

ISSUE SCHEDULE			
No.	DATE	DESCRIPTION	BY
01	15.08.25	DA SUBMISSION	MS
02	29.04.26	RFI #1	MS
03	18.05.26	RFI #2	MS

UNIT DEVELOPMENT CAB PROJECTS



DESIGN DRAWINGS

2-6 ASHMORE STREET
EVERTON PARK, QLD 4053

D.A - NOT FOR CONSTRUCTION

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2-6 ASHMORE STREET EVERTON PARK, QLD 4053	
UNIT DEVELOPMENT	
CAB PROJECTS	
DRAWING TITLE PERSPECTIVES	
DESIGNED B.D.H.	SCALE OF A1
DRAWN B.D.H.	STAGE - ESB
DATE MS	DA - 03
PROJECT NO. 18060	DATE 18/05/2026
	PAGE NO. D02 OF 27

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2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
UNIT DEVELOPMENT
CAB PROJECTS
PERSPECTIVES 2
SCALE OF A1
DESIGNED BY B.D.H.
EMPLOYED BY B.D.H.
DRAWN BY MS
PROJECT NO. 18060
DATE 18/05/2026
PAGE NO. D03
OF 27

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2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
UNIT DEVELOPMENT
CAB PROJECTS
LIVING ROOM
SCALE OF A1
DESIGNED BY B.D.H.
STAGE - EQLD
DA - 03
DRAWN BY MS
DATE 18/05/2026
PROJECT NO. 18060 PAGE NO. D04 OF 27

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PROJECT INFORMATION

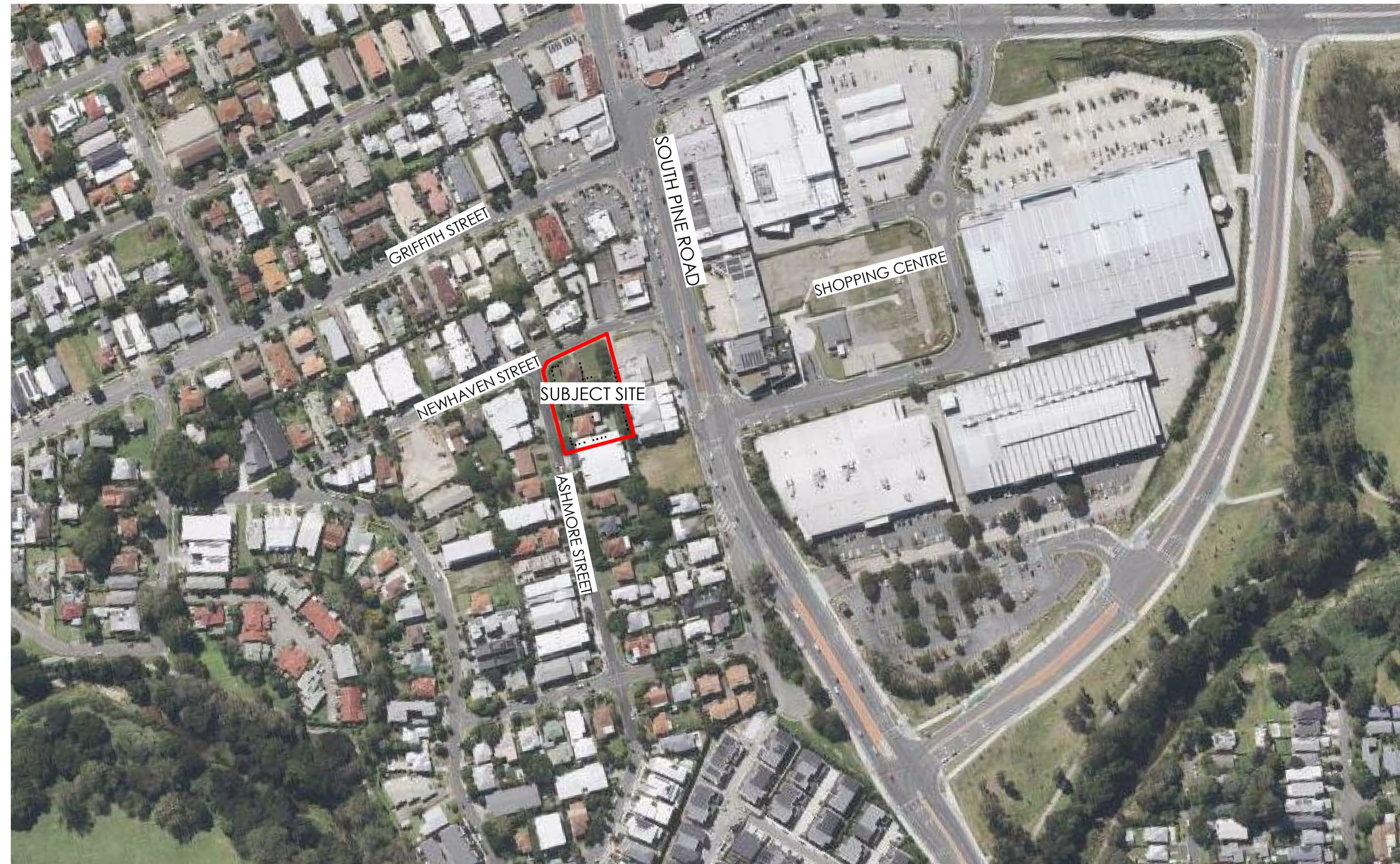
PROPERTY ADDRESS 2-6 ASHMORE STREET, EVERTON PARK
LOCAL AUTHORITY BRISBANE CITY COUNCIL
LOT NO. 32, 33, AND 34
SITE AREA 2,228 m²
SITE OWNER CAB PROJECTS PTY LTD ATF CCBH TRUST
ZONING
ZONE LOW-MEDIUM DENSITY RESIDENTIAL
NEIGHBOURHOOD PLAN EVERTON PARK NEIGHBOURHOOD PLAN

DEVELOPMENT SUMMARY - 2-6 ASHMORE		
LEVEL	SHORT TERM ACCOMMODATION	MULTIPLE RESIDENTIAL
GROUND	16	3
LEVEL 01	19	0
LEVEL 02	13	0
TOTAL	48	3
	51	

FLOOR AREA	
BALCONY	622.7 m ²
BIKE STORAGE	55.8 m ²
BIN STORAGE	17.9 m ²
CAR PARK	1254.1 m ²
MAINTENANCE	34.1 m ²
UNIT	2255.6 m ²
	4240.2 m ²
COMMON	
COMMON AREA	495.2 m ²
DRIVEWAY	139.6 m ²
LIFT & STAIRS	84.8 m ²
ROOFTOP GARDEN	0.0 m ²
VISITOR PARKING	178.1 m ²
	897.8 m ²
Grand total	5137.9 m ²

SITE COVER CALCULATIONS		
AREA	AREA CATEGORY	PERCENTAGE
1410 m ²	SITE COVER - PROPOSED	63%
1410 m ²		63%

DEEP PLANTING CALCULATIONS		
AREA	AREA CATEGORY	PERCENTAGE
DEEP PLANTING	273.7 m ²	12.3%
LANDSCAPE	161.2 m ²	7.2%
OPEN ROOF DECKS	381.7 m ²	17.1%
TOTALS	816.5 m ²	36.7%



LOCATION PLAN
Scale: 1 : 2000

PARKING SCHEDULE			
RESIDENTIAL	VISITOR	SMALL CAR	PWD
51	13	8	1
TOTAL	64		

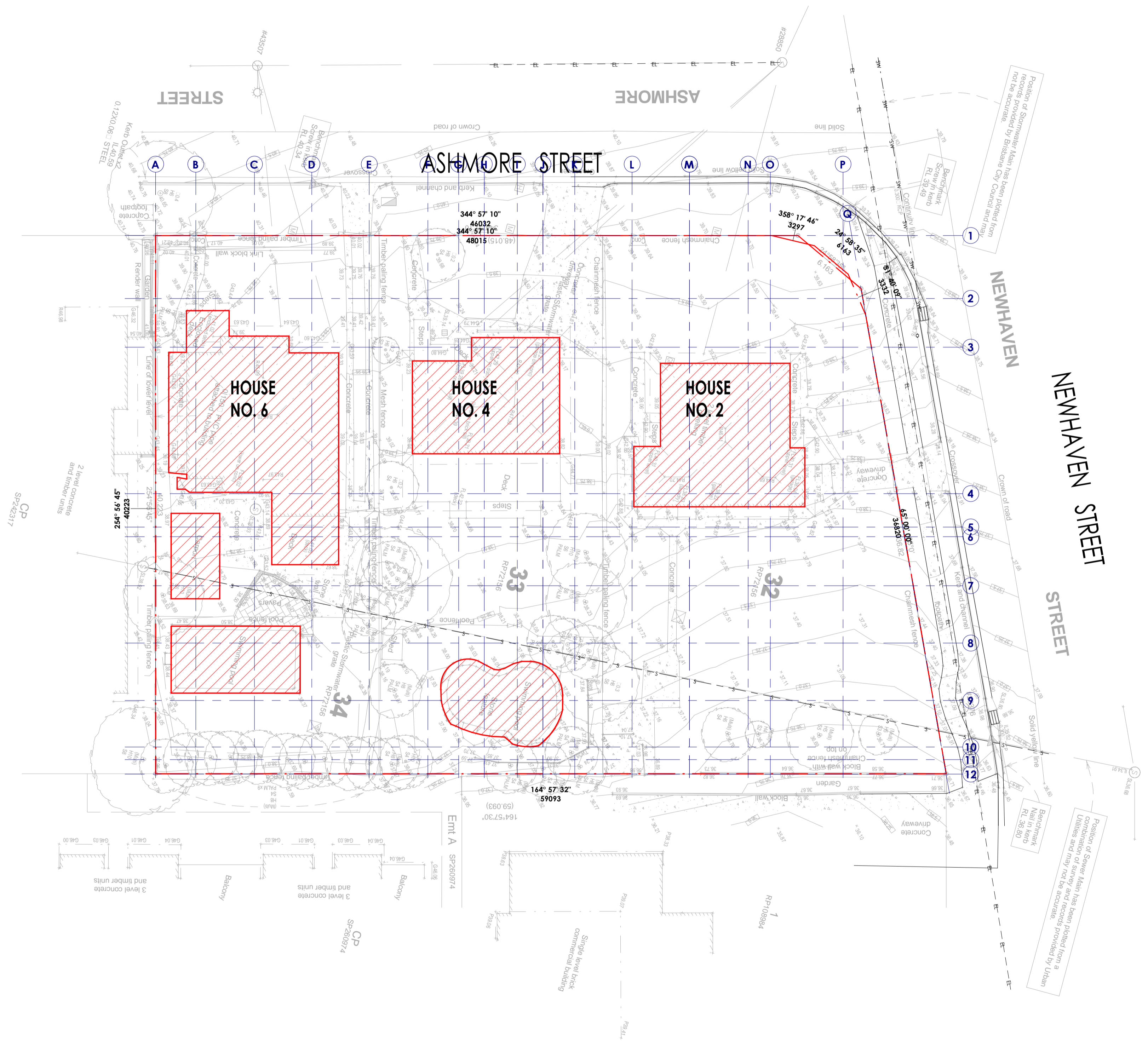
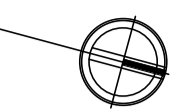
BINS - REFUSE			
BIN TYPE	TOTAL	WEEKLY COLLECTION	WEEKLY CAPACITY
BIN - GENERAL (1100LT)	8	2X	17600LT
BIN - RECYCLING (1100LT)	4	2X	8800LT

