

# PROPOSED ROOMING ACCOMODATION FOR HIWA ZANDI FROM ZANDI GROUP PTY LTD as trustee

40 OXFORD STREET,  
HAMILTON QLD 4007

BCC DS  
RECEIVED  
25/06/2026  
APPLICATION REF  
A007057381



1 3D PERSPECTIVE 1  
SCALE @ A3



2 3D PERSPECTIVE 2  
SCALE @ A3

**REAL PROPERTY DESCRIPTION**

LOT 2, R.P. 73307  
LOCAL AUTHORITY: B.C.C.  
AREA : 400m<sup>2</sup>

No	DRAWING NAME	ISSUE
A000	TITLE SHEET	i
A101	SURVEY - BY OTHERS	A
A102	SITE PLANS - EXISTING	A
A103	SITE PLANS - PROPOSED	H
A111	BUILDING AREA - FLOOR PLANS	-
A201	GROUND FLOOR PLAN - EXISTING / DEMOLITION	E
A301	ELEVATIONS - EXISTING / DEMOLITION	B
A302	ELEVATIONS - EXISTING / DEMOLITION	B
A401	GROUND FLOOR PLAN - PROPOSED	i
A402	LEVEL 1 FLOOR PLAN - PROPOSED	H
A403	LEVEL 2 FLOOR PLAN - PROPOSED	H
A404	ROOF PLAN - PROPOSED	G
A411	WALL DETAILS 1 - "LIVABLE HOUSING DESIGN" REQUIREMENTS	-
A412	WALL DETAILS 2 - "LIVABLE HOUSING DESIGN" REQUIREMENTS	-
A501	ELEVATIONS - PROPOSED	i
A502	ELEVATIONS - PROPOSED	i
A503	ELEVATIONS - PROPOSED	i
A601	SECTIONS - PROPOSED	-
A701	DOOR & WINDOW SCHEDULE	-
A702	WINDOW SILL IN BATHROOM - DETAIL	-
A801	3D PERSPECTIVES	i
A802	3D - GROUND FLOOR PLAN	i
A803	3D - LEVEL 1 FLOOR PLAN	i
A804	3D - LEVEL 2 FLOOR PLAN	i

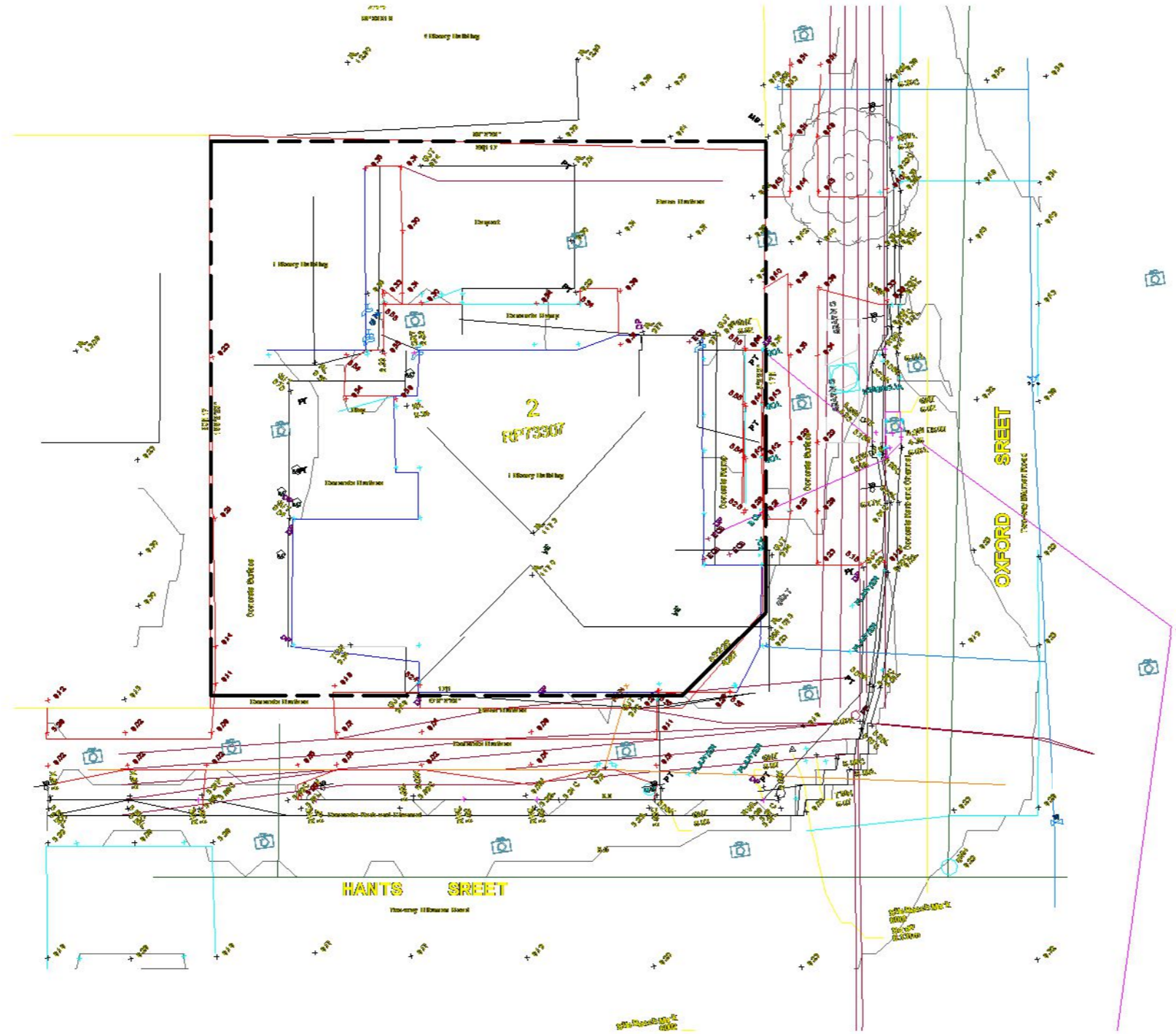
**PRELIMINARY ISSUE**

<p>www.empiredesigns.com.au</p> <p>A : 297 RIDING ROAD, BALMORAL QLD 4171 P : 3899 1856 MB : 0414 277 560 E : mail@empiredesigns.com.au QBCC : 1312117 VBA : DP-AD 46238</p>	<p>ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.</p>	Amendment		PROJECT: PROPOSED ROOMING ACCOMODATION 40 OXFORD STREET, HAMILTON QLD 4007	DRAWING TITLE: TITLE SHEET			
		DESIGNED BY: DP	DRAWN BY: DP	DATE: JUNE 2026	PROJECT No. 260307	DRAWING SCALE: 1 : 200 @ A3	DRAWING NUMBER: <b>A000</b>	ISSUE: <b>i</b>

**REAL PROPERTY DESCRIPTION**


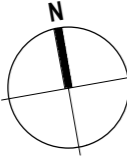
LOT 2, R.P. 73307  
 LOCAL AUTHORITY: B.C.C.  
 AREA : 400m<sup>2</sup>

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1 SURVEY - BY OTHERS  
 SCALE 1: 200 @ A3

**PRELIMINARY ISSUE**

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		DESIGNED BY: DP		DRAWN BY: DP		DRAWING SCALE: 1: 200 @ A3		DRAWING NUMBER: <b>A101</b>		ISSUE: <b>A</b>
		DATE: JUNE 2026		PROJECT No. 260307						

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**DESIGNED IN ACCORDANCE WITH NCC 2022 AND AUSTRALIAN STANDARDS**

- |                               |   |
|-------------------------------|---|
| H1P2 BUILDINGS IN FLOOD AREAS | H3D6 SMOKE ALARMS AND EVACUATION LIGHTING |
| H1D4 FOOTINGS AND SLABS       | H4F1 WET AREAS                            |
| H1D5 MASONRY                  | H4D2 WET AREAS                            |
| H1D6 FRAMING                  | H5V1 WIRE BARRIERS                        |
| H1D7 ROOF AND WALL CLADDING   | H5D3 BARRIERS AND HANDRAILS               |
| H1D8 GLAZING                  | H7F1 SWIMMING POOL ACCESS                 |
| H2P2 WEATHERPROOFING          | H7F4 BUSHFIRE AREAS                       |
| H2D2 DRAINAGE                 | H7P5 BUILDINGS IN BUSHFIRE PRONE AREAS    |
| H2D3 FOOTINGS AND SLABS       | H7D2 SWIMMING POOLS                       |
| H2D4 MASONRY                  | AS 3660.1 TERMITE MANAGEMENT              |
| H2D5 SUBFLOOR VENTILATION     |   |
| H2D7 GLAZING                  |   |

**LIVABLE HOUSING DESIGN**

PROPOSED DESIGN TO COMPLY WITH ABCB, **LIVABLE HOUSING DESIGN STANDARD:**  
 PART 1: DWELLING ACCESS:  
 PART 2: DWELLING ENTRANCE  
 PART 3: INTERNAL DOOR AND CORRIDORS  
 PART 4: SANITARY COMPARTMENT  
 PART 5: SHOWER:  
 PART 6: REINFORCEMENTS OF BATHROOM AND SANITARY COMPARTMENTS WALLS:

**GENERAL NOTES**

- ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF FABRICATION
- BUILDER TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES.
- REFER STRUCTURAL ENGINEER'S DRAWINGS FOR DETAILS OF ALL REINFORCED CONC. SLABS, FOOTINGS, RETAINING WALLS, TIMBER FRAMING, TIE-DOWN & BRACING.
- DOWNPIPES TO CONNECT TO EXISTING STORMWATER LINE OR RAINWATER TANKS
- ALL WORK TO MATCH EXISTING
- ALL EXTERNAL STEEL WORK INCLUDING FIXINGS TO BE HOT DIPPED GALVANISED
- ANY DAMAGE CAUSED BY DEMOLITION TO BE MADE GOOD
- OWNERS TO SELECT FINISHES, FIXTURES & LIGHTING
- WHILE GREAT CARE HAS BEEN TAKEN TO BE AS ACCURATE AS POSSIBLE, BUILDER IS TO CONFIRM DIMENSIONS ON SITE BEFORE CONSTRUCTION
- BUILDER TO CONFIRM SIZES ON SITE BEFORE ORDERING DOORS & WINDOWS
- ALL TIMBER USED IS TO BE FSC APPROVED

