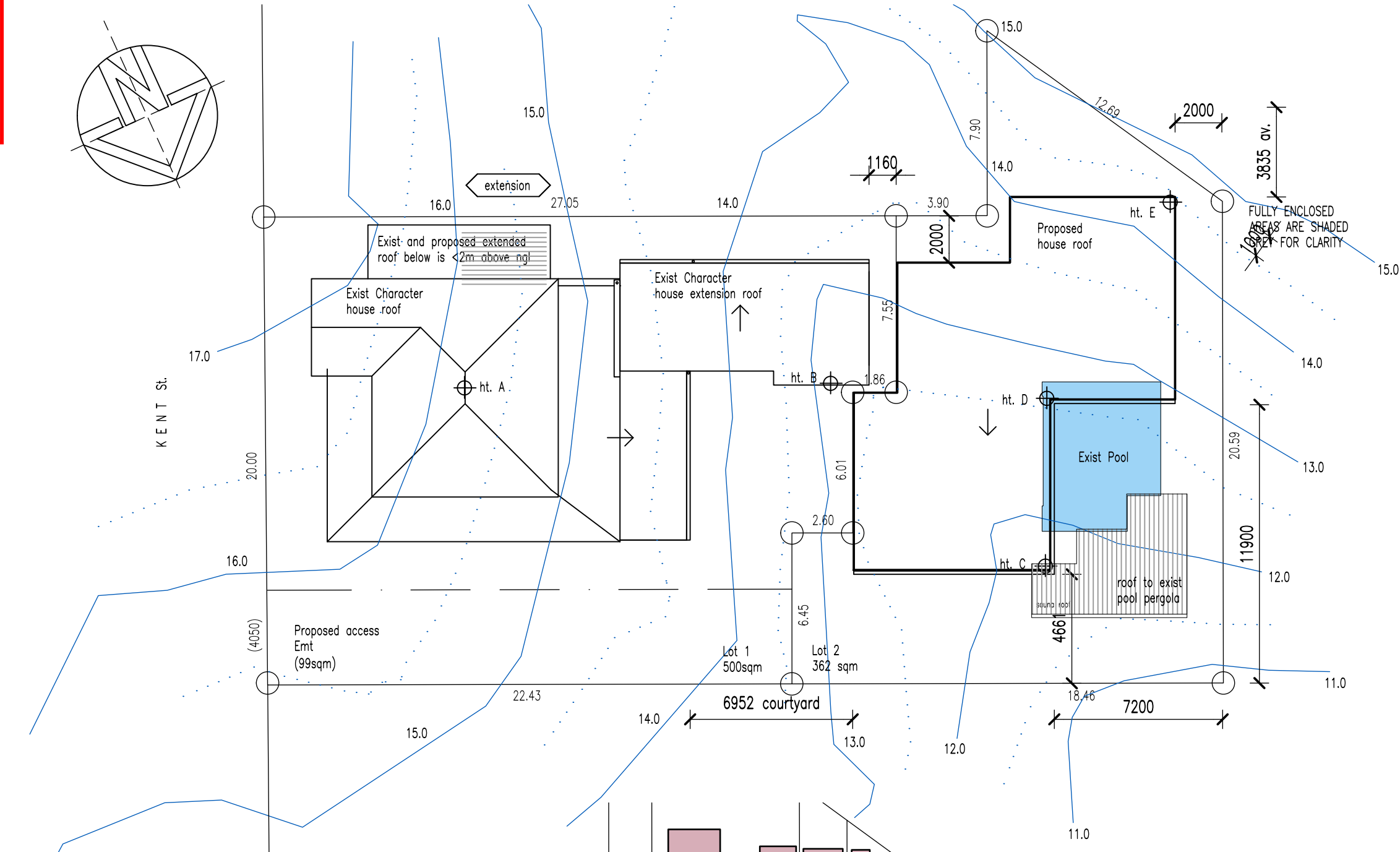




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Plan of Subdivision/Roof and contours

1:200 @ A3

1

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Locality Building Footprints

Diagram 1:1000 @ A3



NOTES

Contours are transposed from City plan

Proposed house floor levels have been established from survey (datum = existing pool coping)