BIKE PARKING		
LEVEL	RESIDENTIAL BIKE	VISITOR BIKE
BASEMENT	41	13
GROUND	0	10
TOTAL		64

Drawing List	
D01	COVER SHEET
D02	PERSPECTIVES
D03	PERSPECTIVES 2
D04	LIVING ROOM
D05	PROJECT INFORMATION
D06	EXISTING SITE PLAN
D07	PROPOSED SITE PLAN
D08	BULK EARTHWORKS
D09	MATERIAL SHEET
D10	BASEMENT FLOOR PLAN
D11	GROUND FLOOR PLAN
D12	FIRST FLOOR PLAN
D13	SECOND FLOOR PLAN
D14	ROOF PLAN
D15	TYPICAL POD FLOOR PLAN
D16	ELEVATIONS NORTH & WEST
D17	ELEVATIONS SOUTH & EAST
D18	SECTIONS
D19	ADJOINING BUILDING IMPACT 1
D20	ADJOINING BUILDING IMPACT 2
D21	SHADOW STUDY WINTER
D22	SHADOW STUDY WINTER
D23	PROJECTION THROUGH 11.5MGL WITH ROOF
D24	PROJECTION THROUGH 11.5MGL AT UPPERMOST CEILING
D25	SITE COVER
D26	LANDSCAPE
D27	PRIVATE OPEN SPACE
D39	REVISIONS

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2-6 ASHMORE STREET
 EVERTON PARK, QLD 4053
 UNIT DEVELOPMENT
 CAB PROJECTS
 PROJECT INFORMATION
 DESIGNED BY B.D.H. SCALE 1:2000
 DRAWN BY B.D.H. STAGE DA - 03
 DATE 18/05/2026
 PROJECT NO. 18060 D05 OF 27
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 1:2000 1 3 0 0 1 3 3 9 1 7
 info@mercury-design.com



SITE INFORMATION:

R.P.D.:
 Lot No.: 33, 33, 34
 Plan No.: RP 72156
 Parish: SUNVA
 County: STANLEY
 Area: 2,228m²

STORMWATER:
 Road water to flow to street to join existing council system via 90 dia U.P.V.C. stormwater lines of 1:100 minimum fall.

RETAINING WALLS:
 If required all retaining walls shall be provided in strict accordance with engineers detailed design and local authority requirements.

Wind Classification: N2
 [Refer Soil Report]

Soil Classification: TBA
 [Refer Soil Report]

Climate Zone: 2
 [Refer Energy Efficiency Report]

Site Cover: 63%
 Existing Site Cover: 379.124m² or 17%

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 18066002

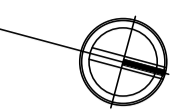
2-6 ASHMORE STREET
 EVERTON PARK, QLD 4053
 UNIT DEVELOPMENT
 CAB PROJECTS

EXISTING SITE PLAN

DESIGNED BY: B.D.H.
 CHECKED BY: B.D.H.
 DRAWN BY: MS
 PROJECT NO: 180660
 SCALE: 1:200
 STAGE: DA - 03
 DATE: 18/05/2026
 PAGE NO: 27
 OF: 27

1:100 1 3 0 0 1 3 3 9 1 7
 info@mercury-design.com

17 EXISTING SITE PLAN
 Scale: 1:200



Survey information provided by SIMPSON RAYNER SURVEYS
Licensed Land Surveyors, Town Planners & Land Development Consultants Ph: 3899 8105

SITE INFORMATION:

R.P.D.:
Lot No.: 32, 33, 34
Plan No.: RP 72156
Parish: SUNRA
County: STANLEY
Area: 2,228m²

STORMWATER:
Roof water to flow to street to join existing council system via 90 dia U.P.V.C. stormwater lines at 1:100 minimum fall.

RETAINING WALLS:
If required all retaining walls shall be provided in strict accordance with engineers detailed design and local authority requirements.

Wind Classification: N2
[Refer Soil Report]

Soil Classification: TBA
[Refer Soil Report]

Climate Zone: 2
[Refer Energy Efficiency Report]

Site Cover: 63%

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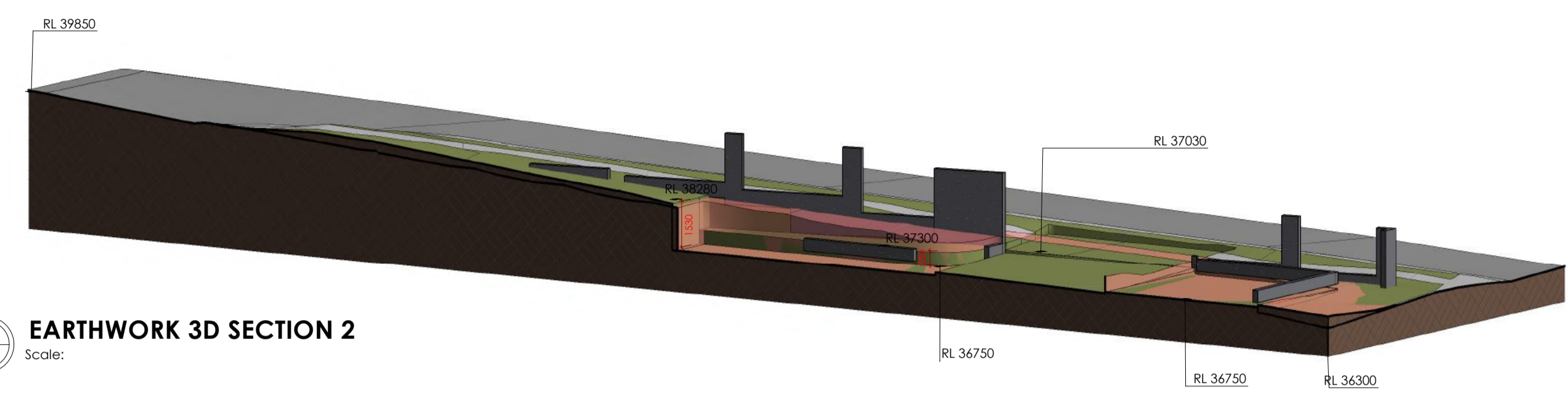
1 Proposed Site Plan
Scale: 1:200

2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
UNIT DEVELOPMENT
CAB PROJECTS

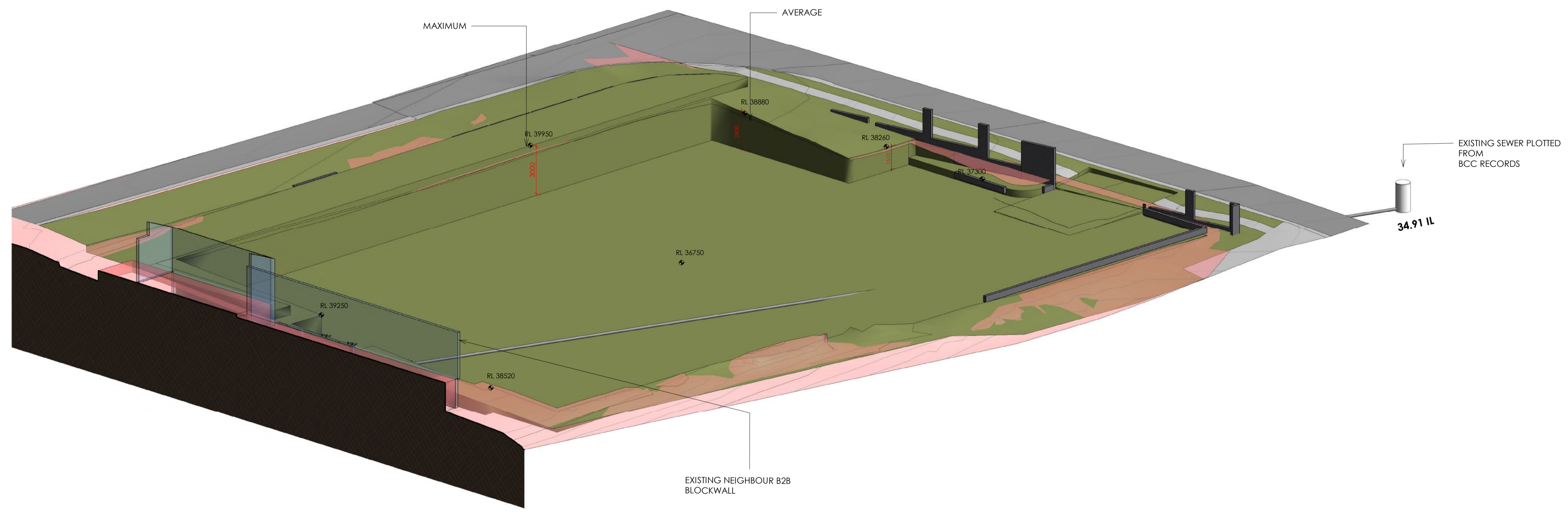
PROPOSED SITE PLAN
SCALE 1:200
DESIGNED BY B.D.H. STAGE: DA - 03
DRAWN BY MS DATE: 18/05/2026
PROJECT NO: 18060 D07 OF 27
PAGE NO: 27
1:100 1 3 0 0 1 3 3 9 1 7
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Cut & Fill Schedule		
Cut	Fill	Net Cut/Fill
1299.22 m ²	129.84 m ²	-1169.38 m ²