**LEGEND - EXISTING SERVICES**

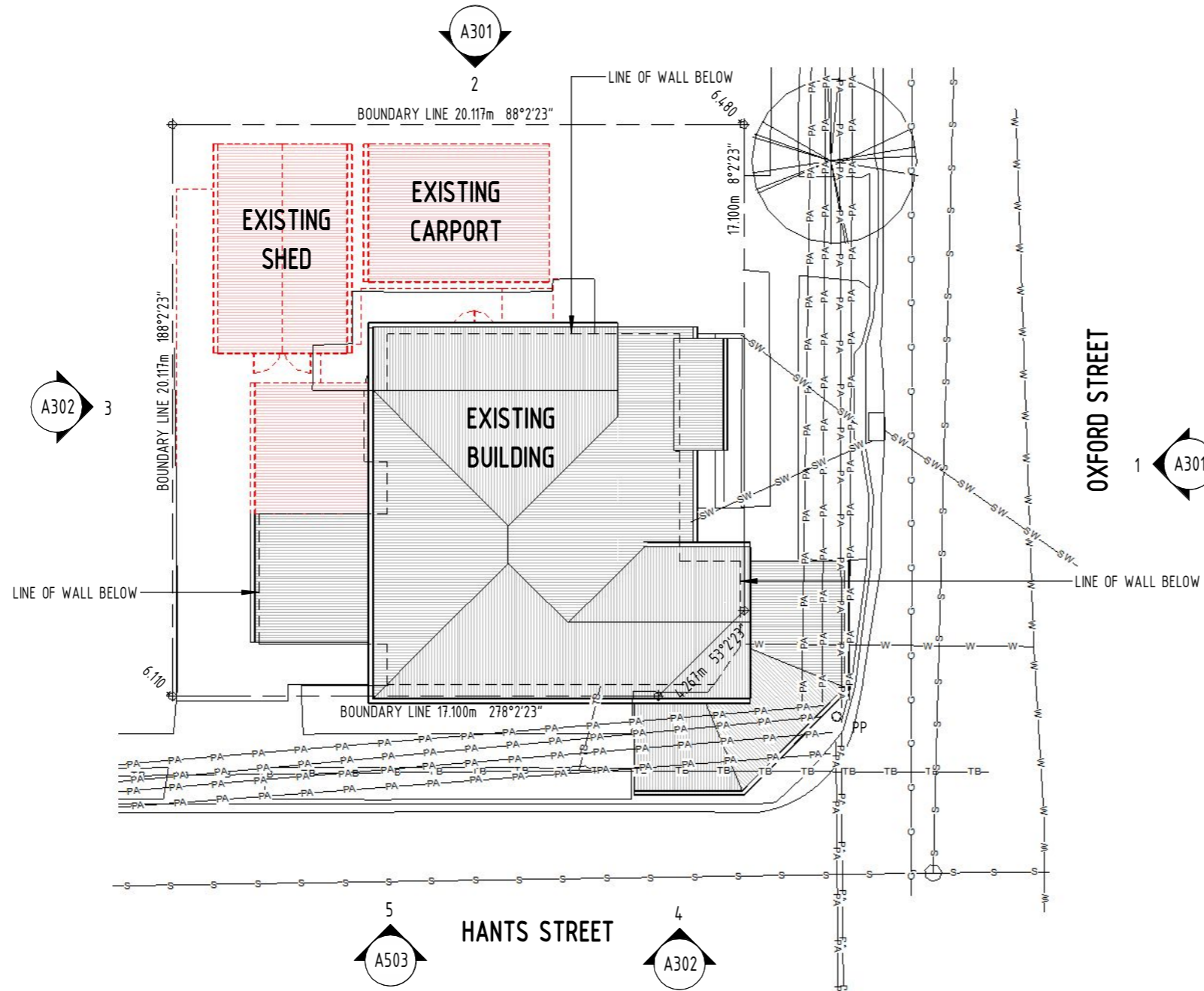
- G—G—G— GAS
- PA—PA—PA— POWER (ABOVE GROUND)
- PB—PB—PB— POWER (BELOW GROUND)
- S—S—S— SEWER
- SW—SW—SW— STORMWATER
- TA—TA—TA— TELEPHONE (ABOVE GROUND)
- TB—TB—TB— TELEPHONE (BELOW GROUND)
- W—W—W— WATER

**LEGEND - SETBACKS**

- SB.A** SETBACK TO ALFRESCO
- SB.B** SETBACK TO BALCONY
- SB.D** SETBACK TO DECK
- SB.F** SETBACK TO FIRST FLOOR WALL
- SB.G** SETBACK TO GROUND FLOOR WALL
- SB.O** SETBACK TO OUT MOST PROJECTION
- SB.P** SETBACK TO PORCH
- SB.W** SETBACK TO WALL

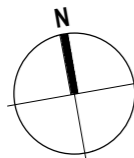
NOTE: ALL SERVICES SHOWN ARE FROM INFORMATION SUPPLIED BY DIAL BEFORE YOU DIG AND SURVEY. BUILDER TO CONFIRM LOCATIONS PRIOR TO CONSTRUCTION

MH. MAN HOLE **PRELIMINARY ISSUE**



**1 SITE PLAN - EXISTING**  
 SCALE 1: 200 @ A3

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Amendment	

PROJECT: PROPOSED ROOMING ACCOMODATION 40 OXFORD STREET, HAMILTON QLD 4007	
DESIGNED BY: DP	DRAWN BY: DP
DATE: JUNE 2026	PROJECT No. 260307

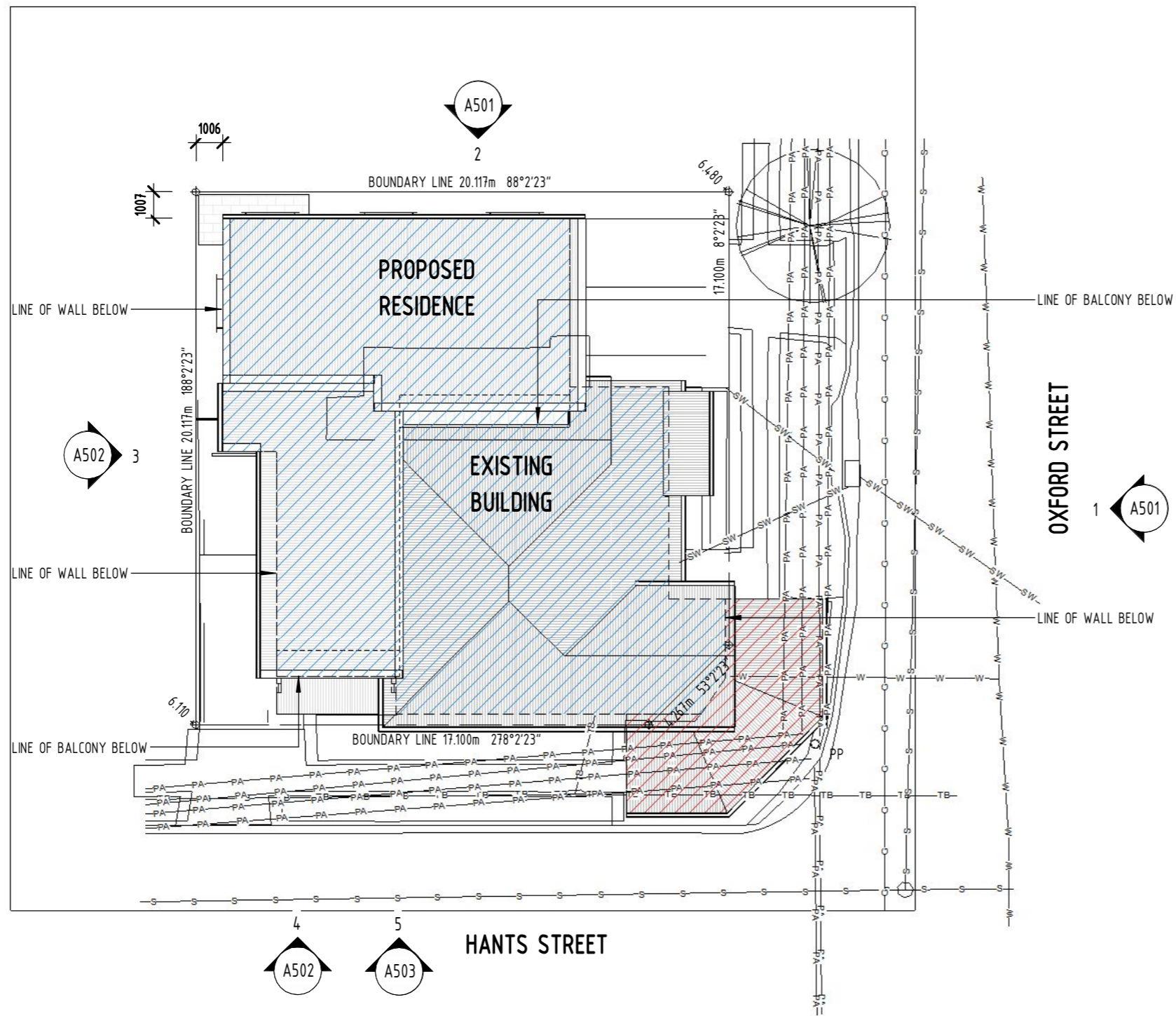
DRAWING TITLE: SITE PLANS - EXISTING		
DRAWING SCALE: 1 : 200 @ A3	DRAWING NUMBER: <b>A102</b>	ISSUE: <b>A</b>

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**LEGEND - EXISTING SERVICES**

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**PRELIMINARY ISSUE**

**SITE COVERAGE** 273.3m<sup>2</sup> = 68.3% 37.5m<sup>2</sup> (OUTSIDE SITE)

**SITE COVER**, OF DEVELOPMENT, MEANS THE PORTION OF THE SITE, EXPRESSED AS A PERCENTAGE, THAT WILL BE COVERED BY A BUILDING OR STRUCTURE, MEASURED TO ITS OUTERMOST PROJECTION, AFTER THE DEVELOPMENT IS CARRIED OUT, OTHER THAN A BUILDING OR STRUCTURE, OR PART OF A BUILDING OR STRUCTURE, THAT IS—

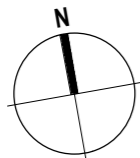
- IN A LANDSCAPED OR OPEN SPACE AREA, INCLUDING, FOR EXAMPLE, A GAZEBO OR SHADE STRUCTURE; OR
- A BASEMENT THAT IS COMPLETELY BELOW GROUND LEVEL AND USED FOR CAR PARKING; OR
- THE EAVES OF A BUILDING; OR
- A SUN SHADE.