SITE COVER:  
Existing house:  
Roof area: = 234 sqm  
Site cover when easment area is:  
-excluded = 58%  
-included = 47%

Proposed House  
Roof house area: = 151 sqm  
Roofed exist pool terrace area = 25sqm  
Site cover = 42% pool terrace excluded  
Site cover = 49% pool terrace included

Proposed Heights above BCC contour all are AHD and marked:  $\odot$

Existing house:  
ht. A = 23.28m/15.8 = 7.5m high  
ht. B = 20.56m/12.6 = 8.0m high  
Proposed house:  
ht. C = 18.60/11.7m = 6.9m high  
ht. D = 19.2/12.6m = 6.6m high  
ht. E = 20.0/14.4m = 5.6m high

| ISSUE | DATE | DETAILS |
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PriceMusgrave Architecture

47 Grove Cres

Toowong 4066

Brisbane Australia

ABN 65 750 711 433

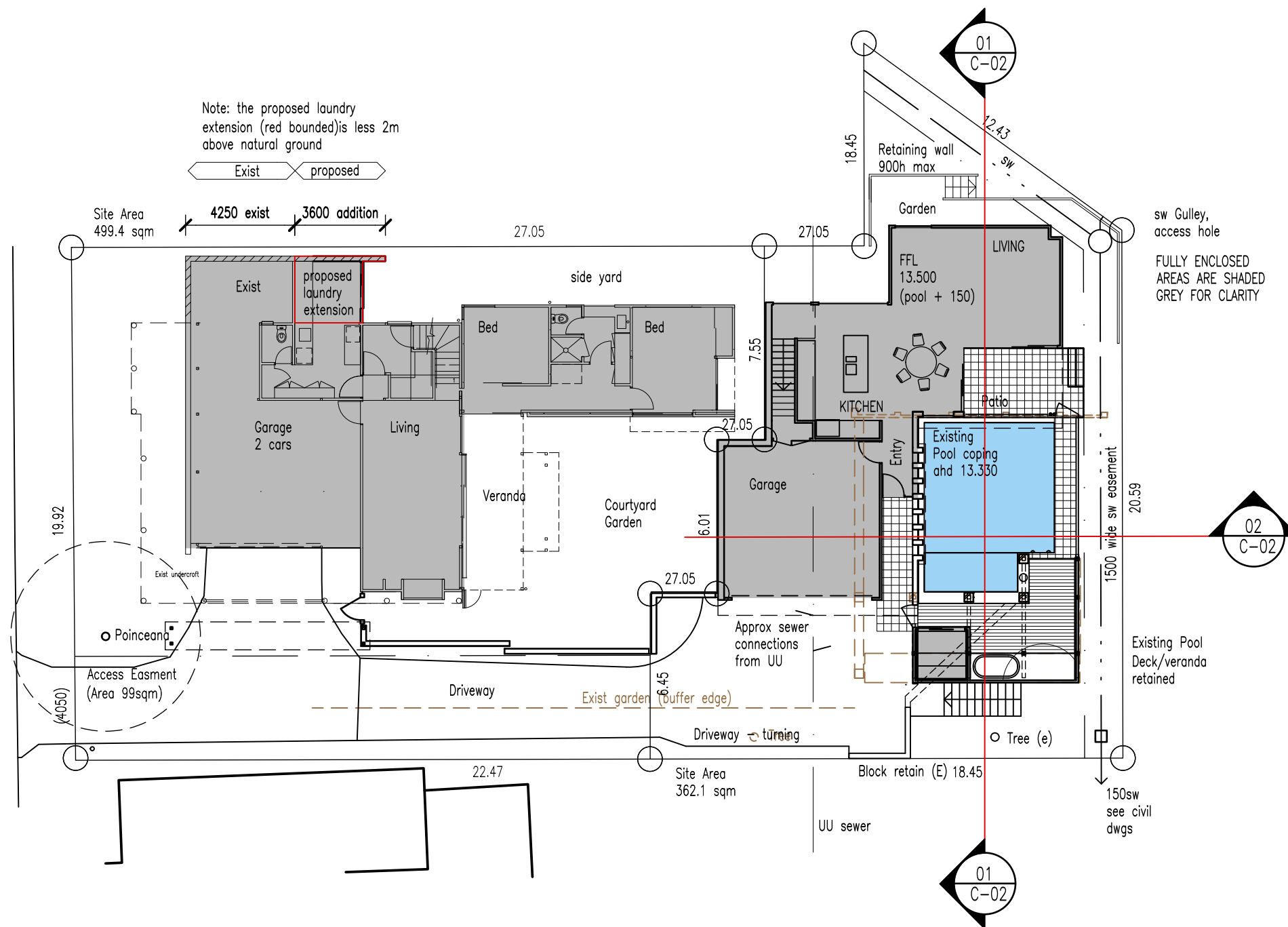
pricemusgrave@outlook.com

0409 387 028

(John Price)

|                              |                         |    |
|------------------------------|-------------------------|----|
| On Jugerra and Turbull lands |                         |    |