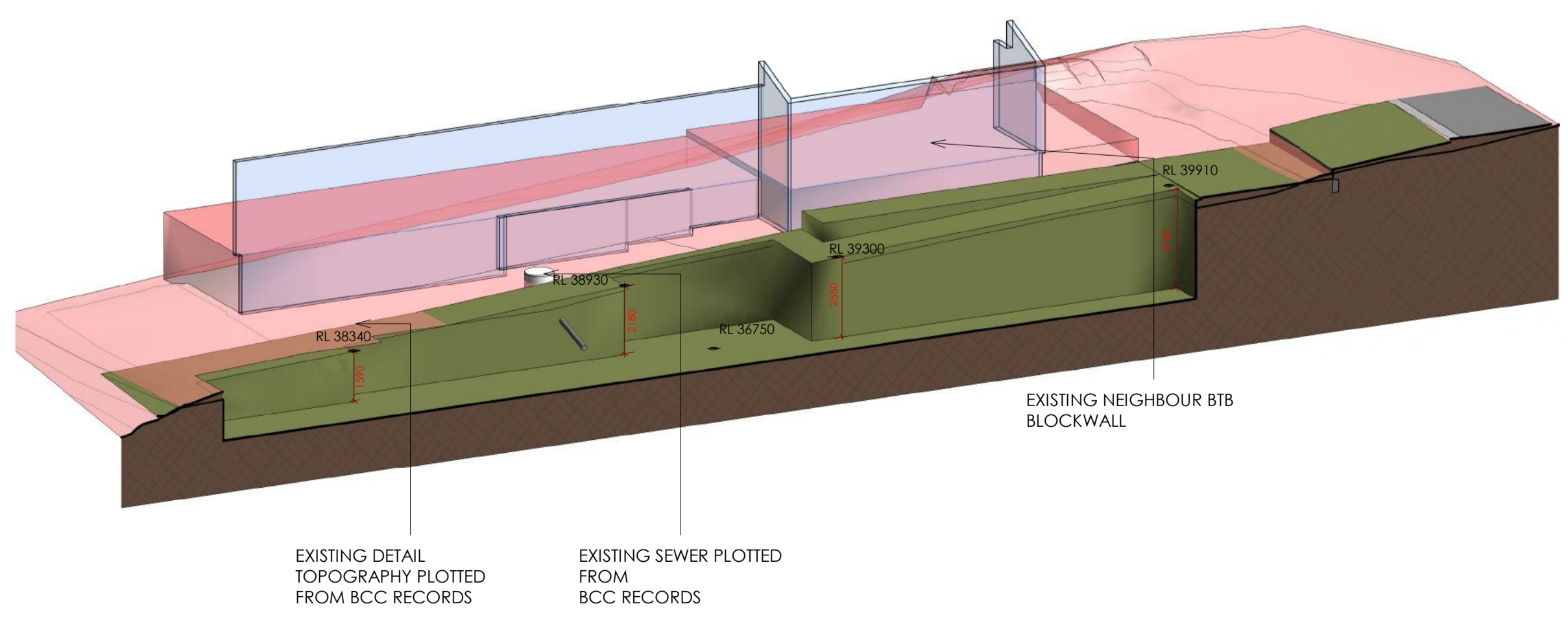
Note: Estimate only, does not include bulking.



3 EARTHWORK 3D SECTION 2
 Scale:



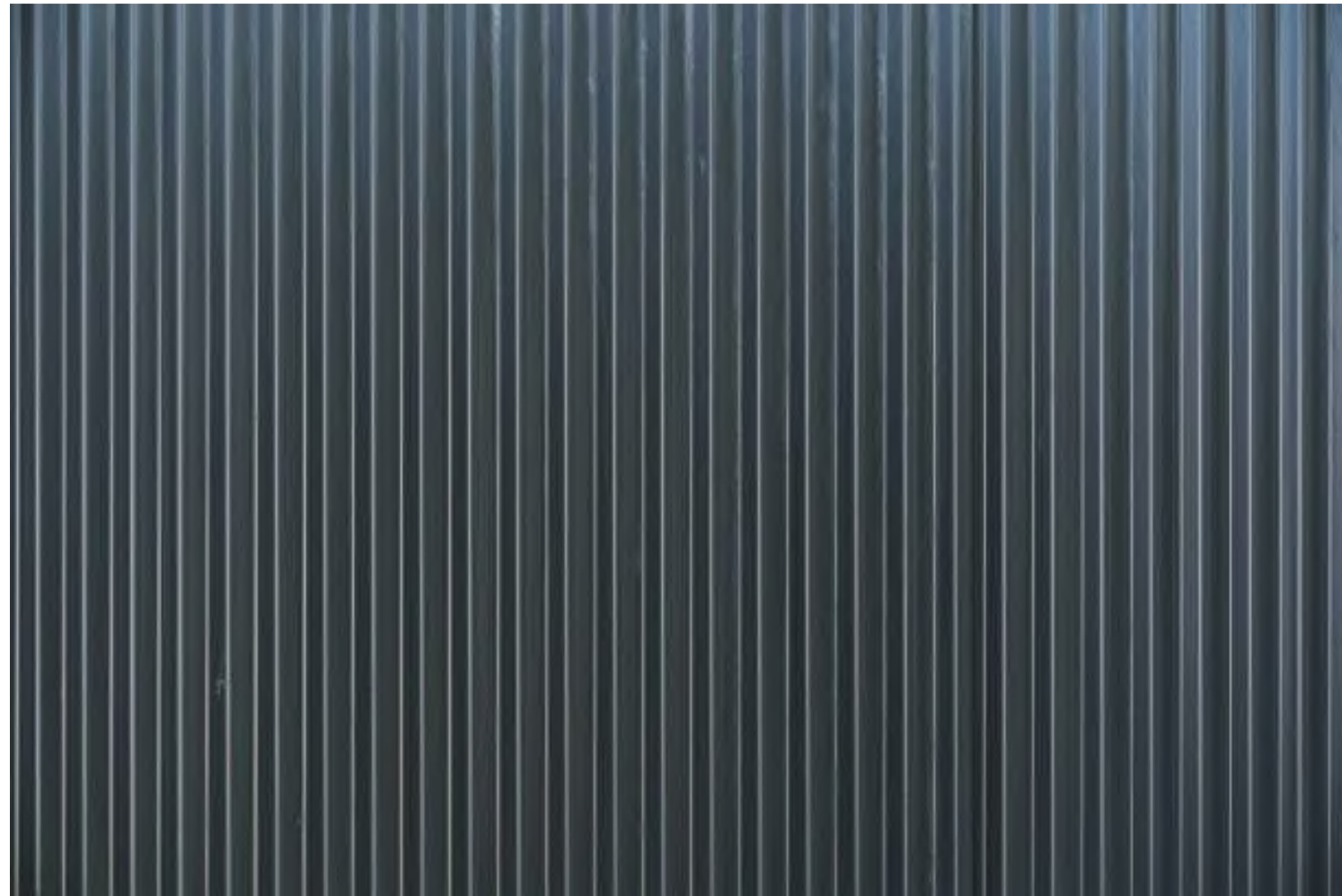
2 3D BULK EARTHWORKS
 Scale:



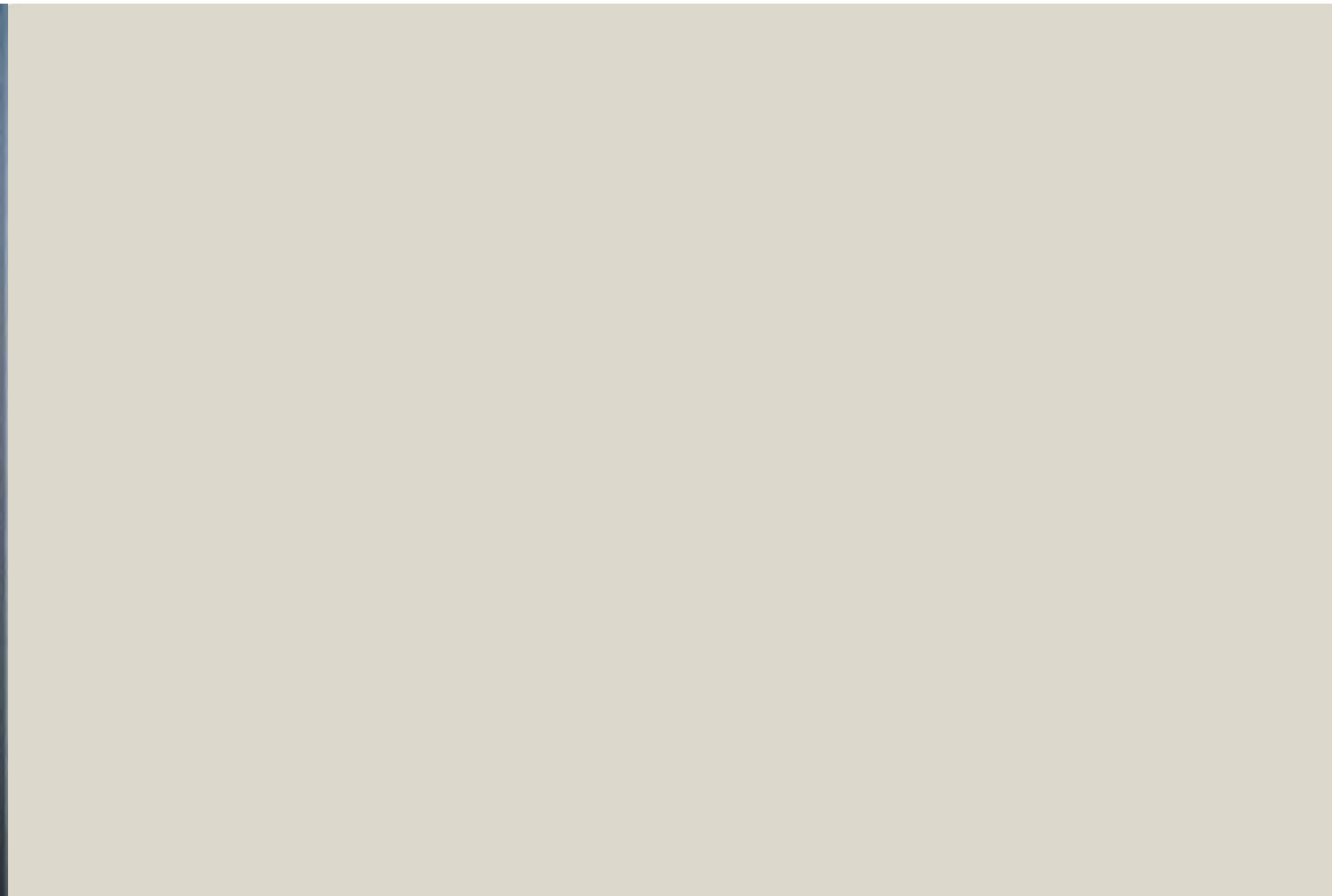
1 EARTHWORK 3D SECTION 1
 Scale:

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2-6 ASHMORE STREET EVERTON PARK, QLD 4053	
PROJECT UNIT DEVELOPMENT	
CLIENT CAB PROJECTS	
DRAWING TITLE BULK EARTHWORKS	
DESIGNED B.D.H.	SCALE OF A1
DRAWN B.D.H.	STAGE - EOB
CHECKED MS	DATE 18/05/2026
PROJECT NO. 18060	PAGE NO. D08 OF 27



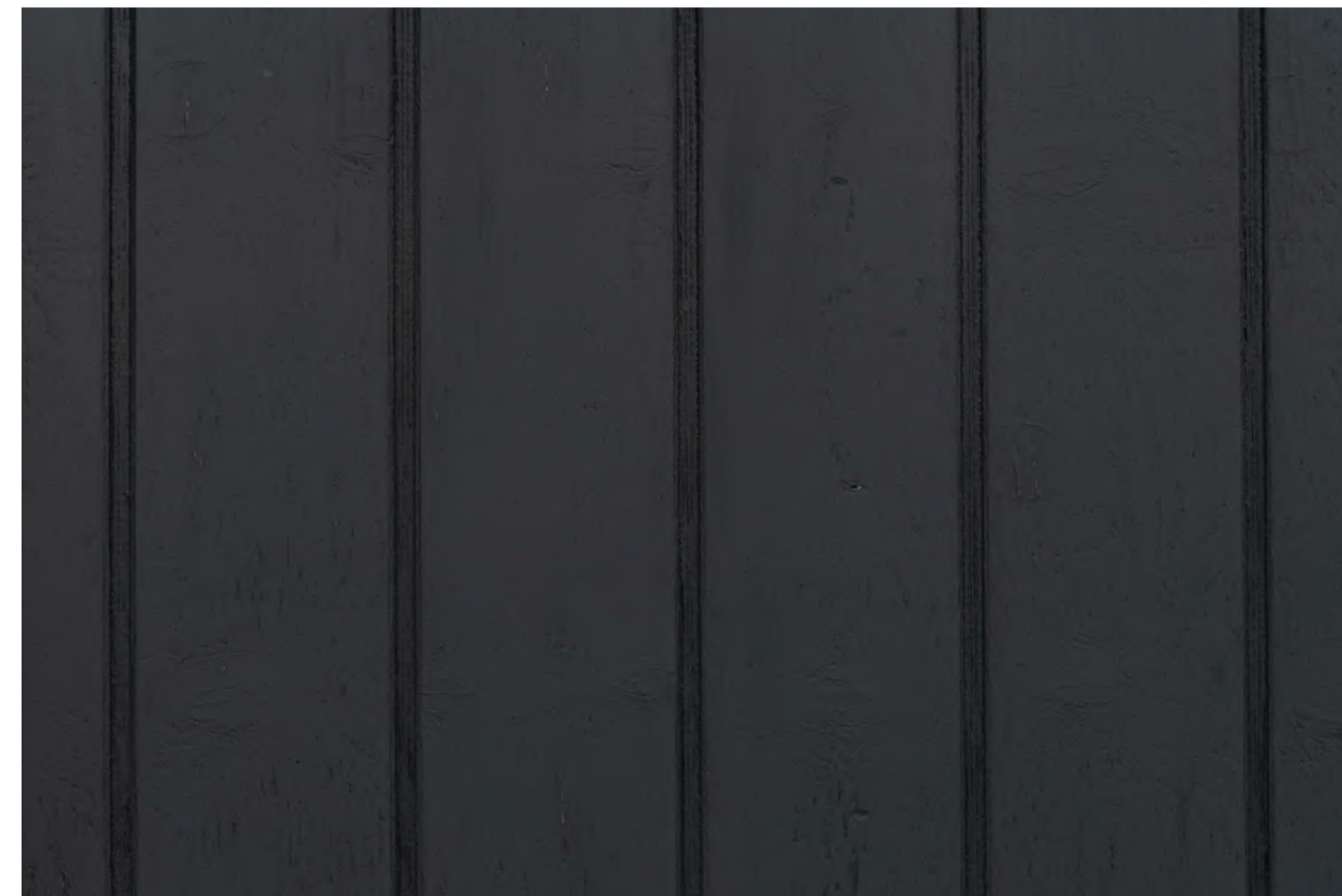
Colorbond Steel Roof Kliplok - Monument Grey



Typical External Render - Surfmist



Off Form Concrete



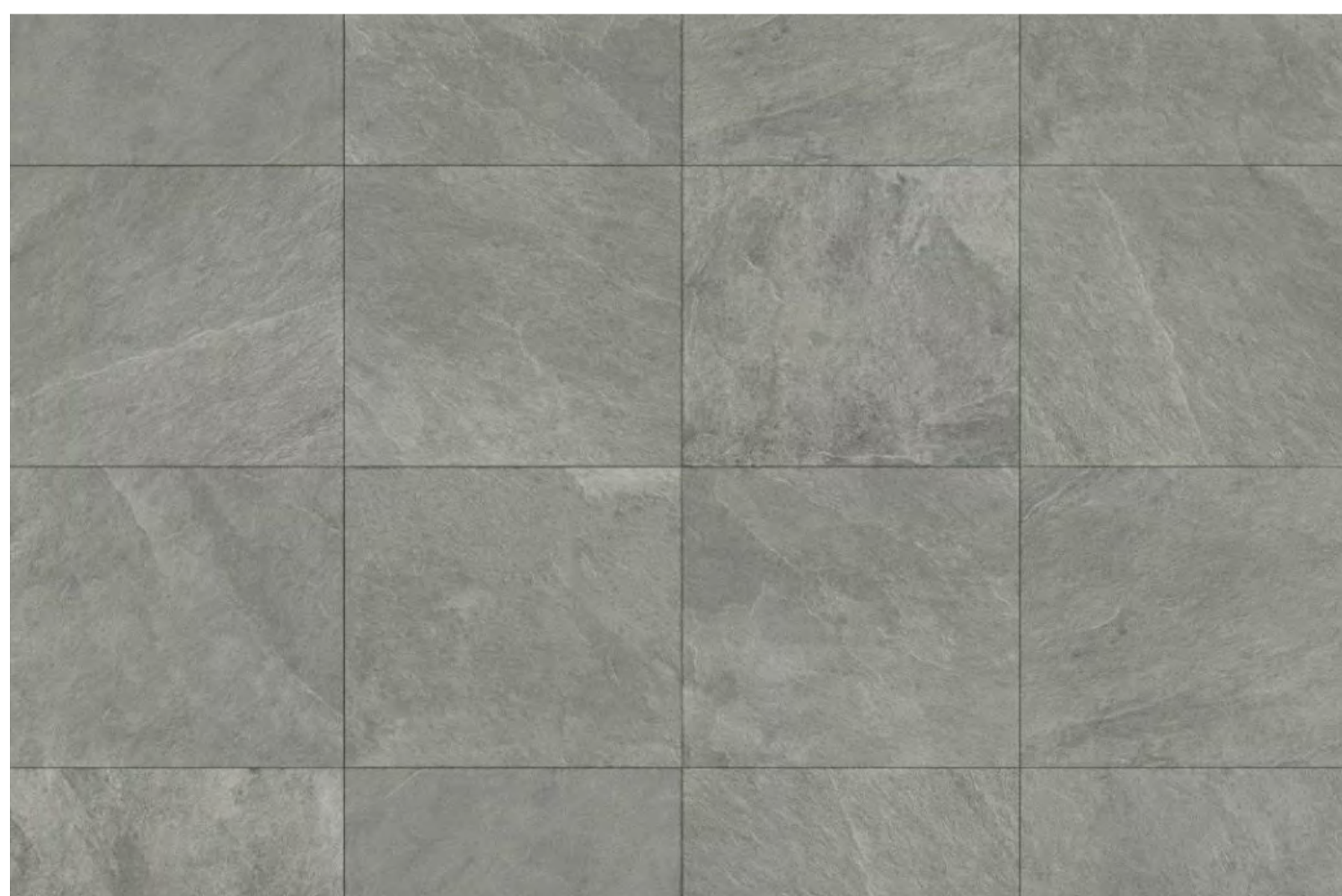
Stratco NINELINE™ Flute Wall Cladding Monument Grey



