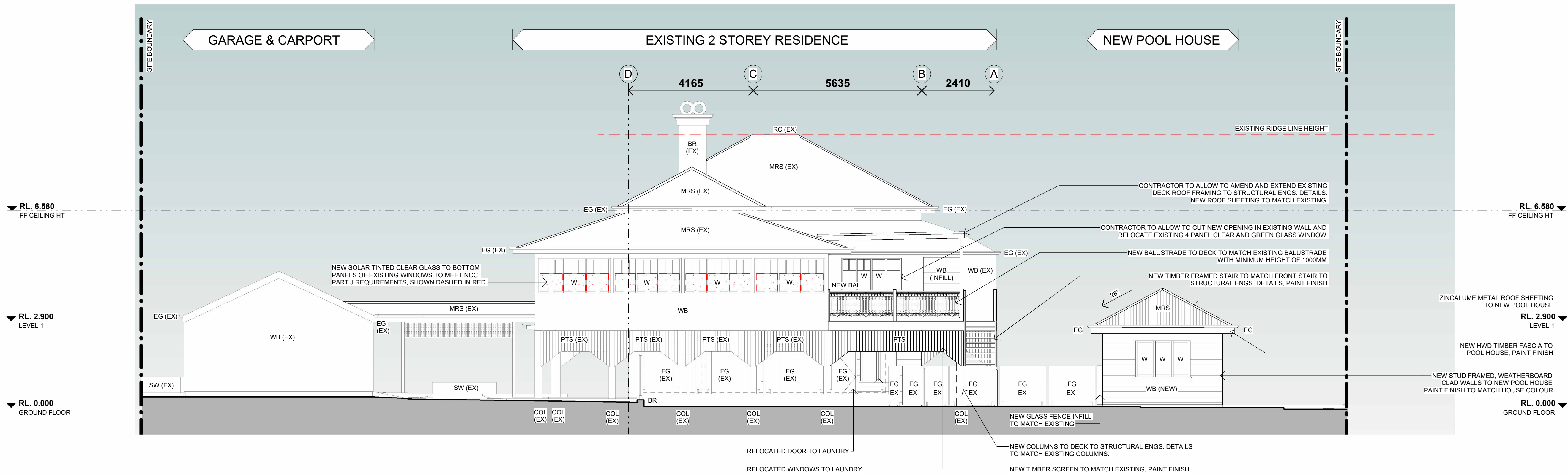
2 NORTH EAST ELEVATION - DEMOLITION
A1.03 1 : 75

LEGEND

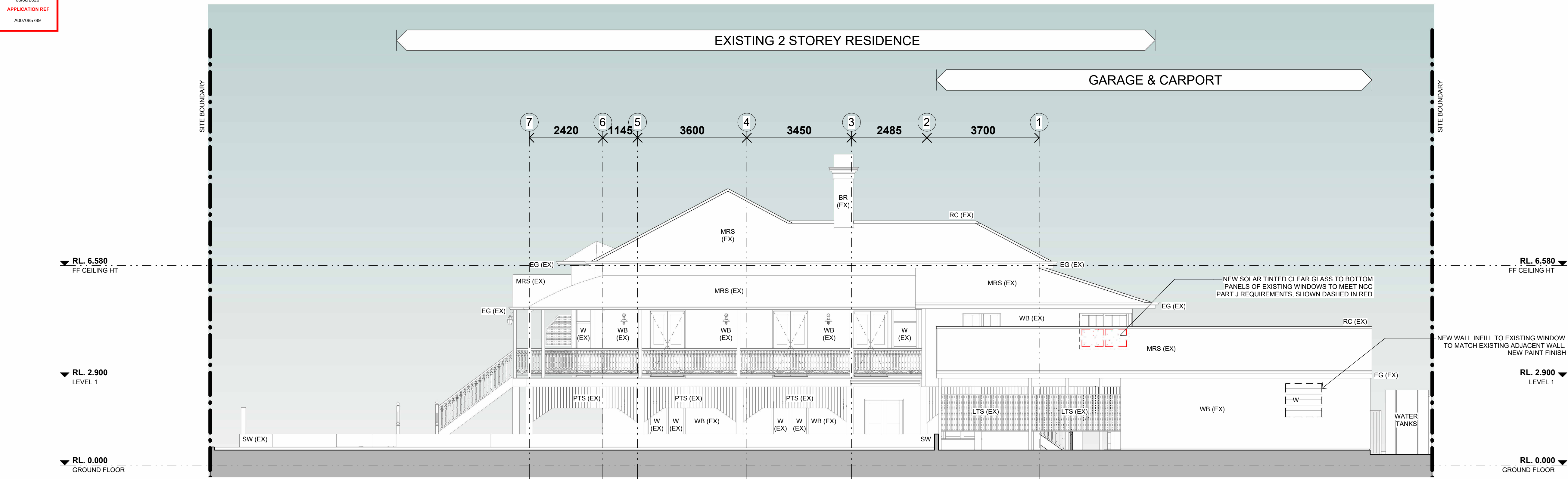
AP	ACCESS PANEL
BAL	PAINTED IRON BALUSTRADE
BF	SOLAR TINTED BI-FOLD GLASS DOORS
BR	BRICKWORK
CN	CORNICE
DP	DOWNPIPE
DR	DRAIN
EVJ	EASY VJ CEILING LINING
EG	EAVES GUTTER
FG	FIXED GLASS
FT1	FLOOR TILE - TYPE 1
HF	HIP FLASHING
HWU	HOT WATER UNIT
LM1	LAMINATE FINISH - TYPE 1
LM2	LAMINATE FINISH - TYPE 2
LM3	LAMINATE FINISH - TYPE 3
LT (EX)	EXISTING LIGHT FITTING
LTS	LATTICE TIMBER SCREEN
MRS	METAL ROOF SHEETING
PF	PAINT FINISH
PTS	PAINTED TIMBER SCREENS
RB	RENDERED BLOCKWORK
RC	RIDGE CAPPING
SC	STONE CLADDING
SW	STONE WALL
TF1	ENGINEERING TIMBER FLOORING
TLS	TIMBER LATTICE SCREENING
TR	TOWEL RAIL
VG	VALLEY GUTTER
VJ	TIMBER VJ CLADDING
W	WINDOW
WB	TIMBER WEATHERBOARDS
WB2	FC WEATHERBOARDS
WT1	WALL TILES - TYPE 1