| PROPOSED:                    | Subdivision & New House |    |
| FOR:                         | R Deane & K Millyard    |    |
| AT:                          | 29 Kent St<br>Red Hill  |    |
| DATE:                        | sept 25                 | jp |
| SCALE:                       | As marked               |    |
| DRAWING TITLE:               |                         |    |
| DRAWING No:                  | 2025-171-WD-A01         |    |
| AMENDMENT:                   | A                       |    |

A007087207



1 Lower Floor Plans  
1 (Level 1) 1:200 @ A3

B-17-02-2026 1.5m SW Easement  
changes

| ISSUE                                                                                 | DATE | DETAILS |
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MEMBER

0409 387 028  
(John Price)

### *On Jugerra and Turbull lands*

PROPOSED: *Subdivisi*

**FOR:**

R Deane &amp; K Millyard

AT: 29 Kent St  
Red Hill

DATE: *sept 25* DRAWN: *jp* CHECKED:

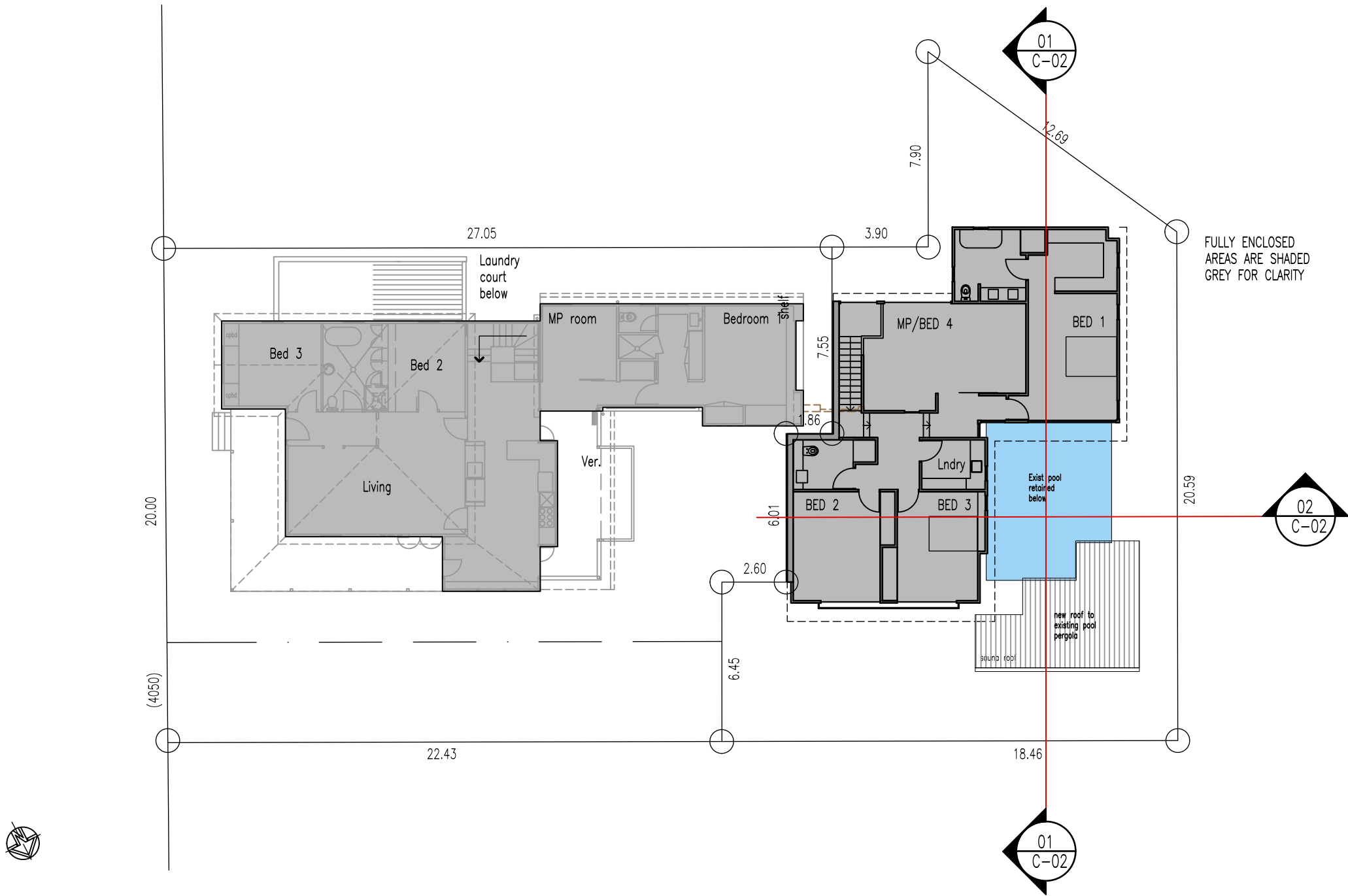
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**DRAWING TITLE:**