European Oak Type Finish Flooring



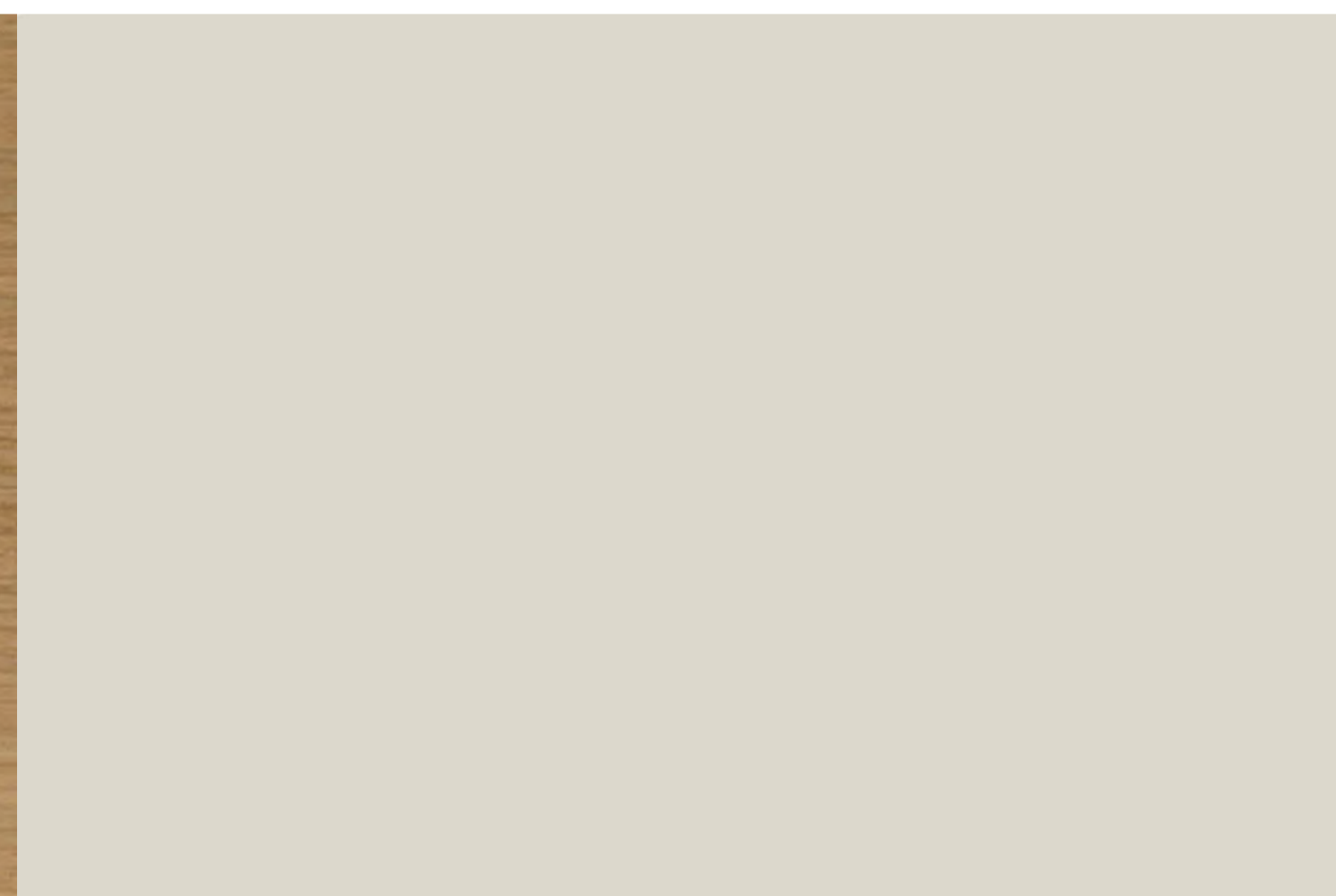
300x300 Indicative Balcony Tile



Indicative Outdoor Floor Tile



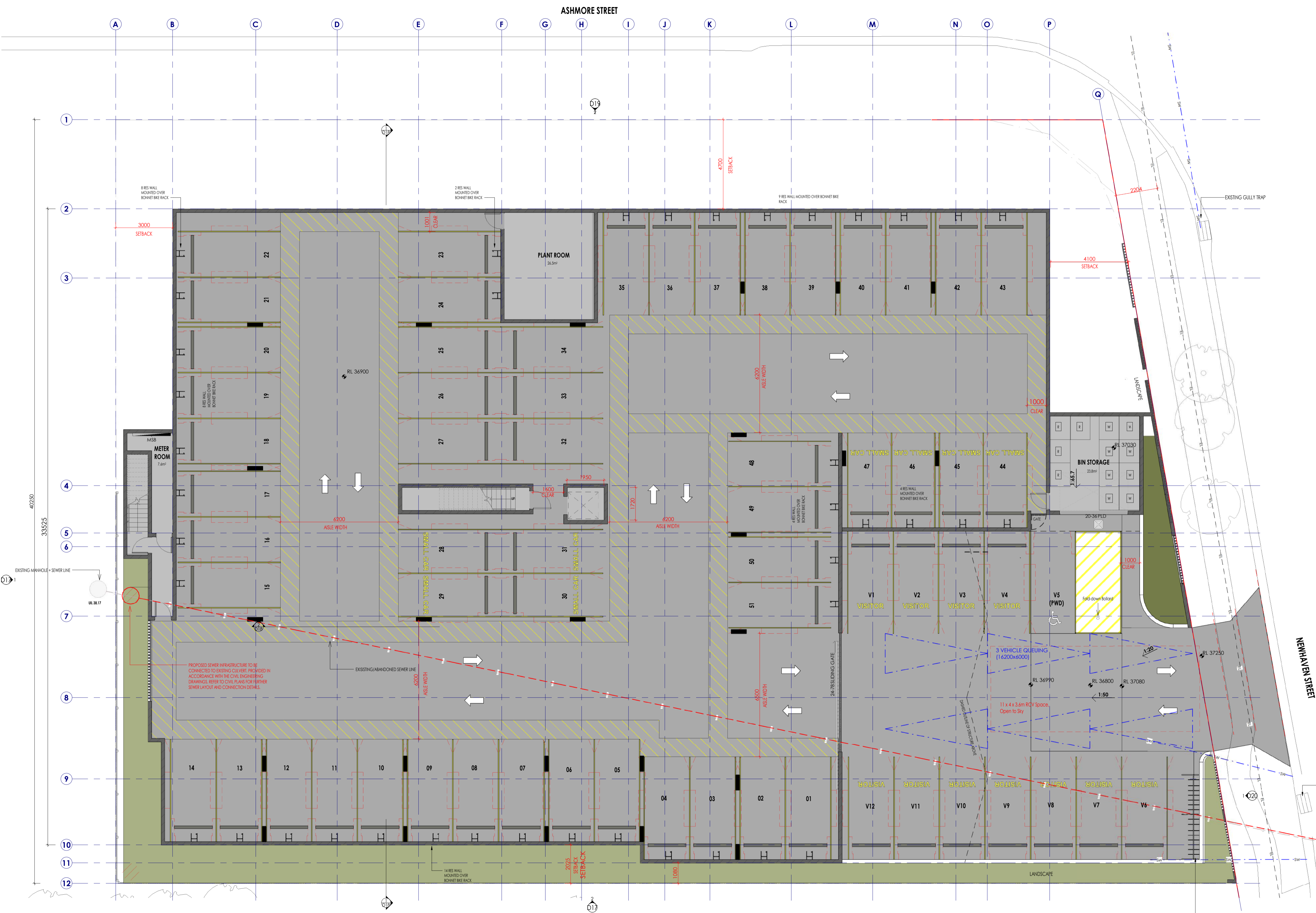
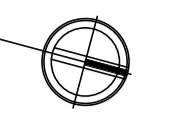
European Oak Interior Finishes



Typical Internal Painted Surfaces

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SITE 2-6 ASHMORE STREET EVERTON PARK, QLD 4053 PROJECT UNIT DEVELOPMENT CLIENT CAB PROJECTS DRAWING TITLE MATERIAL SHEET	
DESIGNED B.D.H. CHECKED B.D.H. DRAWN MS PROJECT NO. 18060	SCALE OF A1 STAGE - EQLD DA - 03 DATE 18/05/2026 PAGE NO. D09 OF 27



NOTE: Smoke Alarms to be photoelectric to AS3786-2014 and hardwired and interconnected. Provide Smoke Alarms to all bedrooms, halls and each floor as per QFES & QLD building regulations.

NOTE: Mechanical Ventilation to B.C.A. Part 3.8.5. Duct externally.

NOTE: Waste collection scheduled to weekly (2 pickups/week) to service 8 + 110L bins. Waste room capacity exceeds weekly refuse generation for 51 + 1 bed units under B.C.C. rates.

