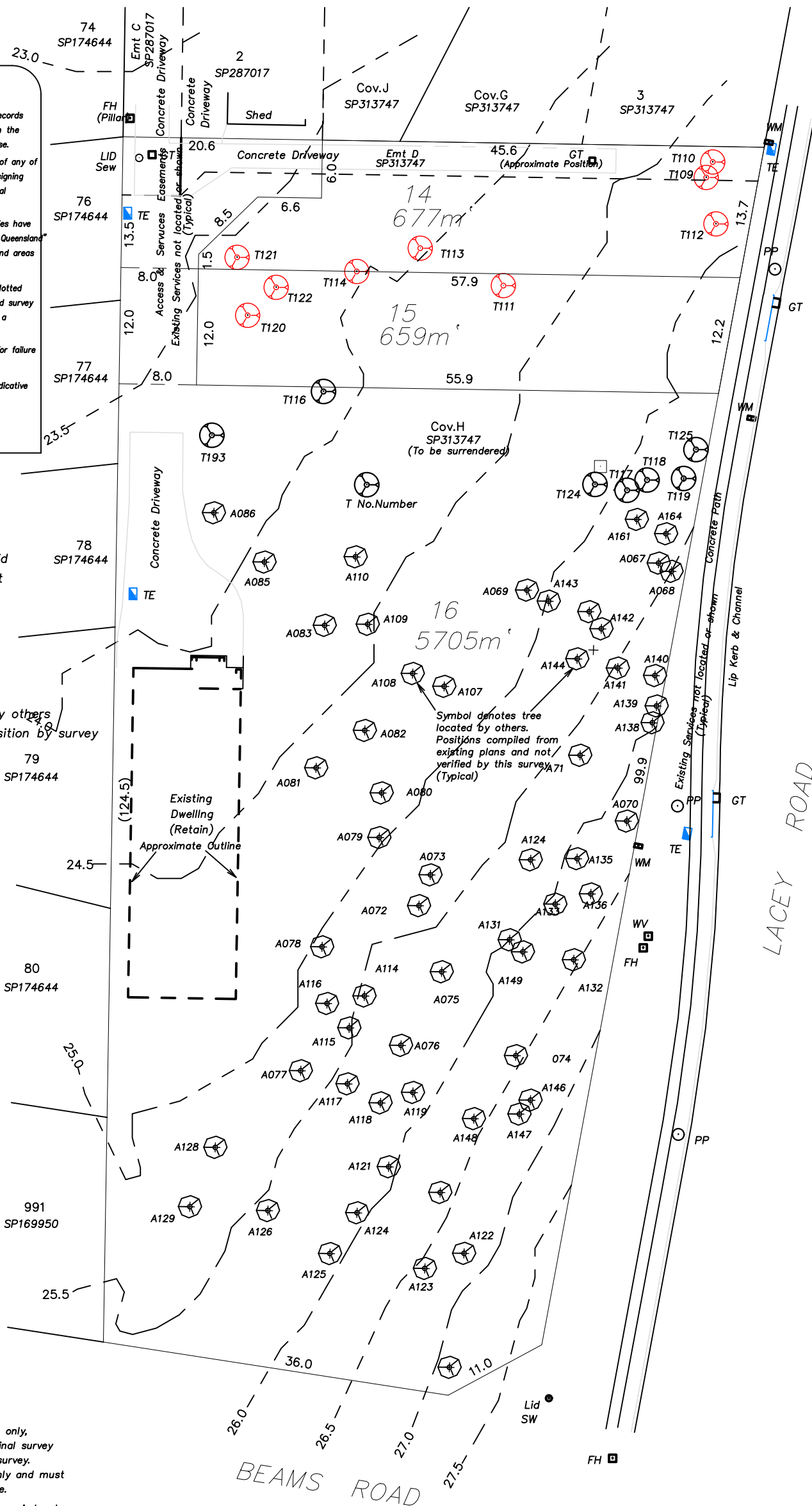


EXPLANATORY NOTE :-
This plan shows selected features and detail only, from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.
A site inspection shall be carried out by the user of any of the information contained on this plan prior to designing or commencing construction to locate any additional features or detail not shown hereon.
Boundary corners are not defined on site. Boundaries have been compiled from original information from "Titles Queensland" and limited field survey and therefore boundaries and areas shown are approximate only.
Where symbols are shown depicting features, the plotted position is accurate which has been located by field survey unless otherwise noted, however the symbol is not a scaled representation of the feature.
The author therefore can accept no responsibility for failure to use this plan within the limitations intended.
Shape, areas and dimensions shown for lots are indicative only and subject, to positioning by field survey.
Dimensions shown have been rounded.
This note is an integral part of this plan.

- Symbol Legend**
- LID SW Stormwater Manhole Lid
 - GT Gully Trap / Field Inlet
 - LID Sew Sewer Manhole Lid
 - PP Power Pole
 - TE Communications Pit
 - FH Hydrant
 - WV Water Valve
 - WM Water Meter
 - A083 Tree No. & Position by others
 - T193 Tree + Tag No. & Position by survey
 - Tree to be removed



Boundaries shown are approximate only, position shown compiled from original survey information and not by this field survey.
Boundaries shown are indicative only and must not be relied upon for any purpose.
An Identification Survey should be carried out should the boundary position be required.
(Typical)

This plan is prepared from a combination of field survey and existing records for the purposes of designing new constructions on the land and should not be used for any other purpose. Possible services have not been shown. Driveways and services where shown have been located by approx. field survey.
Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.
This note is an integral part of this plan.

All dimensions and areas are approximate only, and are subject to survey and Council approval.
Level Datum AHD (2025 Council Online search contour theme)
Contours Interval 0.5m. Contours shown have been compiled (by others).
This plans shows specific proposal details. In the event of any conflict between this plan with City Plan or other requirements or documents, at the Applicants discretion, this plan shall prevail.

Plan Prepared JOHN GOCKEL & ASSOCIATES
PO Box 2059 Keperra Qld 4054
Compiled 2026 from information supplied by others.
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PROPOSAL DETAILS

Number of existing Lots : 1
Number of Proposed Lots : 3
Area of New Road & Park: Nil
New Easements : As Shown

SITE DETAILS

Description Lot 4 ON SP313747
Locality: CARSELDINE
Local Authority: BRISBANE CITY
Benefit Easements : Emts B & C on SP287017
Burdening Easements : Emt D on SP313747

Rev A. - Original Issue

Survey Completed 15/5/2026

Cad File 824-Bse1
Cad File DWG824S1

Reconfiguration Plan

PLAN SHOWING PROPOSED LOTS 14-16
CANCELLING LOT 4 ON SP313747
16 MACARANGA CRES., CARSELDINE

Contour Interval: 0.5m. (Unless otherwise noted)

Rev A. Drawn 20/5/2026

Plan Ref 26-824-T-1A