*DRAWING No:* 2025-171-WD-B01

AMENDMENT: B

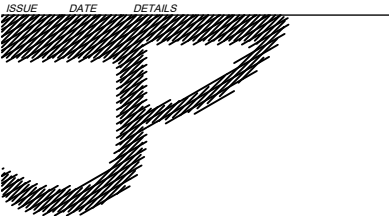
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LODGED  
11/08/2026  
APPLICATION REF  
A007087207



1 Upper Floor Plans  
1 (Level 2) 1:200 @ A3

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B-17-02-2026 1.5m SW Easement  
changes

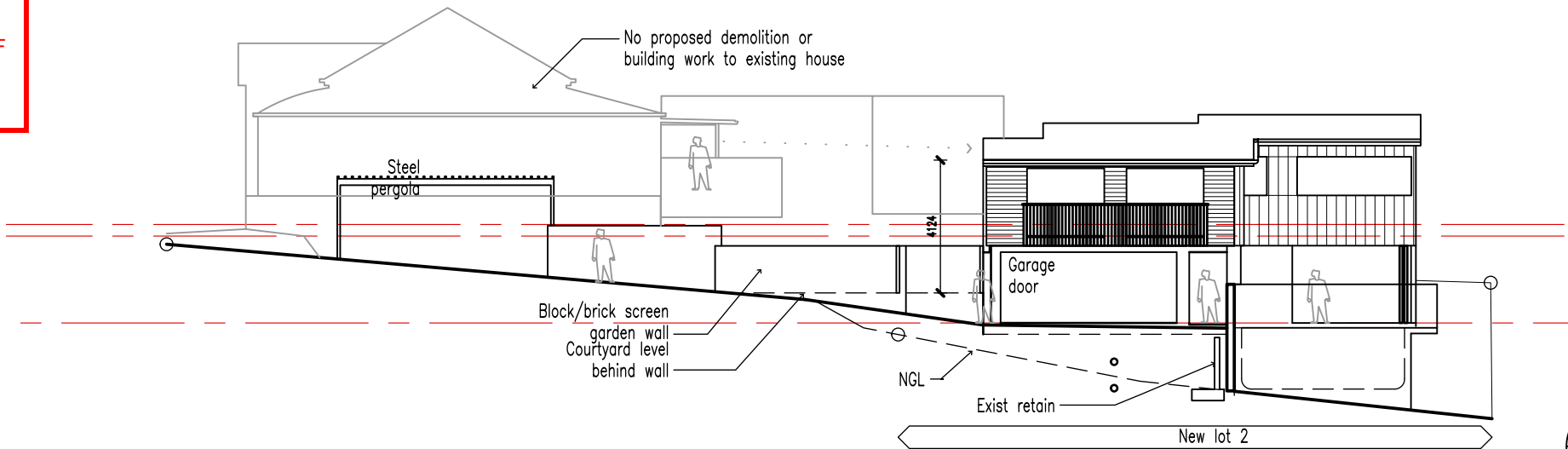


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pricemusgrave@outlook.com  
0409 387 028  
(John Price)