Floor Area	
BALCONY	622.7 m ²
BIKE STORAGE	55.8 m ²
BIN STORAGE	17.9 m ²
CAR PARK	1254.1 m ²
MAINTENANCE	34.1 m ²
UNIT	2255.6 m ²
	4240.2 m ²
COMMON	
COMMON AREA	495.2 m ²
DRIVEWAY	139.6 m ²
LIFT & STAIRS	84.8 m ²
ROOFTOP GARDEN	0.0 m ²
VISITOR PARKING	178.1 m ²
	897.8 m ²
Grand total	5137.9 m²

PARKING PROVISIONS	
1 SPACE PER BEDROOM DWELLING	51
0.25 SPACE PER DWELLING FOR VISITOR PARKING	12.75
TOTAL CAR PARKS REQUIRED	63.75

PARKING SCHEDULE	
STANDARD CAR BAY	43
SMALL CAR BAY	8
PWD CAR BAY	1
VISITOR CAR BAY	11
TOTAL CAR PARKS	64

BICYCLE PROVISIONS	
1 SPACE PER BEDROOM DWELLING	51
0.25 SPACE PER DWELLING FOR VISITOR PARKING	12.75
TOTAL BIKE SPACE REQUIRED	63.75

BICYCLE SCHEDULE	
OVER BONNET WALL MOUNTED BIKE RACK	41
VISITOR STANDING BIKE RACK	23
TOTAL BIKE SPACES	64

BINS - REFUSE	
BIN GENERAL	4 x 1100L BIN
BIN RECYCLING	4 x 1100L BIN

**2-6 ASHMORE STREET
 EVERTON PARK, QLD 4053**
 UNIT DEVELOPMENT
 CAB PROJECTS
 BASEMENT FLOOR PLAN
 SCALE OF ALL: 1:100
 DESIGNED BY: B.D.H.
 CHECKED BY: B.D.H.
 DRAWN BY: JMS
 PROJECT NO: 18060
 DATE: 18/05/2024
 PAGE NO: D10 OF 27
 1:100 1 3 0 0 1 3 3 9 1 7
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1
 BASEMENT FLOOR PLAN
 Scale: 1:100

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NOTE: Smoke Alarms to be photoelectric to AS3786-2014 and hardwired and interconnected. Provide Smoke Alarms to all bedrooms, halls and each floor as per GFES & QLD building regulations.

NOTE: Mechanical Ventilation to B.C.A. Part 3.8.5. Duct externally.

NOTE: Units 104-108 are designated as Multiple Dwellings and are intended for permanent residential occupation only. These units have been nominated in response to Council's request to provide a minimum of three units for permanent Multiple Dwelling use.

The amended plans clearly identify the location of the duct-use and permanent Multiple Dwelling units through updated floor plans and elevations, with all unit numbers and use classifications clearly marked. This ensures clarity in future use, and ongoing management of the development.

Floor Area	
BALCONY	622.7 m ²
BIKE STORAGE	55.8 m ²
BIN STORAGE	17.9 m ²
CAR PARK	1254.1 m ²
MAINTENANCE	34.1 m ²
UNIT	2255.6 m ²
	4240.2 m ²
COMMON	
COMMON AREA	495.2 m ²
DRIVEWAY	139.6 m ²
LIFT & STAIRS	84.8 m ²
ROOFTOP GARDEN	0.0 m ²
VISITOR PARKING	178.1 m ²
	897.8 m ²
Grand total	5137.9 m ²



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2-6 ASHMORE STREET
 EVERTON PARK, QLD 4053
 PROJECT
 UNIT DEVELOPMENT
 CAB PROJECTS

PREPARED BY
GROUND FLOOR PLAN

DESIGNED BY
B.D.H.

SCALE OF PLAN
1:100

STAGE OF DRAWING
DA - 03

DRAWN BY
MS

DATE
18/05/2026

PROJECT NO.
18060

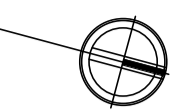
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D11

OF
27

1:100 1 300 1 330 1 330 9 17

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1 GROUND FLOOR PLAN
 Scale: 1 : 100



NOTE: Smoke Alarms to be photoelectric to AS3786-2014 and hardwired and interconnected. Provide Smoke Alarms to all bedrooms, halls and each floor as per GFES & QLD building regulations.

NOTE: Mechanical Ventilation to B.C.A. Part 3.8.5. Duct externally.

Floor Area	
BALCONY	622.7 m ²
BIKE STORAGE	55.8 m ²
BIN STORAGE	17.9 m ²
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MAINTENANCE	34.1 m ²
UNIT	2255.6 m ²
	4240.2 m ²
COMMON	
COMMON AREA	495.2 m ²
DRIVEWAY	139.6 m ²
LIFT & STAIRS	84.8 m ²
ROOFTOP GARDEN	0.0 m ²
VISITOR PARKING	178.1 m ²
	897.8 m ²
Grand total	5137.9 m ²

1 FIRST FLOOR PLAN
Scale: 1 : 100

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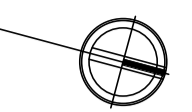
2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
PROJECT
UNIT DEVELOPMENT
CAB PROJECTS

DESIGNED BY
B.D.H.
ENGINEER
B.D.H.
DRAWN BY
MS
PROJECT NO.
18060

SCALE OF PLAN
1 : 100
STAGE - ISSUE
DA - 03
DATE
18/05/2026
PAGE NO.
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NOTE: Smoke Alarms to be photoelectric to AS3786:2014 and hardwired and interconnected. Provide Smoke Alarms to all bedrooms, halls and each floor as per QFES & QLD building regulations.

NOTE: Mechanical Ventilation to B.C.A. Part 3.8.5. Duct externally.

Floor Area	
BALCONY	622.7 m ²
BIKE STORAGE	55.8 m ²
BIN STORAGE	17.9 m ²
CAR PARK	1254.1 m ²
MAINTENANCE	34.1 m ²
UNIT	2255.6 m ²
	4240.2 m ²
COMMON	
COMMON AREA	495.2 m ²
DRIVEWAY	139.6 m ²
LIFT & STAIRS	84.8 m ²
ROOFTOP GARDEN	0.0 m ²
VISITOR PARKING	178.1 m ²
	897.8 m ²
Grand total	5137.9 m ²



1 LVL 2 PLAN
Scale: 1:100

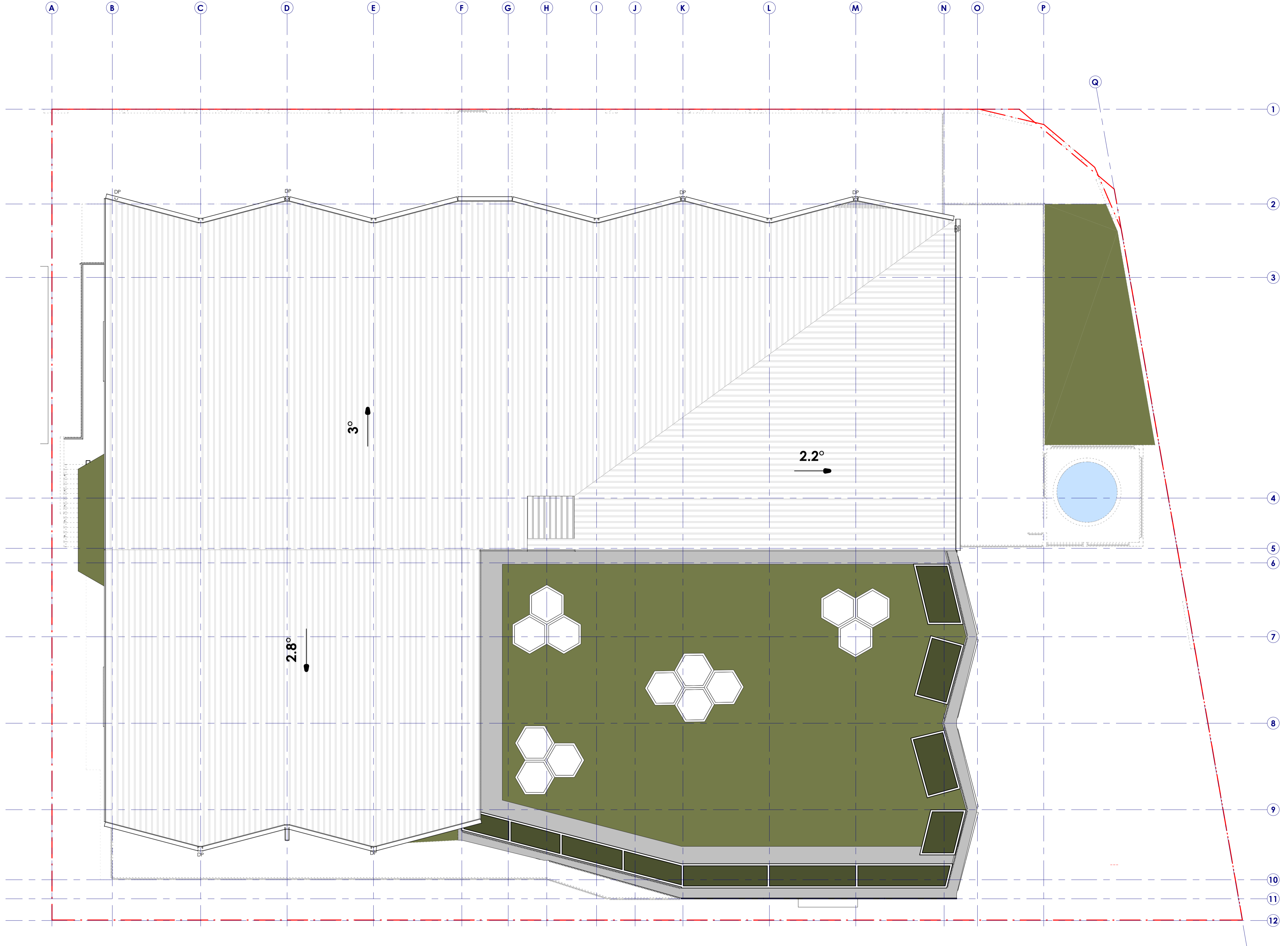
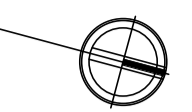
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2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
PROJECT
UNIT DEVELOPMENT
CAB PROJECTS