**LEGEND - SETBACKS**

- SB.A** SETBACK TO ALFRESCO
- SB.B** SETBACK TO BALCONY
- SB.D** SETBACK TO DECK
- SB.F** SETBACK TO FIRST FLOOR WALL
- SB.G** SETBACK TO GROUND FLOOR WALL
- SB.O** SETBACK TO OUT MOST PROJECTION
- SB.P** SETBACK TO PORCH
- SB.W** SETBACK TO WALL

**2 SITE PLAN - PROPOSED**  
 SCALE 1: 200 @ A3

**EMPIRE DESIGN & DRAFTING**  
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 QBCC : 1312117 VBA : DP-AD 46238



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Amendment		PROJECT. PROPOSED ROOMING ACCOMODATION 40 OXFORD STREET, HAMILTON QLD 4007	DRAWING TITLE. SITE PLANS - PROPOSED		
DESIGNED BY.	DP	DRAWN BY.	DP	DRAWING SCALE.	DRAWING NUMBER.
DATE.	JUNE 2026	PROJECT No.	260307	1 : 200 @ A3	<b>A103</b>
				ISSUE.	<b>H</b>

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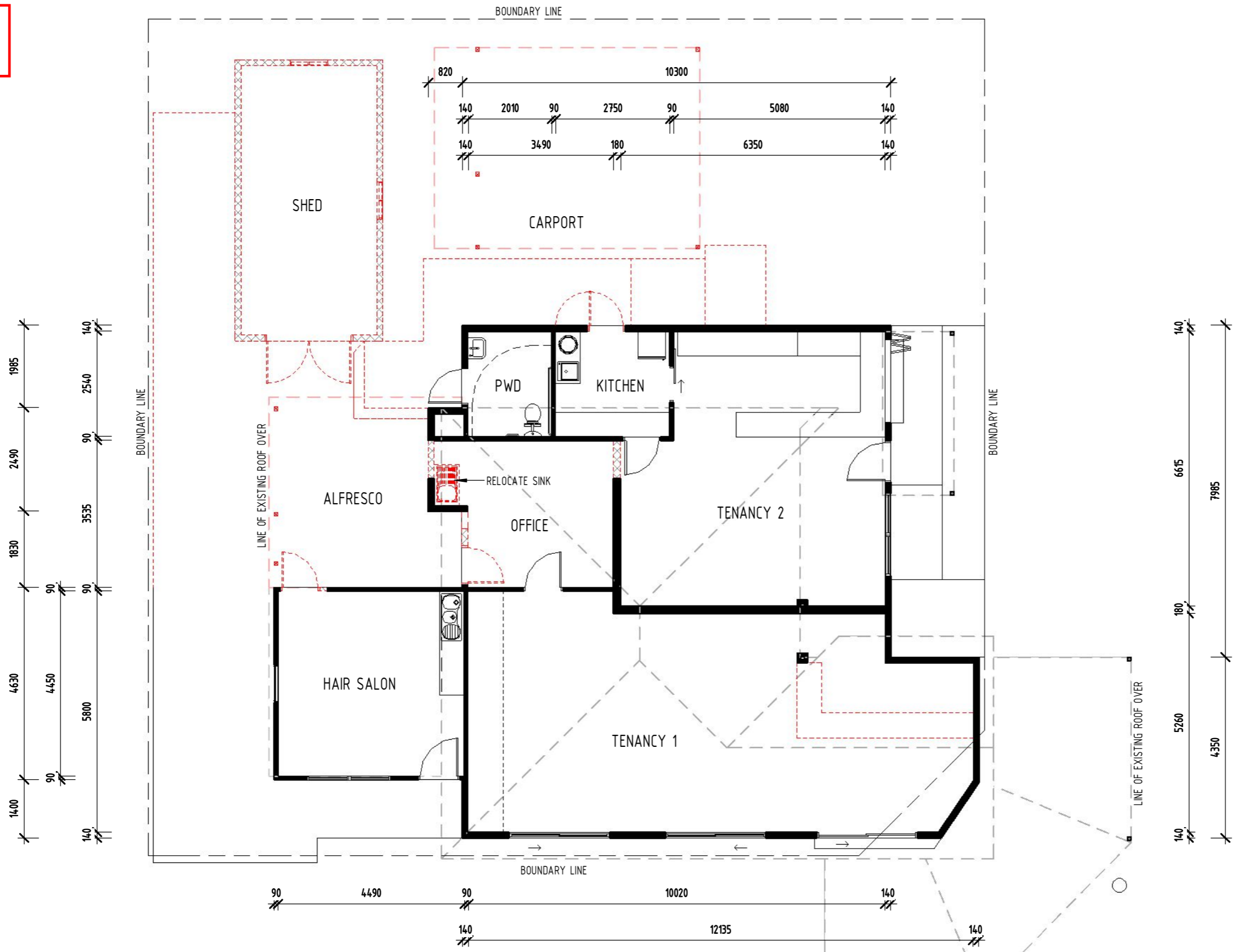
**DEMOLITION LEGEND**

- TO BE DEMOLISHED
- TIMBER STUD WALL TO BE RETAINED
- TIMBER STUD WALL TO BE DEMOLISHED
- DOOR TO REMAIN
- DOOR TO BE DEMOLISHED
- WINDOW TO REMAIN
- WINDOW TO BE DEMOLISHED

BUILDER TO MAINTAIN  
STRUCTURAL INTEGRITY AT  
ALL TIMES.

ANY DAMAGE CAUSED BY  
DEMOLITION TO BE MADE GOOD

ASBESTOS REMOVAL TO  
COMPLY WITH NATIONAL  
OCCUPATIONAL HEALTH &  
SAFETY COMMISSION (NOHSC  
2002)



**1** GROUND FLOOR PLAN - EXISTING / DEMOLITION  
SCALE 1 : 100 @ A3

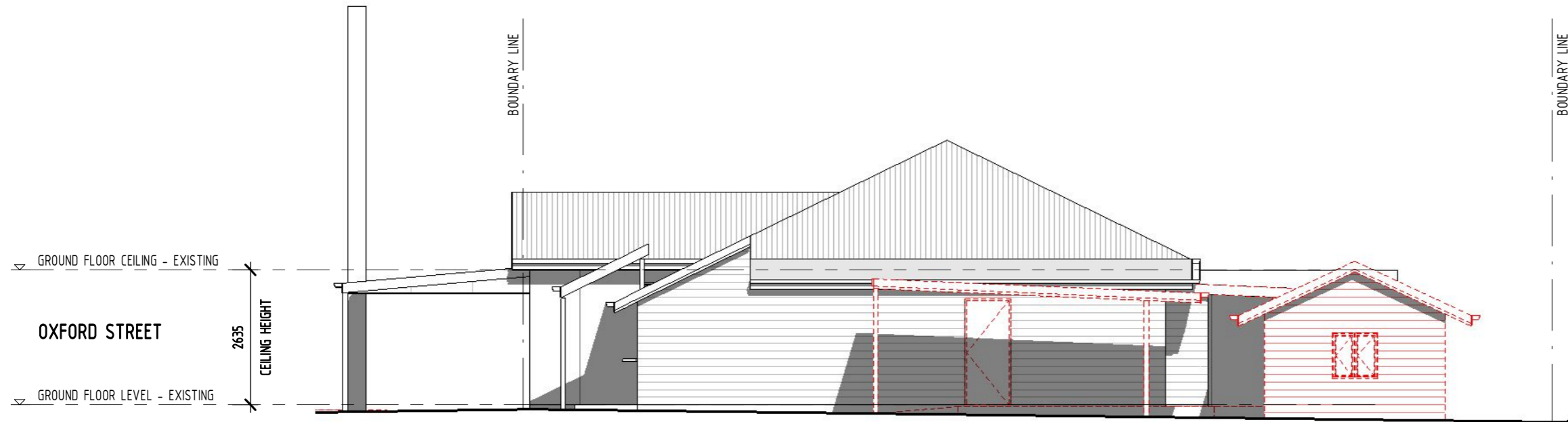
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			DATE: JUNE 2026	DESIGNED BY: DP DRAWN BY: DP PROJECT No. 260307	DRAWING SCALE: 1 : 100 @ A3	DRAWING NUMBER: <b>A201</b>

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1 FRONT ELEVATION - EXISTING / DEMOLITION  
SCALE 1 : 100 @ A3



2 SIDE ELEVATION 1 - EXISTING / DEMOLITION  
SCALE 1 : 100 @ A3

**DEMOLITION LEGEND**

- - - - - TO BE DEMOLISHED
- TIMBER STUD WALL TO BE RETAINED
- TIMBER STUD WALL TO BE DEMOLISHED
- DOOR TO REMAIN
- DOOR TO BE DEMOLISHED
- WINDOW TO REMAIN
- WINDOW TO BE DEMOLISHED

BUILDER TO MAINTAIN  
STRUCTURAL INTEGRITY AT  
ALL TIMES.

ANY DAMAGE CAUSED BY  
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ASBESTOS REMOVAL TO  
COMPLY WITH NATIONAL  
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2002)

**PRELIMINARY ISSUE**

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<p>DESIGNED BY. DP      DRAWN BY. DP</p>		<p>DRAWING SCALE. 1 : 100 @ A3</p>	<p>DRAWING NUMBER. <b>A301</b></p>	<p>ISSUE. <b>B</b></p>												
<p>DATE. JUNE 2026      PROJECT No. 260307</p>																

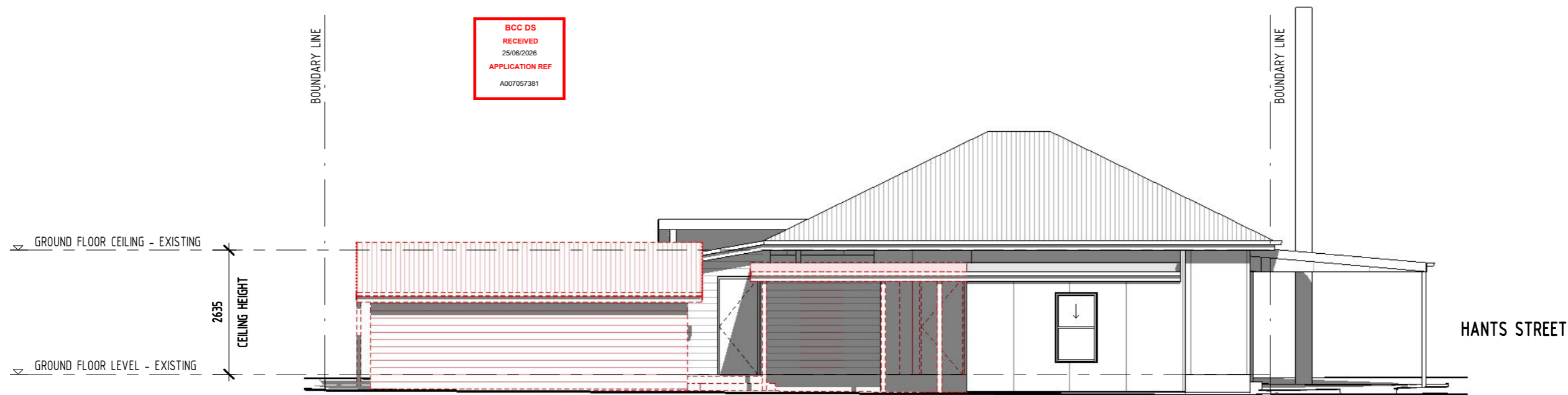
**DEMOLITION LEGEND**

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BUILDER TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES.