On Jugerra and Turbull lands  
PROPOSED: Subdivision &  
New House  
FOR: R Deane & K Millyard  
AT: 29 Kent St  
Red Hill  
DATE: sept 25  
DRAWN: jp  
CHECKED:  
SCALE: As marked  
DRAWING TITLE:

DRAWING No: 2025-171-WD-B02  
AMENDMENT: B

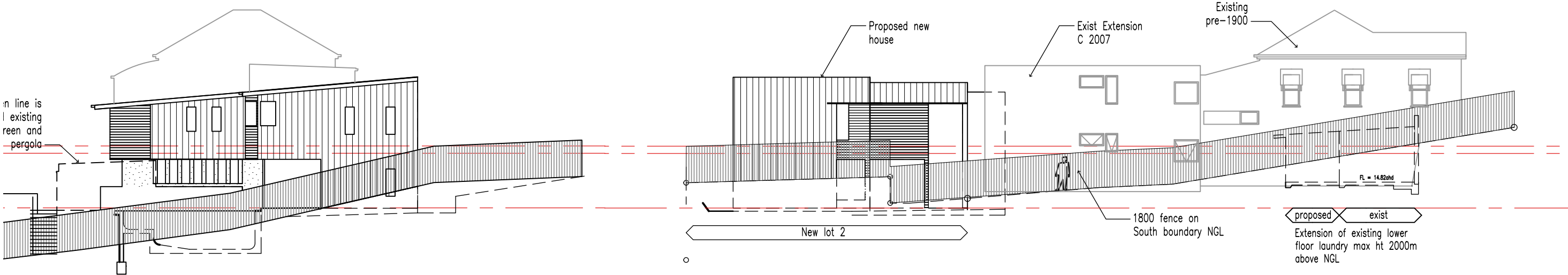
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11/08/2026  
APPLICATION REF  
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WALL MATERIALS LEGEND  
FOR PROPOSED HOUSE

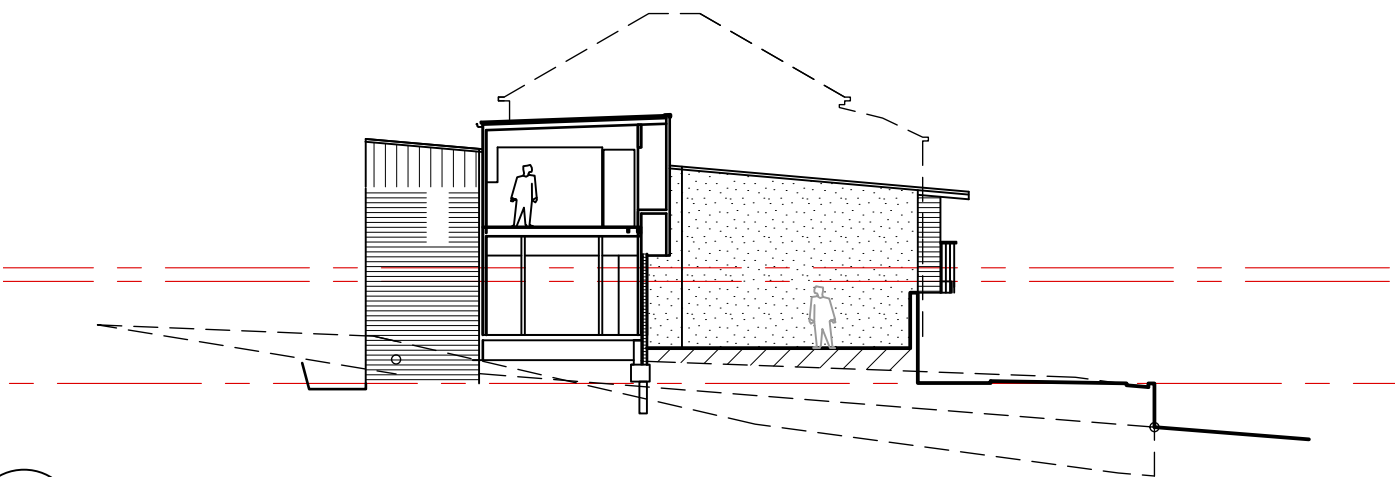
- Vertical Metal pan cladding or vertically battened fibre cement cladding
- Chamfer or weatherboard cladding
- Bagged painted or rendered masonry