PREPARED BY
SECOND FLOOR PLAN

DESIGNED	SCALE OF PLAN
B.D.H.	1:100
ENGINEER	STAGE: ISSUE
B.D.H.	DA - 03
DRAWN	DATE
MS	18/05/2026
PROJECT NO.	PAGE NO.
18060	D13 OF 27

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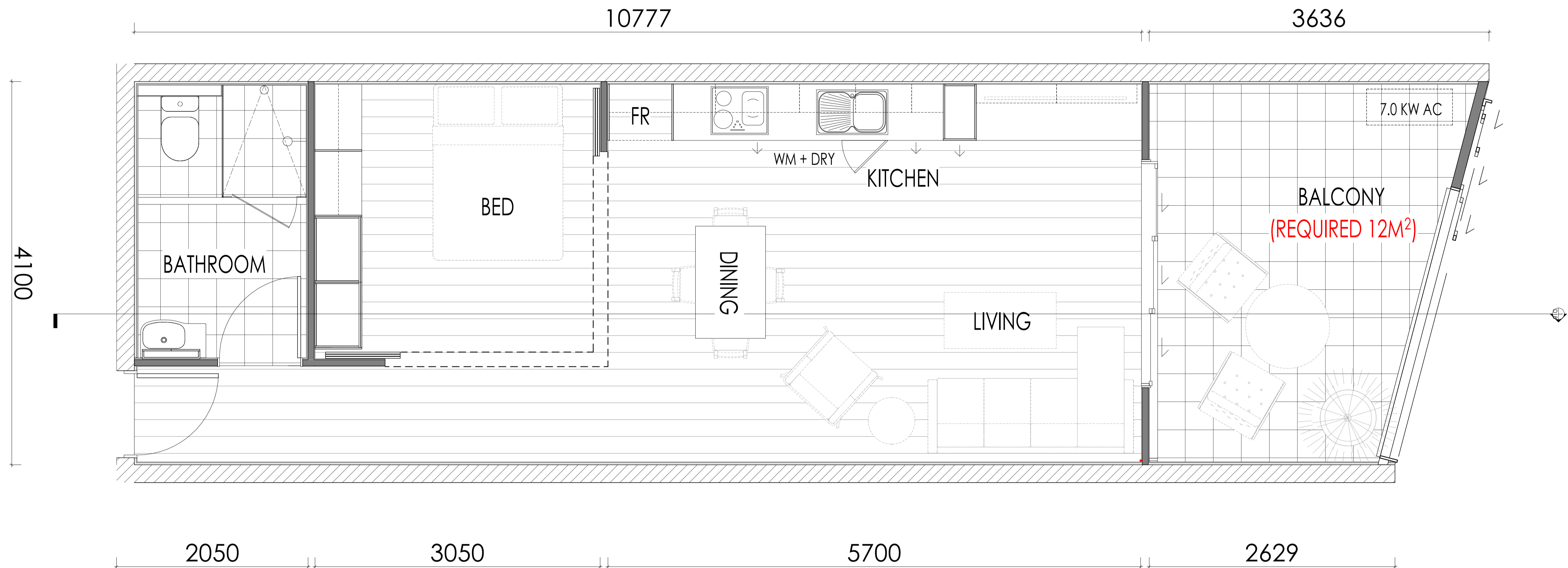


1
17
ROOF PLAN
Scale: 1:100

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2-6 ASHMORE STREET	
EVERTON PARK, QLD 4053	
UNIT DEVELOPMENT	
CAB PROJECTS	
ROOF PLAN	
DESIGNED B.D.H.	SCALE OF PLAN 1:100
DRAWN MS	STAGE DA - 03
PROJECT NO. 18060	DATE 18/05/2026
PAGE NO. D14	OF 27

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1
17
Typical Floor Plan
Scale: 1:25

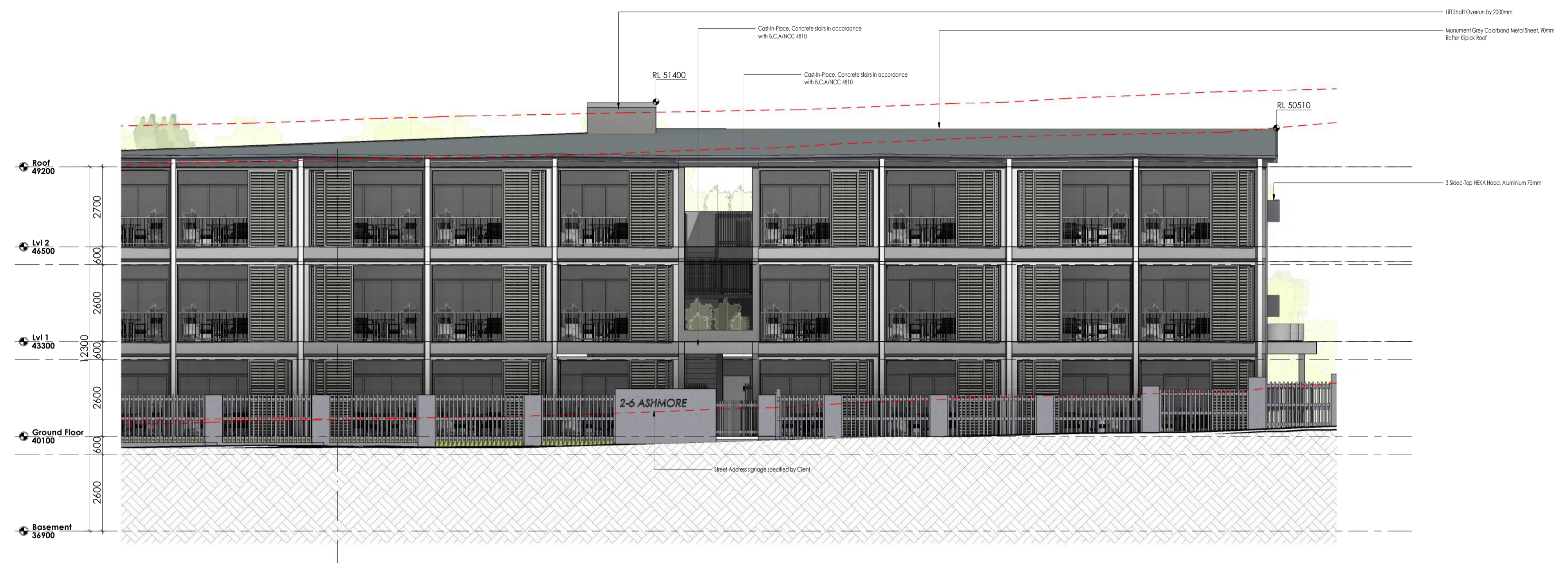
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2-6 ASHMORE STREET
 EVERTON PARK, QLD 4053
 PROJECT
 UNIT DEVELOPMENT
 2024
 CAB PROJECTS

DRAWING TITLE
 TYPICAL POD FLOOR PLAN

DESIGNED B.D.H.	SCALE OF ALL 1 : 25
DRAWN B.D.H.	STAGE - 03 DA - 03
DATE 18/05/2026	
PROJECT NO. 18040	PAGE NO. D15 OF 27

0 0.25 0.5 0.75 1 1.25M
 1:25 1 3 0 0 1 3 3 9 1 7
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2 West Elevation
Scale: 1 : 100



1 North Elevation
Scale: 1 : 100

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2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
PROJECT
UNIT DEVELOPMENT
2024
CAB PROJECTS

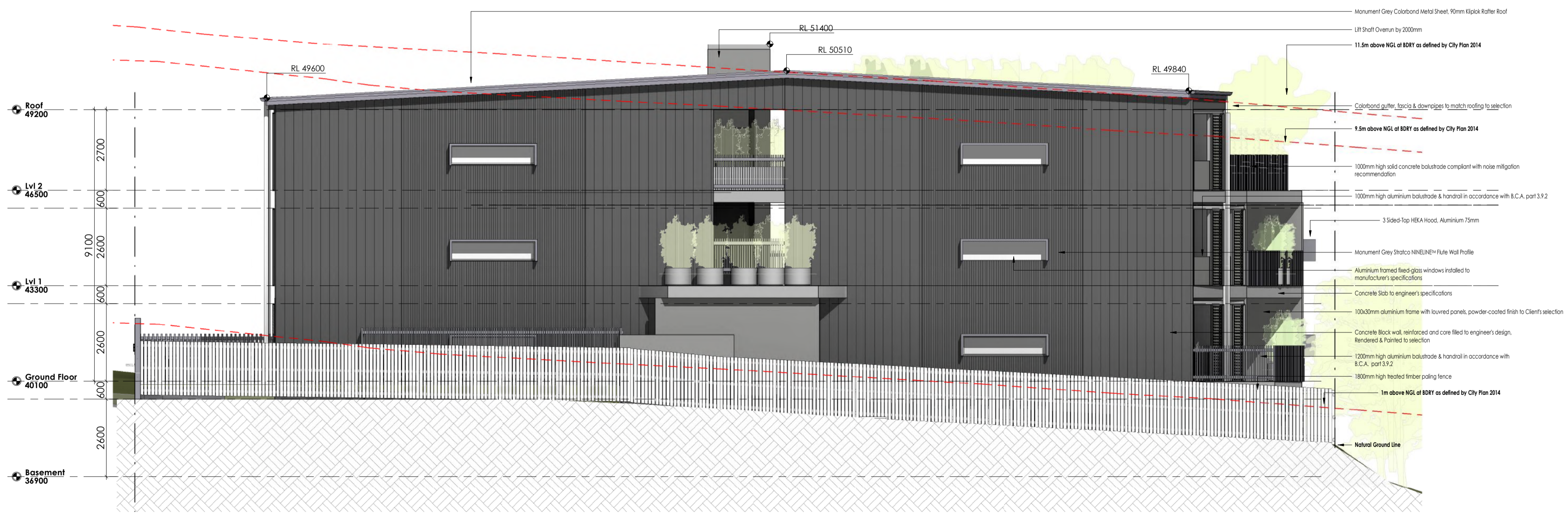
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ELEVATIONS NORTH & WEST