ANY DAMAGE CAUSED BY DEMOLITION TO BE MADE GOOD

ASBESTOS REMOVAL TO COMPLY WITH NATIONAL OCCUPATIONAL HEALTH & SAFETY COMMISSION (NOHSC 2002)



**3** REAR ELEVATION - EXISTING / DEMOLITION  
SCALE 1 : 100 @ A3

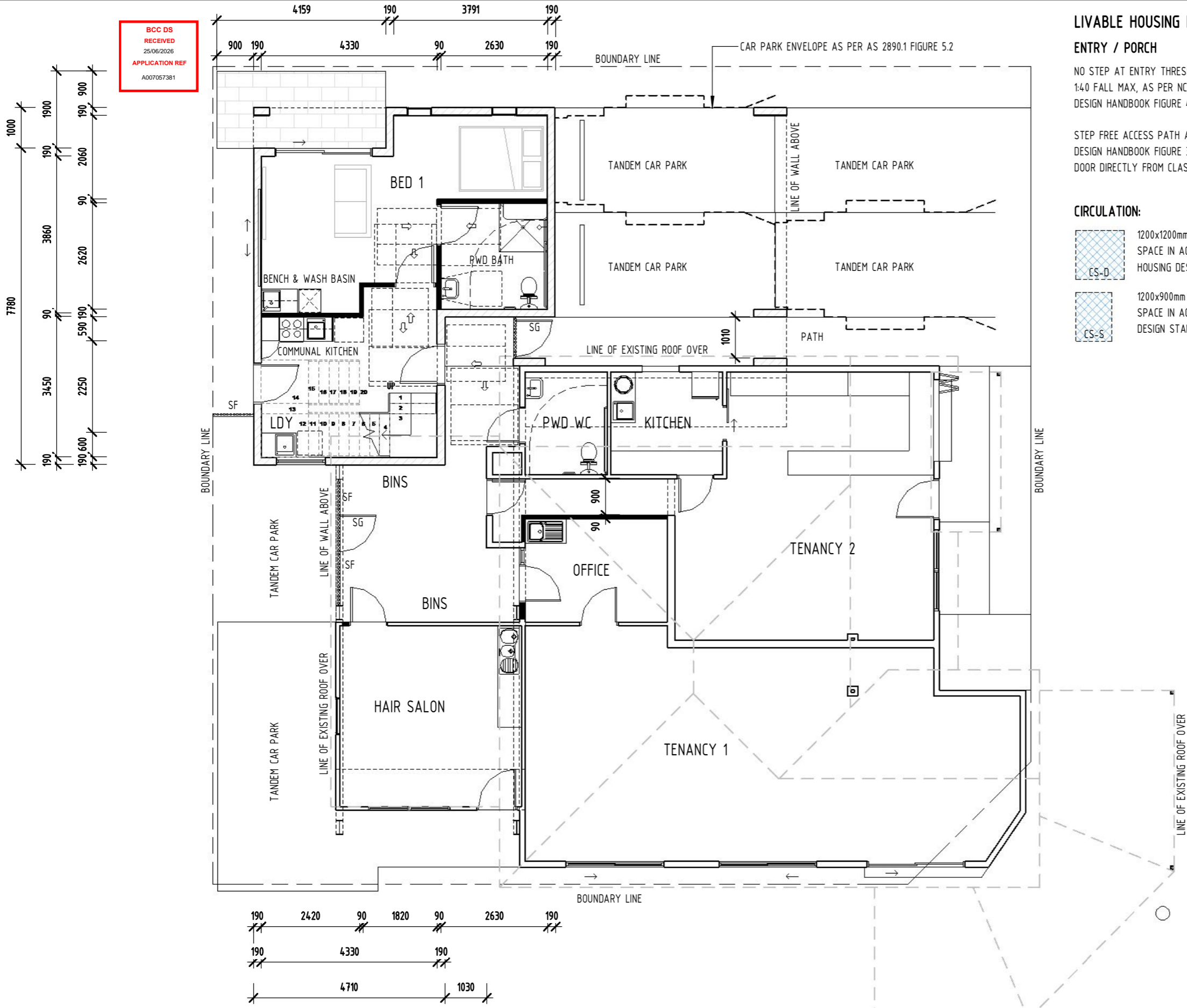


**4** SIDE ELEVATION 2 - EXISTING / DEMOLITION  
SCALE 1 : 100 @ A3

**PRELIMINARY ISSUE**

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				<p>DESIGNED BY. DP</p>	<p>DRAWN BY. DP</p>	<p>DRAWING SCALE. 1 : 100 @ A3</p>	<p>DRAWING NUMBER. <b>A302</b></p>	<p>ISSUE. <b>B</b></p>
				<p>DATE. JUNE 2026</p>	<p>PROJECT No. 260307</p>			

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1 GROUND FLOOR LEVEL - PROPOSED

SCALE 1:100 @ A3



**LIVABLE HOUSING REQUIREMENTS:**

**ENTRY / PORCH**


NO STEP AT ENTRY THRESHOLD. PORCH LANDING  
1:40 FALL MAX, AS PER NCC, LIVABLE HOUSING  
DESIGN HANDBOOK FIGURE 4.4 OPTION 3

STEP FREE ACCESS PATH AS PER LIVABLE HOUSING  
DESIGN HANDBOOK FIGURE 3.2. ACCESS VIA ENTRANCE  
DOOR DIRECTLY FROM CLASS 10a GARAGE

**CIRCULATION:**

-  1200x1200mm ENTRY DOOR CIRCULATION  
SPACE IN ACCORDANCE WITH THE LIVABLE  
HOUSING DESIGN STANDARD 2022 PART 2
-  1200x900mm SANITARY COMPARTMENT CIRCULATION  
SPACE IN ACCORDANCE WITH THE LIVABLE HOUSING  
DESIGN STANDARD 2022 PART 4


**FLOOR PLAN LEGEND**

- BAL BALUSTRADE TO CLIENTS SELECTION,  
1000mm HIGH MIN
- BE BENCH, WITH JOINERY CUPBOARDS BELOW
- CK/O COOKTOP / OVEN
- DP DOWNPIPE. CONNECT TO RAINWATER TANK OR  
EXISTING STORMWATER LINE
- FW FLOOR WASTE
- MI MIRROR
- MX SHOWER MIXER
- OHC OVER HEAD CUPBOARD
- REF REFRIGERATOR LOCATION  
- TO HAVE TAP FOR PLUMBING
- SF SECURITY FENCE
- SG SECURITY GATE
- SH SHELVES (SHx1 = 1 SHELF)
- SHR1 SHOWER 900 x 900
- SK SINK
- SN SHOWER NICHE, 350H x 600W
- SR SHOWER ROSE
- T LAUNDRY TUB
- TR TOWEL RAIL
- TRH TOILET ROLL HOLDER
- VB VANITY BASIN
- WC WATER CLOSET
- WC.Z WC CIRCULATION ZONE 1200 x 900
- WM WASHING MACHINE LOCATION
- NO ST NO STEP IN FLOOR LEVEL
- ST DN STEP DOWN IN FLOOR LEVEL
-  SMOKE ALARM, TO COMPLY WITH  
LOCAL GOVERNMENT REQUIREMENTS
- D\*\* DOOR NUMBER, REFER TO SCHEDULE
- W\*\* WINDOW NUMBER, REFER TO SCHEDULE