1 North Elevation/Easmt section  
B1 Nominal Front of new house 1:200 @ A3



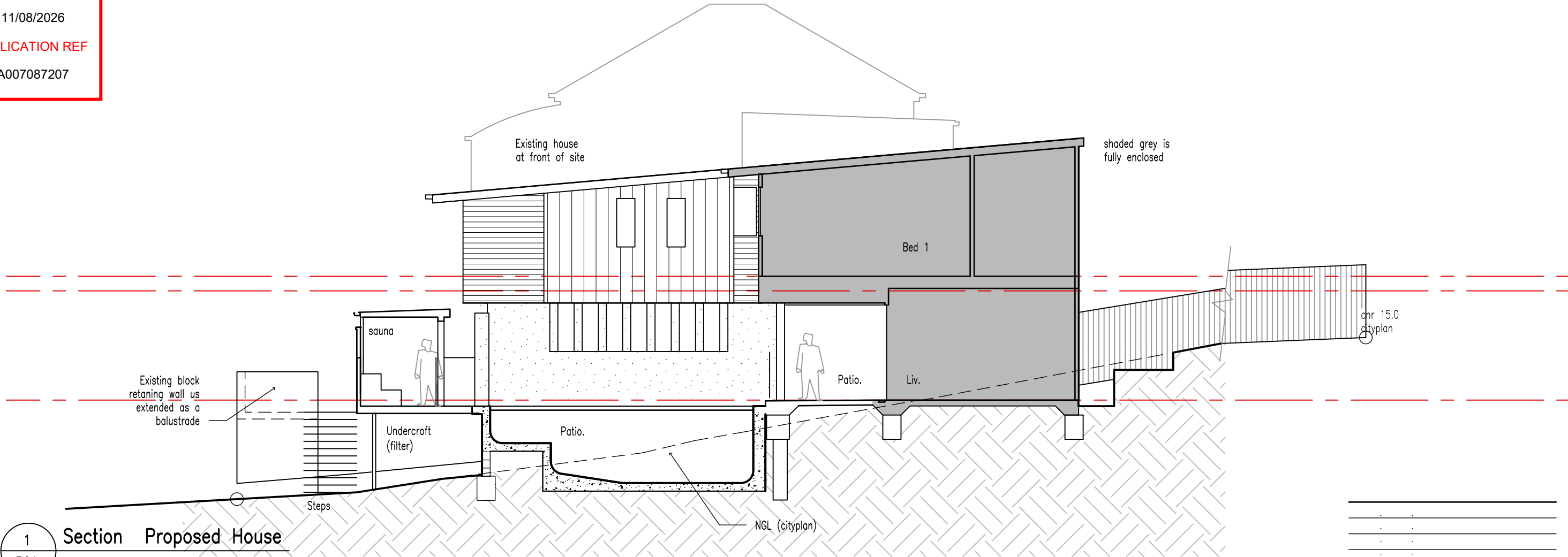
2 West Elevation  
- Nominal side of proposed house 1:200 @ A3