1 SOUTH WEST ELEVATION - PROPOSED
1:75



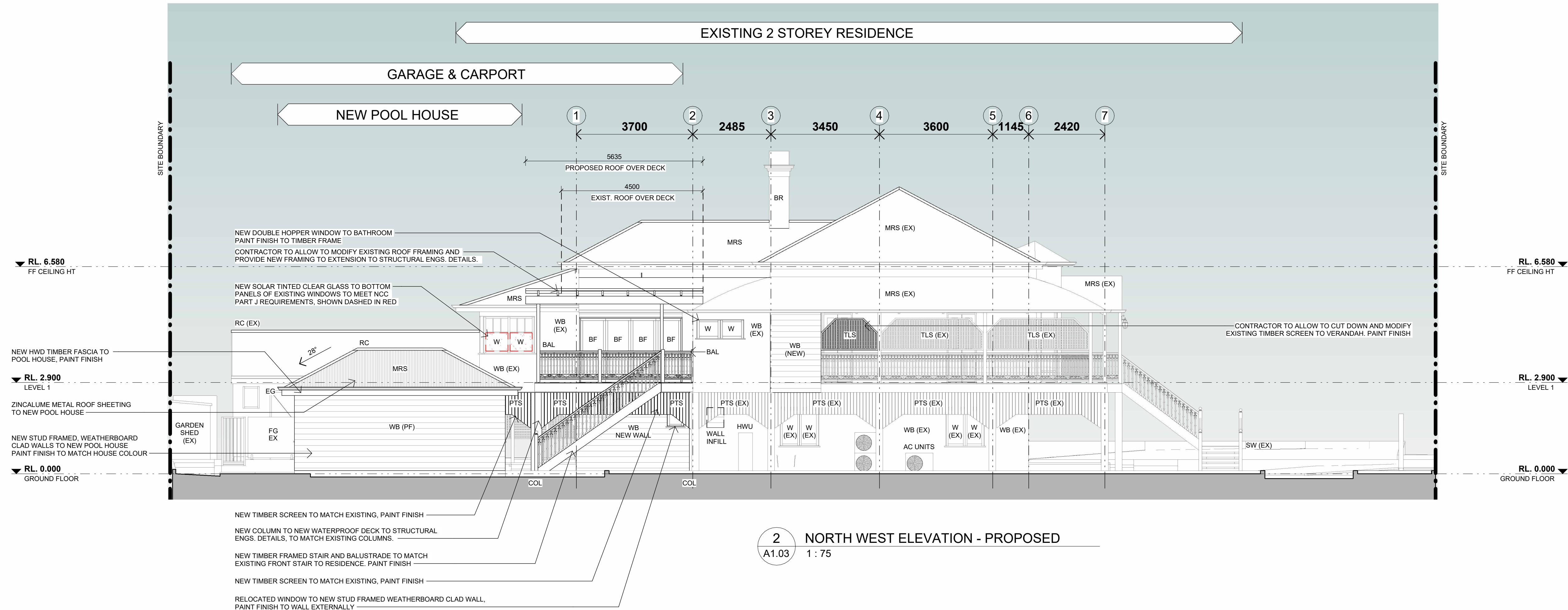
2	NORTH EAST ELEVATION - PROPOSED
A1.03	1 : 75



1 SOUTH EAST ELEVATION - PROPOSED
A1.03 1 : 75

LEGEND

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2 NORTH WEST ELEVATION - PROPOSED
A1.03 1 : 75



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Revisions		
TP1	TOWN PLANNING ISSUE 1	01.07.26
TP2	TOWN PLANNING ISSUE 2	13.07.26

Project
56 MOUNTJOY TERRACE
ALTERATIONS & ADDITIONS

For
ANNA DUNNE

Drawing
PROPOSED EXTERNAL ELEVATIONS
SHEET 2

PRELIMINARY ONLY

Drawn SGB
Scale As indicated at A1

Project No.	Drawing No.	Revision
20250045	A2.06	TP2