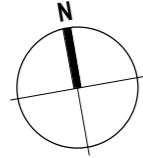
**FLOOR FINISH LEGEND**

- CON CONCRETE
- CPT CARPET
- CT CERAMIC TILES
- VT VITRIFIED TILES - NON SLIP

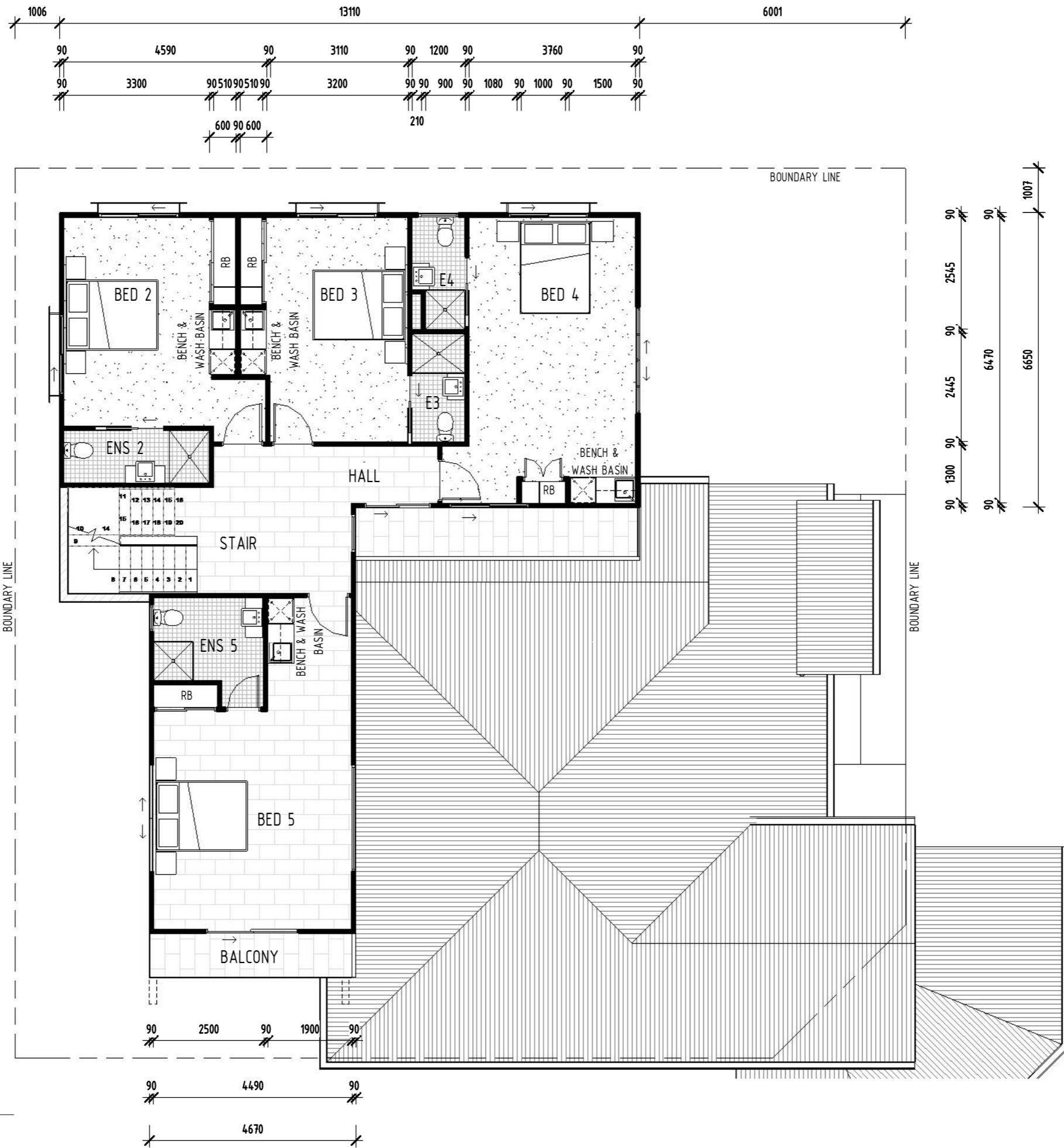
**WALL LEGEND**

-  EXISTING WALL TO REMAIN
- W.BL.R CORE FILLED BLOCKWORK WALL, RENDERED  
FINISH TO EXTERIOR, PLASTERBOARD ON  
BATTENS TO INTERIOR
- W.FC.R STUD WALL WITH FC SHEETING  
TO EXTERIOR, RENDERED FINISH.  
PLASTERBOARD TO INTERIOR
- W.PB STUD WALL WITH PLASTERBOARD
- W.WB STUD WALL WITH WEATHERBOARD  
CLADDING TO EXTERIOR.  
PLASTERBOARD TO INTERIOR
- NOTE AQUACHEK TO WET AREAS.  
WALL INSULATION AS REQUIRED

**PRELIMINARY ISSUE**

 www.empiredesigns.com.au A : 297 RIDING ROAD, BALMORAL QLD 4171 P : 3899 1856 MB : 0414 277 560 E : mail@empiredesigns.com.au QBCC : 1312117 VBA : DP-AD 46238		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.			Amendment			PROJECT: PROPOSED ROOMING ACCOMODATION 40 OXFORD STREET, HAMILTON QLD 4007			DRAWING TITLE: GROUND FLOOR PLAN - PROPOSED		
					DESIGNED BY:	DP	DRAWN BY:	DP	DRAWING SCALE:		DRAWING NUMBER:		ISSUE:
					DATE:	JUNE 2026	PROJECT No.:	260307	1:100 @ A3		<b>A401</b>		<b>i</b>

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**FLOOR PLAN LEGEND**

- BAL BALUSTRADE TO CLIENTS SELECTION, 1000mm HIGH MIN
- BE BENCH, WITH JOINERY CUPBOARDS BELOW
- CK/O COOKTOP / OVEN
- DP DOWNPIPE. CONNECT TO RAINWATER TANK OR EXISTING STORMWATER LINE
- FW FLOOR WASTE
- MI MIRROR
- MX SHOWER MIXER
- OHC OVER HEAD CUPBOARD
- REF REFRIGERATOR LOCATION  
- TO HAVE TAP FOR PLUMBING
- SF SECURITY FENCE
- SG SECURITY GATE
- SH SHELVES (SHx1 = 1 SHELF)
- SHR1 SHOWER 900 x 900
- SK SINK
- SN SHOWER NICHE, 350H x 600W
- SR SHOWER ROSE
- T LAUNDRY TUB
- TR TOWEL RAIL
- TRH TOILET ROLL HOLDER
- VB VANITY BASIN
- WC WATER CLOSET
- WC.Z WC CIRCULATION ZONE 1200 x 900
- WM WASHING MACHINE LOCATION
- NO ST NO STEP IN FLOOR LEVEL
- ST DN STEP DOWN IN FLOOR LEVEL
- ☉ SMOKE ALARM, TO COMPLY WITH LOCAL GOVERNMENT REQUIREMENTS
- D\*\* DOOR NUMBER, REFER TO SCHEDULE
- W\*\* WINDOW NUMBER, REFER TO SCHEDULE

**FLOOR FINISH LEGEND**

- CON CONCRETE
- CPT CARPET
- CT CERAMIC TILES
- VT VITRIFIED TILES - NON SLIP

**WALL LEGEND**

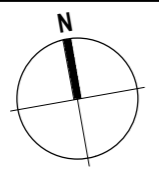
- EXISTING WALL TO REMAIN
- W.BL.R CORE FILLED BLOCKWORK WALL, RENDERED FINISH TO EXTERIOR, PLASTERBOARD ON BATTENS TO INTERIOR
- W.F.C.R STUD WALL WITH FC SHEETING TO EXTERIOR, RENDERED FINISH. PLASTERBOARD TO INTERIOR
- W.PB STUD WALL WITH PLASTERBOARD
- W.WB STUD WALL WITH WEATHERBOARD CLADDING TO EXTERIOR. PLASTERBOARD TO INTERIOR
- NOTE AQUACHEK TO WET AREAS. WALL INSULATION AS REQUIRED

**LEVEL 1 FLOOR PLAN - PROPOSED**

SCALE 1: 100 @ A3

2

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Amendment		PROJECT: PROPOSED ROOMING ACCOMODATION 40 OXFORD STREET, HAMILTON QLD 4007		DRAWING TITLE: LEVEL 1 FLOOR PLAN - PROPOSED	
DESIGNED BY:	DP	DRAWN BY:	DP	DRAWING SCALE:	DRAWING NUMBER:
DATE:	JUNE 2026	PROJECT No.:	260307	1 : 100 @ A3	<b>A402</b>
				ISSUE:	<b>H</b>

**PRELIMINARY ISSUE**



**FLOOR PLAN LEGEND**

- BAL BALUSTRADE TO CLIENTS SELECTION, 1000mm HIGH MIN
- BE BENCH, WITH JOINERY CUPBOARDS BELOW
- CK/O COOKTOP / OVEN
- DP DOWNPIPE. CONNECT TO RAINWATER TANK OR EXISTING STORMWATER LINE
- FW FLOOR WASTE
- MI MIRROR
- MX SHOWER MIXER
- OHC OVER HEAD CUPBOARD
- REF REFRIGERATOR LOCATION  
- TO HAVE TAP FOR PLUMBING
- SF SECURITY FENCE
- SG SECURITY GATE
- SH SHELVES (SHx1 = 1 SHELF)
- SHR1 SHOWER 900 x 900
- SK SINK
- SN SHOWER NICHE, 350H x 600W
- SR SHOWER ROSE
- T LAUNDRY TUB
- TR TOWEL RAIL
- TRH TOILET ROLL HOLDER
- VB VANITY BASIN
- WC WATER CLOSET
- WC.Z WC CIRCULATION ZONE 1200 x 900
- WM WASHING MACHINE LOCATION
- NO ST NO STEP IN FLOOR LEVEL
- ST DN STEP DOWN IN FLOOR LEVEL
- ☉ SMOKE ALARM, TO COMPLY WITH LOCAL GOVERNMENT REQUIREMENTS
- D\*\* DOOR NUMBER, REFER TO SCHEDULE
- W\*\* WINDOW NUMBER, REFER TO SCHEDULE

**FLOOR FINISH LEGEND**

- CON CONCRETE
- CPT CARPET
- CT CERAMIC TILES
- VT VITRIFIED TILES - NON SLIP

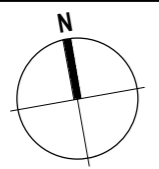
**WALL LEGEND**

- EXISTING WALL TO REMAIN
- W.BL.R CORE FILLED BLOCKWORK WALL, RENDERED FINISH TO EXTERIOR, PLASTERBOARD ON BATTENS TO INTERIOR
- W.F.C.R STUD WALL WITH FC SHEETING TO EXTERIOR, RENDERED FINISH. PLASTERBOARD TO INTERIOR
- W.PB STUD WALL WITH PLASTERBOARD
- W.WB STUD WALL WITH WEATHERBOARD CLADDING TO EXTERIOR. PLASTERBOARD TO INTERIOR
- NOTE AQUACHEK TO WET AREAS. WALL INSULATION AS REQUIRED