2 South Elevation  
- Nominal rear of proposed house 1:200 @ A3



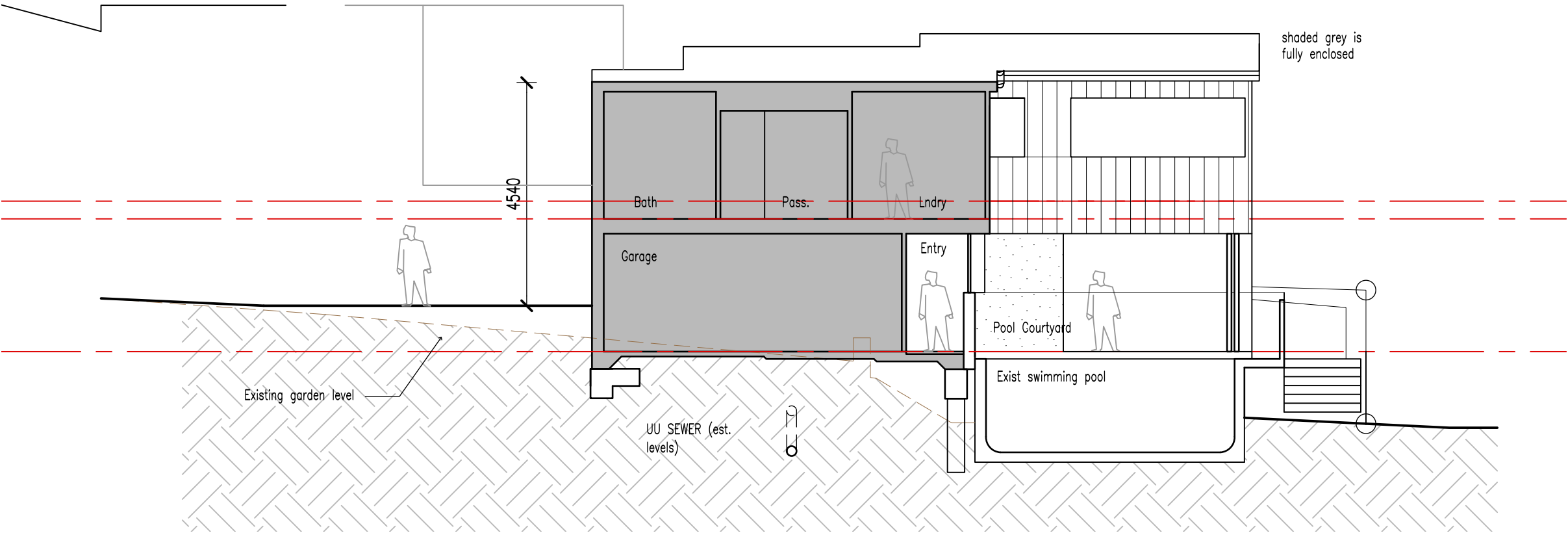
2 East Elevation  
- Nominal side of proposed house 2:100 @ A3

|                                       |  |                                               |  |                         |  |                 |  |
|---------------------------------------|--|-----------------------------------------------|--|-------------------------|--|-----------------|--|
| B-17-02-2026 1.5m SW Easement changes |  | 0409 387 028 (John Price)                     |  | Subdivision & New House |  | 2025-171-WD-C01 |  |
| On Jugerra and Turbull lands          |  | pricemusgrave@outlook.com                     |  | R Deane & K Millard     |  | AMENDMENT: B    |  |
| PriceMusgrave Architecture            |  | 47 Grove Cres Toowong 4066 Brisbane Australia |  | 29 Kent St Red Hill     |  |                 |  |
| ABN 65 750 711 433                    |  | DATE: sept 25                                 |  | DRAWN: jp               |  |                 |  |
|                                       |  | SCALE: As marked                              |  | CHECKED:                |  |                 |  |
|                                       |  | DRAWING TITLE:                                |  |                         |  |                 |  |



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B01

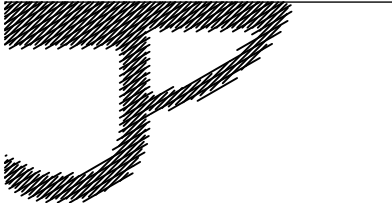
Section Proposed House  
Level 2 1:100 @ A3



1  
B01

Section Proposed House  
Level 2 1:100 @ A3

| ISSUE | DATE | DETAILS |
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PriceMusgrave Architecture

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0409 387 028  
(John Price)

On Jugerra and Turbull lands

PROPOSED: Subdivision & New House

FOR: R Deane & K Millyard

AT: 29 Kent St Red Hill

DATE: sept 25  
SCALE: As marked  
DRAWING TITLE:

DRAWN: jp  
CHECKED:

DRAWING No: 2025-171-WD-C02

AMENDMENT: A