**PRELIMINARY ISSUE**

3 LEVEL 2 FLOOR PLAN - PROPOSED  
SCALE 1:100 @ A3

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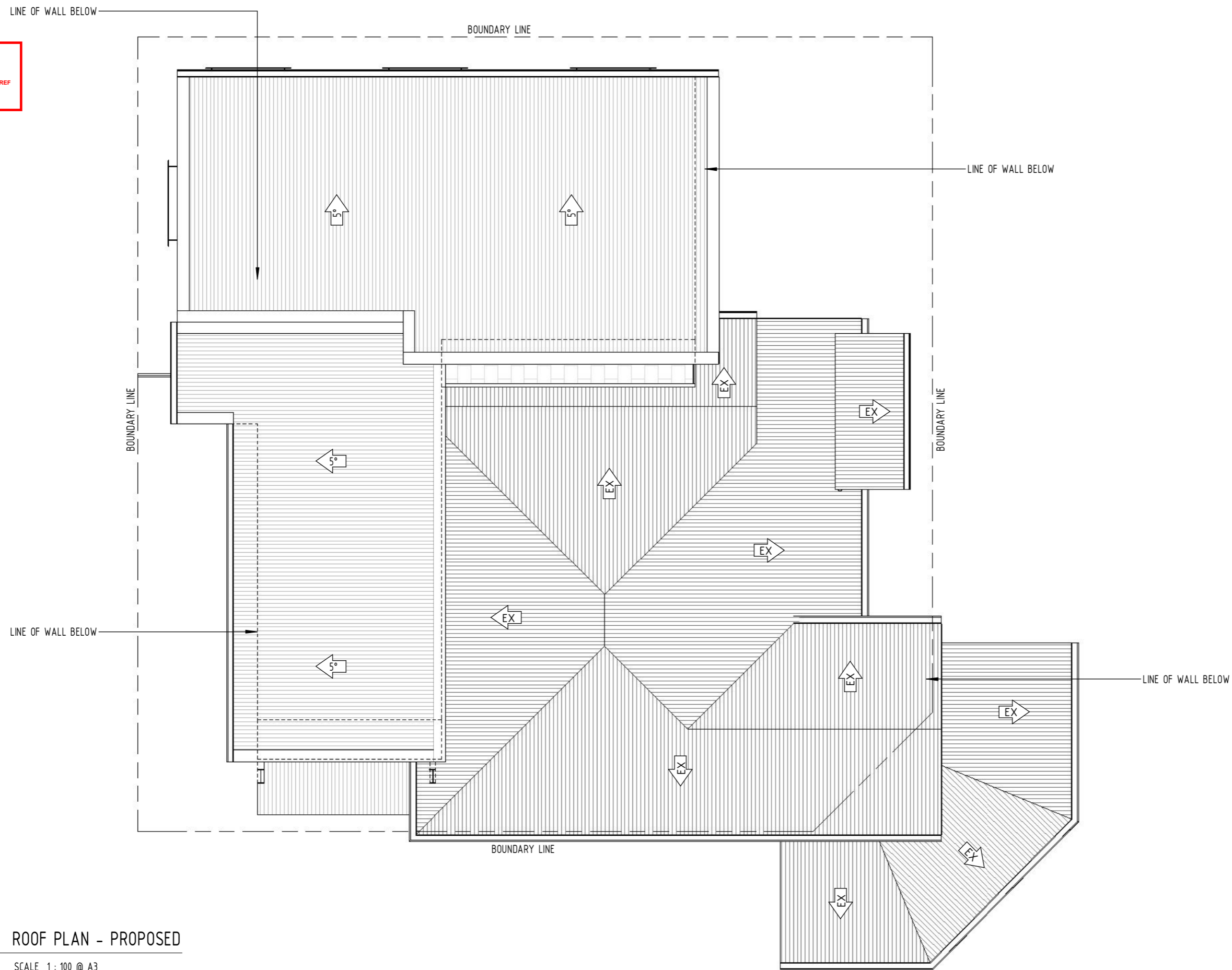


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Amendment	

PROJECT. PROPOSED ROOMING ACCOMODATION 40 OXFORD STREET, HAMILTON QLD 4007		DRAWING TITLE. LEVEL 2 FLOOR PLAN - PROPOSED	
DESIGNED BY. DP	DRAWN BY. DP	DRAWING SCALE. 1:100 @ A3	DRAWING NUMBER. <b>A403</b>
DATE. JUNE 2026	PROJECT No. 260307	ISSUE. <b>H</b>	

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### ROOF LEGEND

- BC COLORBOND BARGE CAPPING
- CB COLORBOND ROOF SHEETING
- DP COLORBOND DOWNPIPE. CONNECT TO RAINWATER TANK OR EXISTING STORMWATER LINE
- DP/SP COLORBOND DOWNPIPE AND SPREADER
- EG COLORBOND EAVES GUTTER
- OH OVERHANG
- PROPOSED ROOF PITCH
- EXISTING ROOF PITCH
- NEW ROOF TO MATCH EXISTING ROOF PITCH

3 ROOF PLAN - PROPOSED  
SCALE 1 : 100 @ A3

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					DESIGNED BY. DP	DRAWN BY. DP	DRAWING SCALE.		DRAWING NUMBER.	
					DATE. JUNE 2026	PROJECT No. 260307	1 : 100 @ A3		<b>A404</b>	
							<b>G</b>			

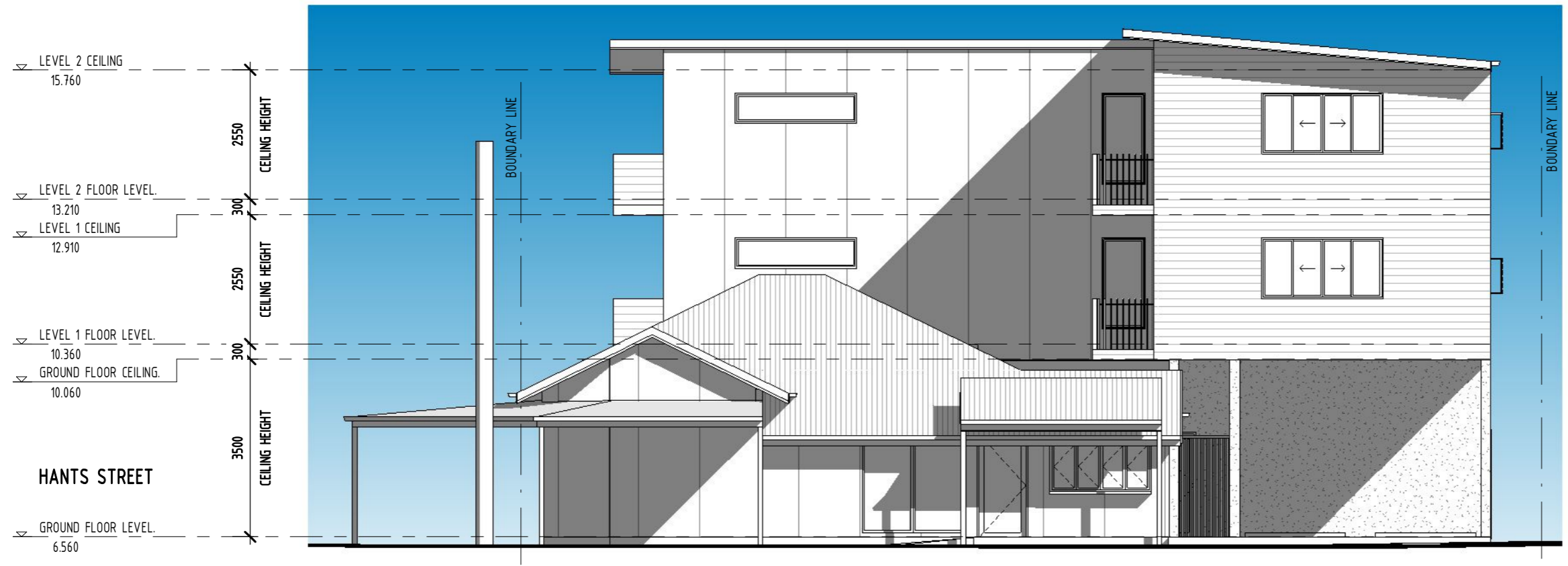
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**LEGEND**

- A/C AIRCON
- BAL BALUSTRADE TO CLIENTS  
SELECTION 1000mm HIGH MIN.
- BR ROOFING BRACKET, WITH WEATHER SEAL
- CB COLORBOND ROOF SHEETING
- DP COLORBOND DOWNPIPE. CONNECT TO  
RAINWATER TANK OR EXISTING  
STORMWATER LINE
- DP/SP COLORBOND DOWNPIPE AND SPREADER
- CL CLOTHES LINE
- HC HOSE COCK
- SC BATTEN SCREENING
- SP STEEL POST TO ENG'S DETAILS
- TP TIMBER POST TO ENG'S DETAILS
  
- D\*\* DOOR NUMBER, REFER TO SCHEDULE
- W\*\* WINDOW NUMBER, REFER TO SCHEDULE

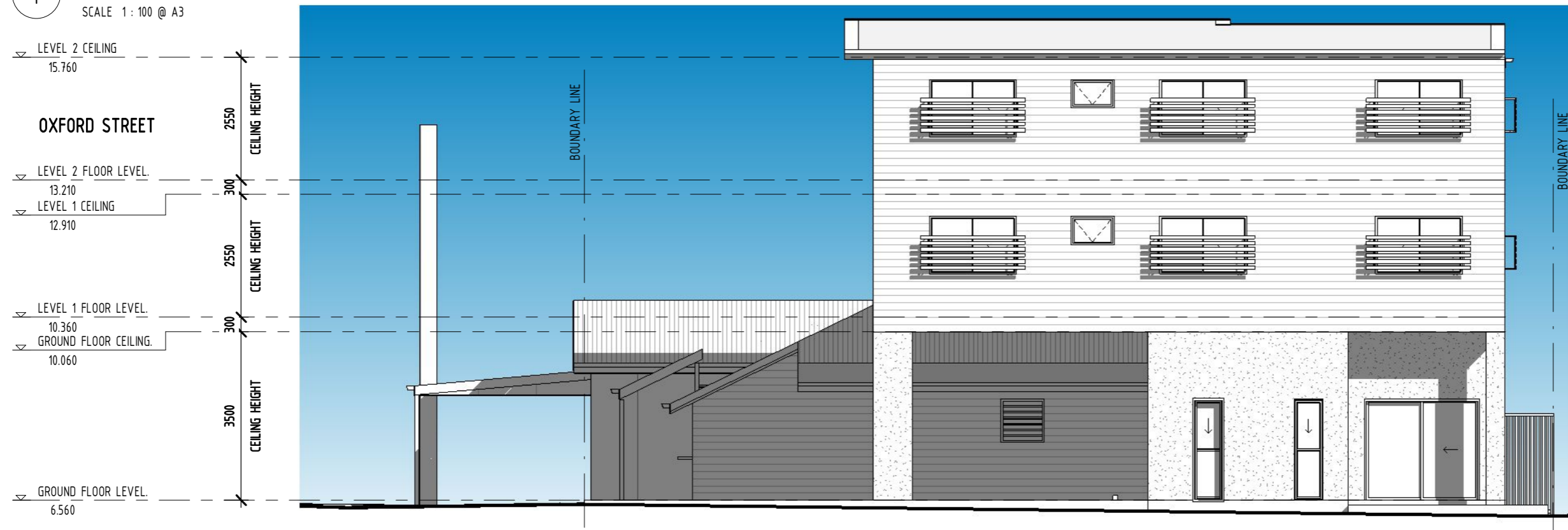
**WALL LEGEND**

- EXISTING WALL TO REMAIN
- W.BL.R CORE FILLED BLOCKWORK WALL, RENDERED  
FINISH TO EXTERIOR, PLASTERBOARD ON  
BATTENS TO INTERIOR
- W.FC.R STUD WALL WITH FC SHEETING  
TO EXTERIOR, RENDERED FINISH.  
PLASTERBOARD TO INTERIOR
- W.PB STUD WALL WITH PLASTERBOARD
- W.WB STUD WALL WITH WEATHERBOARD  
CLADDING TO EXTERIOR.  
PLASTERBOARD TO INTERIOR
- NOTE AQUACHEK TO WET AREAS.  
WALL INSULATION AS REQUIRED



1 FRONT ELEVATION - PROPOSED

SCALE 1 : 100 @ A3



2 SIDE ELEVATION 1 - PROPOSED

SCALE 1 : 100 @ A3

**PRELIMINARY ISSUE**

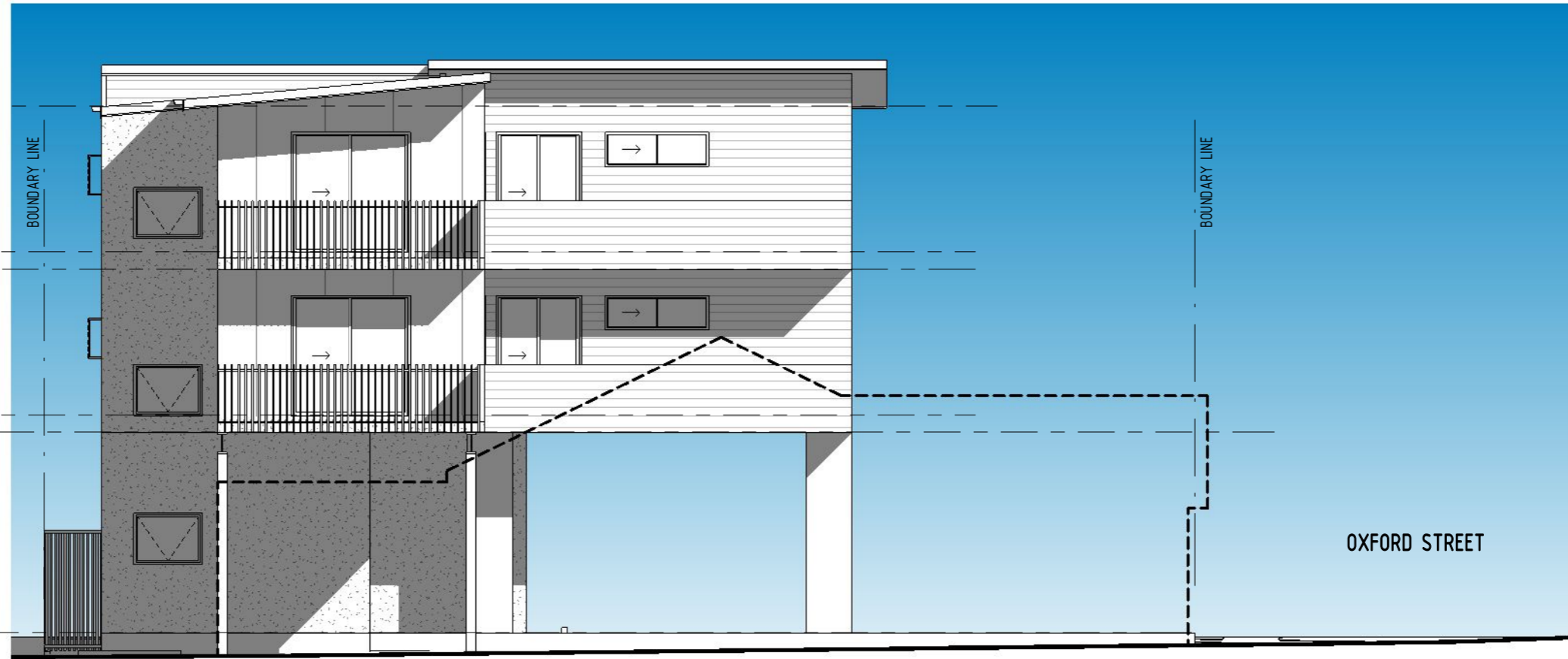
<p><b>EMPIRE</b> DESIGN &amp; DRAFTING</p> <p>www.empiredesigns.com.au</p> <p>A : 297 RIDING ROAD, BALMORAL QLD 4171 P : 3899 1856 MB : 0414 277 560 E : mail@empiredesigns.com.au QBCC : 1312117 VBA : DP-AD 46238</p>	<p>ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.</p>	Amendment		PROJECT. PROPOSED ROOMING ACCOMODATION 40 OXFORD STREET, HAMILTON QLD 4007		DRAWING TITLE. ELEVATIONS - PROPOSED			
				DESIGNED BY. DP	DRAWN BY. DP	DRAWING SCALE.		DRAWING NUMBER.	
				DATE. JUNE 2026	PROJECT No. 260307	1 : 100 @ A3		<b>A501</b>	
								ISSUE. <b>i</b>	



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LEVEL 2 CEILING 15.760  
LEVEL 2 FLOOR LEVEL 13.210  
LEVEL 1 CEILING 12.910  
LEVEL 1 FLOOR LEVEL 10.360  
GROUND FLOOR CEILING 10.060  
GROUND FLOOR LEVEL 6.560

CEILING HEIGHT 2550  
CEILING HEIGHT 300  
CEILING HEIGHT 2550  
CEILING HEIGHT 300  
CEILING HEIGHT 3500



**LEGEND**

- A/C AIRCON
- BAL BALUSTRADE TO CLIENTS  
SELECTION 1000mm HIGH MIN.
- BR ROOFING BRACKET, WITH WEATHER SEAL
- CB COLORBOND ROOF SHEETING
- DP COLORBOND DOWNPIPE. CONNECT TO  
RAINWATER TANK OR EXISTING  
STORMWATER LINE
- DP/SP COLORBOND DOWNPIPE AND SPREADER
- CL CLOTHES LINE
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- SC BATTEN SCREENING
- SP STEEL POST TO ENG'S DETAILS
- TP TIMBER POST TO ENG'S DETAILS
- D\*\*** DOOR NUMBER, REFER TO SCHEDULE
- W\*\*** WINDOW NUMBER, REFER TO SCHEDULE

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- W.BL.R** CORE FILLED BLOCKWORK WALL, RENDERED  
FINISH TO EXTERIOR, PLASTERBOARD ON  
BATTENS TO INTERIOR
- W.FC.R** STUD WALL WITH FC SHEETING  
TO EXTERIOR, RENDERED FINISH.  
PLASTERBOARD TO INTERIOR
- W.PB** STUD WALL WITH PLASTERBOARD
- W.WB** STUD WALL WITH WEATHERBOARD  
CLADDING TO EXTERIOR.  
PLASTERBOARD TO INTERIOR
- NOTE** AQUACHEK TO WET AREAS.  
WALL INSULATION AS REQUIRED

5 SIDE ELEVATION 3 - PROPOSED  
SCALE 1 : 100 @ A3

**PRELIMINARY ISSUE**

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				DESIGNED BY. DP	DRAWN BY. DP	DRAWING SCALE.	DRAWING NUMBER.	ISSUE.
				DATE. JUNE 2026	PROJECT No. 260307	1 : 100 @ A3	<b>A503</b>	<b>i</b>

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3 3D PERSPECTIVE 3  
SCALE @ A3



4 3D PERSPECTIVE 4  
SCALE @ A3



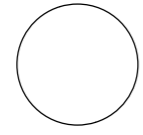
5 3D PERSPECTIVE 5  
SCALE @ A3



6 3D PERSPECTIVE 6  
SCALE @ A3

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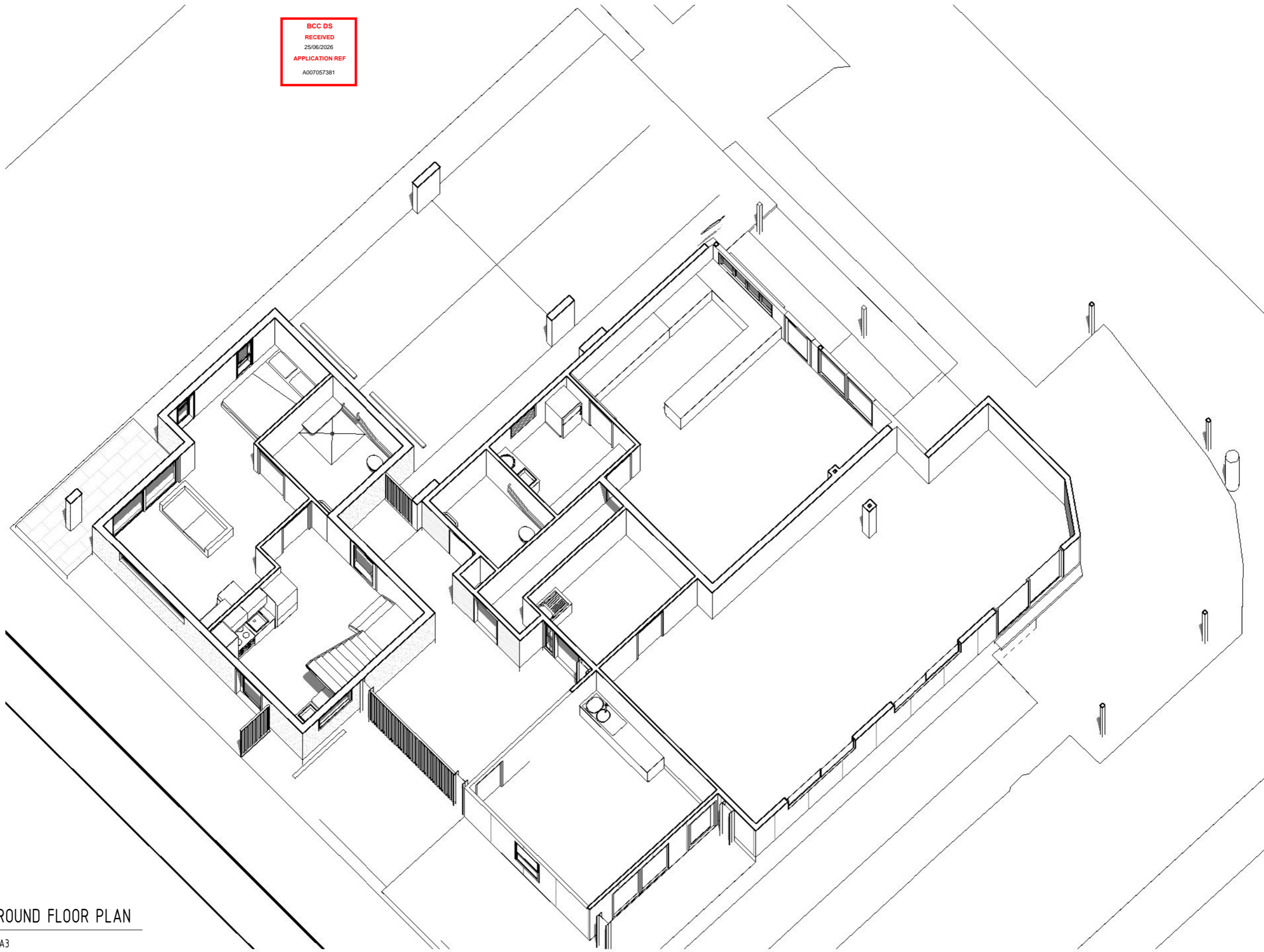
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Amendment	

PROJECT. PROPOSED ROOMING ACCOMODATION 40 OXFORD STREET, HAMILTON QLD 4007		DRAWING TITLE. 3D PERSPECTIVES	
DESIGNED BY. DP	DRAWN BY. DP	DRAWING SCALE. @ A3	DRAWING NUMBER. <b>A801</b>
DATE. JUNE 2026	PROJECT No. 260307	ISSUE. <b>i</b>	


DRAWING SCALE. @ A3	DRAWING NUMBER. <b>A801</b>	ISSUE. <b>i</b>
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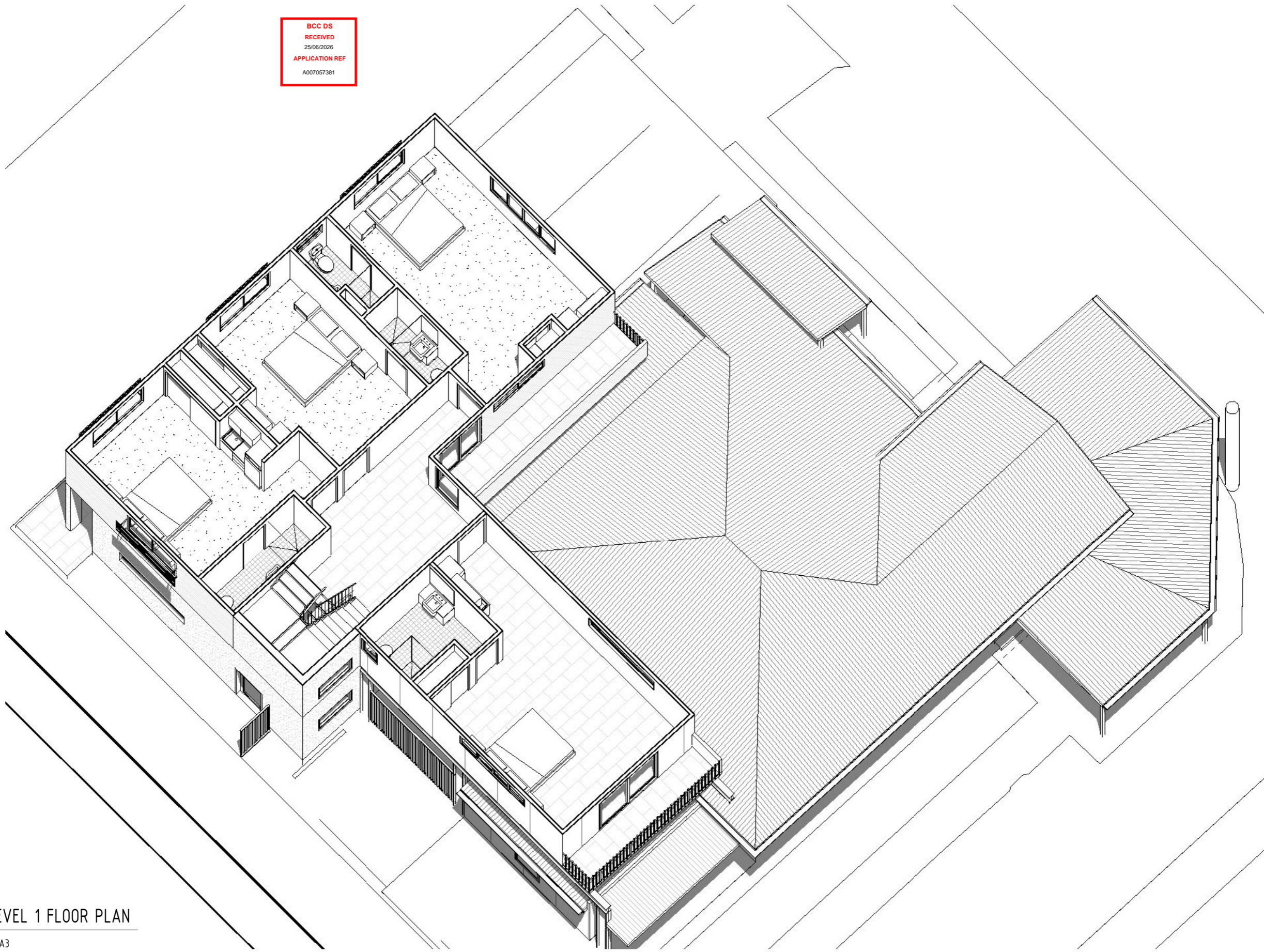


1 3D - GROUND FLOOR PLAN  
 SCALE @ A3

**PRELIMINARY ISSUE**

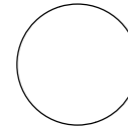
 www.empiredesigns.com.au A : 297 RIDING ROAD, BALMORAL QLD 4171 P : 3899 1856 MB : 0414 277 560 E : mail@empiredesigns.com.au QBCC : 1312117 VBA : DP-AD 46238	<p>ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.</p>	Amendment		PROJECT. PROPOSED ROOMING ACCOMODATION 40 OXFORD STREET, HAMILTON QLD 4007		DRAWING TITLE. 3D - GROUND FLOOR PLAN		
				DESIGNED BY. DP	DRAWN BY. DP	DRAWING SCALE.	DRAWING NUMBER.	ISSUE.
				DATE. JUNE 2026	PROJECT No. 260307	@ A3	<b>A802</b>	<b>i</b>

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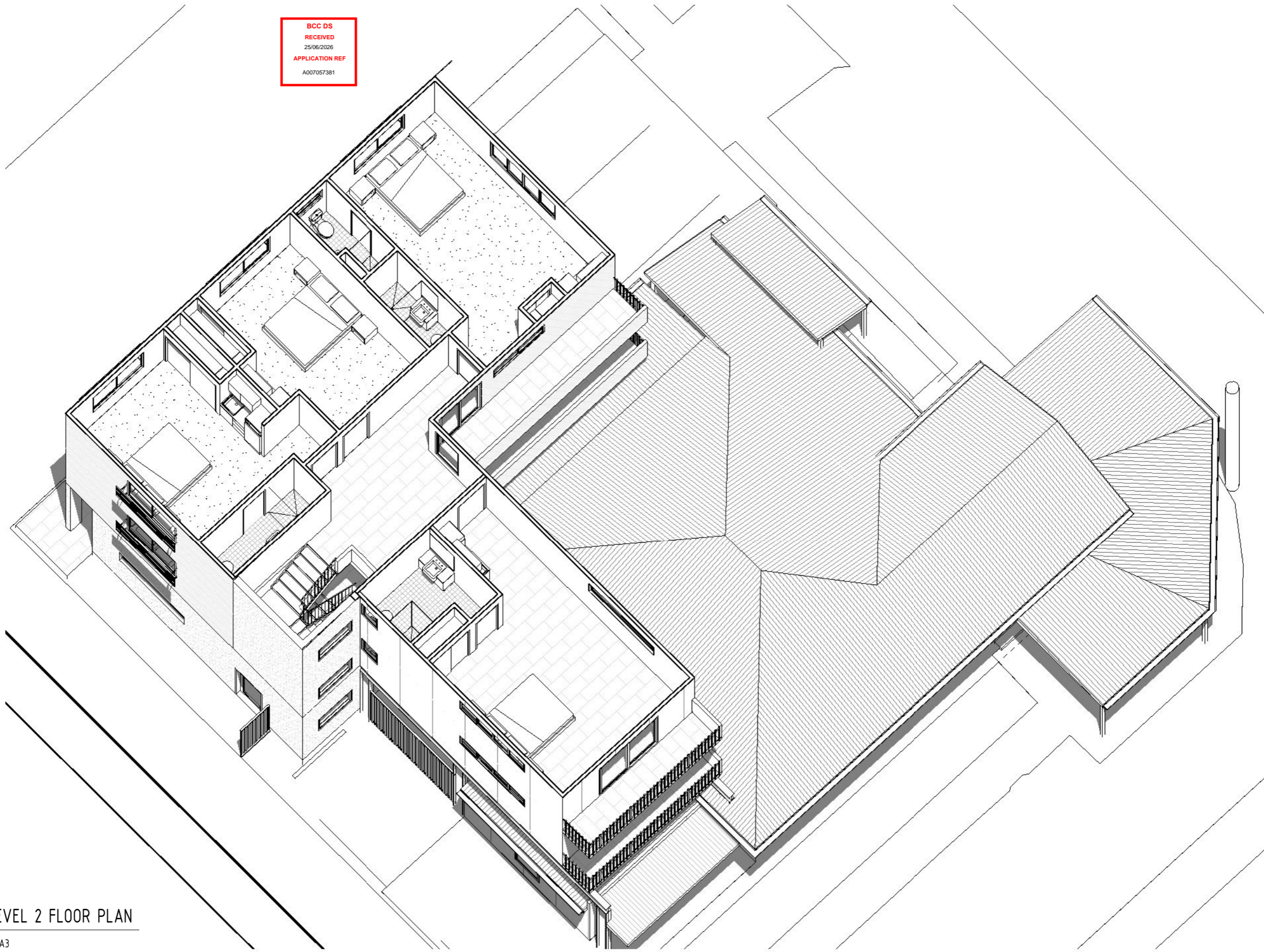


1 3D - LEVEL 1 FLOOR PLAN  
 SCALE @ A3

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					DESIGNED BY.	DP	DRAWN BY.	DP	DRAWING SCALE.	DRAWING NUMBER.	ISSUE.
					DATE.	JUNE 2026	PROJECT No.	260307	@ A3	<b>A803</b>	<b>i</b>

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1 3D - LEVEL 2 FLOOR PLAN  
 SCALE @ A3

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					DESIGNED BY.	DP	DRAWN BY.	DP	DRAWING SCALE.	DRAWING NUMBER.	ISSUE.
					DATE.	JUNE 2026	PROJECT No.	260307	@ A3	<b>A804</b>	<b>i</b>