DESIGNED	SCALE OF A1
B.D.H.	1 : 100
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B.D.H.	DA - 03
MS	DATE
18/05/2026	
PROJECT NO.	PAGE NO.
18060	D16 OF 27

0 1 2 3 4 5M
1:100 1 3 0 0 1 3 3 9 1 7
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2 East Elevation
Scale: 1 : 100



1 South Elevation
Scale: 1 : 100

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18/06/2026
APPLICATION REF
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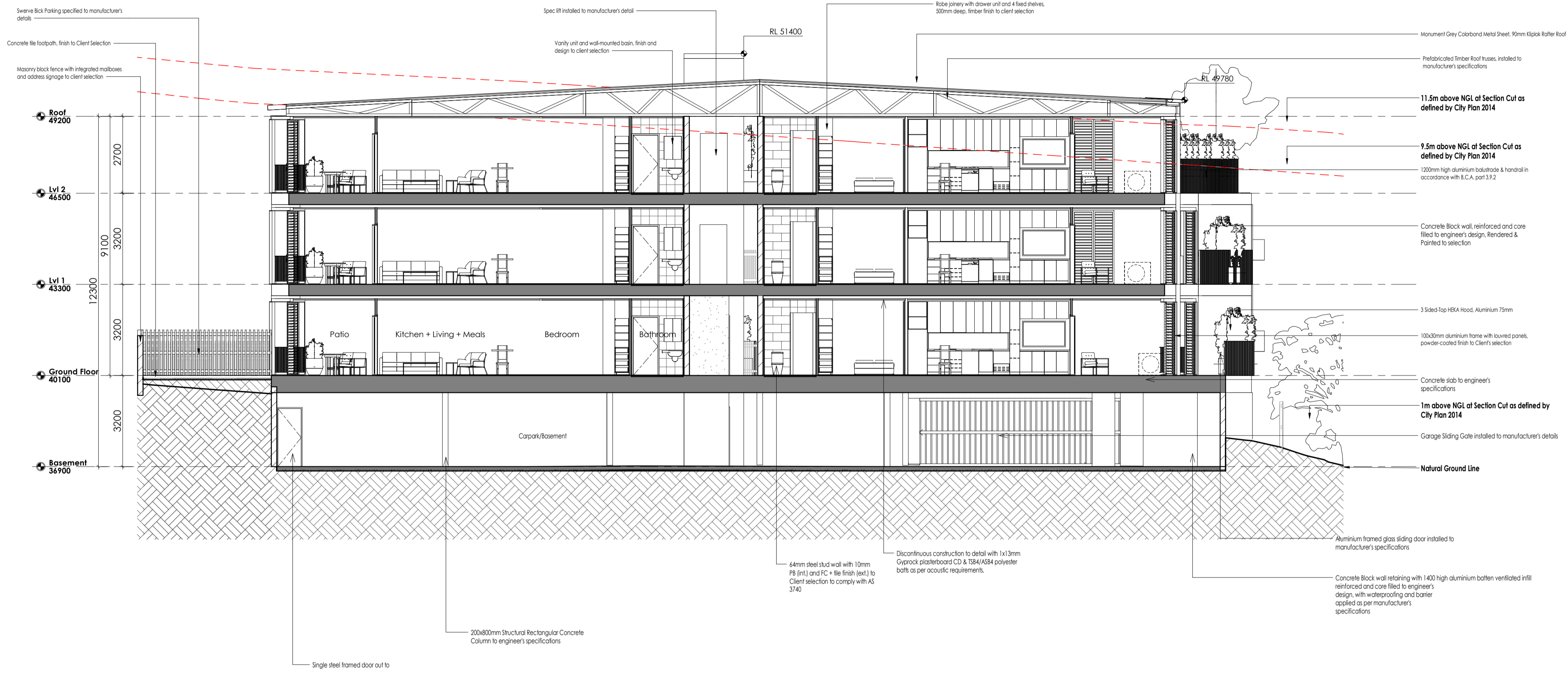
2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
PROJECT
UNIT DEVELOPMENT
CAB PROJECTS

DESIGNED BY
B.D.H.
DRAWN BY
MS
PROJECT NO.
18060

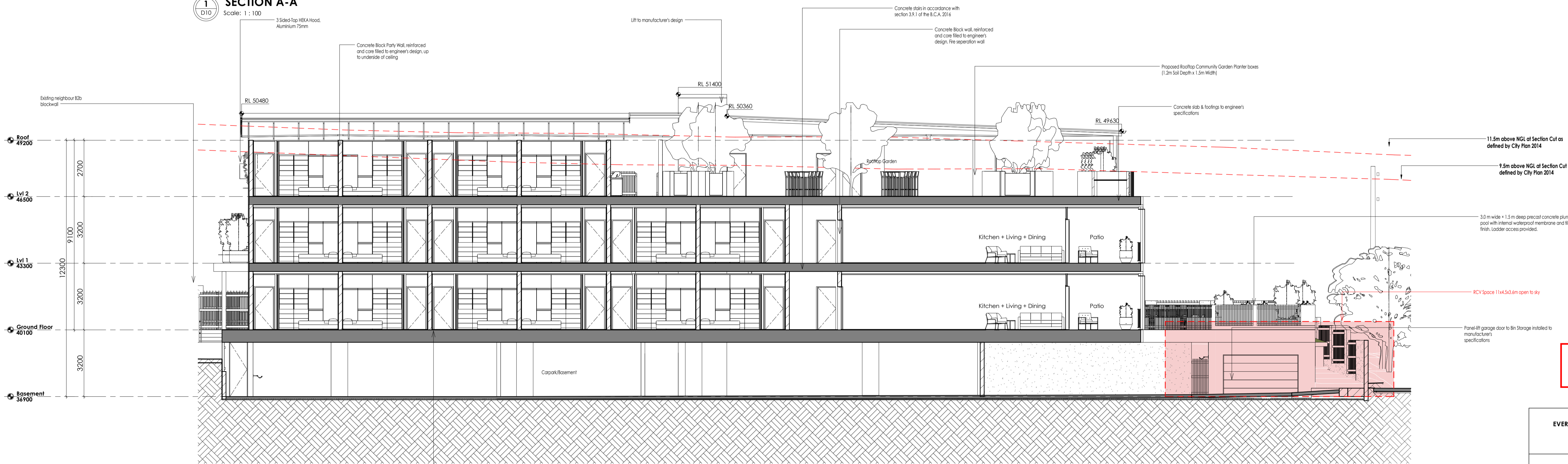
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STAGE - ISSUE
DA - 03
DATE
18/05/2026
PAGE NO.
D17 OF 27

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info@mercury-design.com

- SECTION NOTES**
- 1) CONCRETE SLAB, BLOCKWORK & FOOTING DESIGN TO ENGINEER SPECIFICATION ON 0.2mm POLYETHYLENE MEMBRANE SHEET & 50mm MINIMUM SAND BEDDING
 - 2) 200 SERIES BLOCKWORK CORE FILLED AND REINFORCED TO ENGINEER'S SPECIFICATION
 - 3) DISCONTINUOUS CONSTRUCTION TO DETAIL WITH 1x13mm GYPSOCK PLASTERBOARD CD & T84/AS4 POLYESTER BATS AS PER ACCIDENTAL REQUIREMENTS
 - 4) PARTY WALL TO EXTEND TO UNDERSIDE OF ROOF SHEET FIRE PROOF MINERAL WOOL OVER WHERE NOT PROVIDED
 - 5) EXTERNAL BLOCK WALLS RENDERED & PAINTED TO SELECTION WITH EXPRESSED ARTICULATION JOINTS AS SHOWN
 - 6) 10mm PLASTERBOARD LINING TO INTERNAL 70/90mm STUD PARTITION WALLS
 - 7) 10mm PLASTERBOARD LINING ON 28mm METAL BATTENS TO BLOCK WALLS (NON PARTY WALLS)
 - 8) COLORBOND DUPLOK 700 ROOFING @ 1.5° PITCH WITH 75 ANTI-CON BLANKET OR SIMILAR INSULATION TO SELECTION OVER METAL PURSING PRODUCTS ON TIMBER TRUSSES TO MANUFACTURER SPECIFICATIONS @ 900c/s WITH 10mm PLASTERBOARD CEILING TO 28mm METAL CEILING BATTENS @ 450c/s
 - (NOTE: BATTENS MAY NEED TO BE INSTALLED @ 400c/s TO COMPLY WITH WORKPLACE HEALTH & SAFETY REQUIREMENTS IF NO OTHER METHOD OF FALL ARREST IS ADDRESSED)
 - 9) COLORBOND GUTTER AND DOWNPIPES TO MATCH ROOFING TO SELECTION, OPTION TIMBER OR COLORBOND FASCIA TO MATCH ROOFING
 - 10) ALL JOINERY AT 2100/2400 HEAD HEIGHT (B.N.Q) TO SELECTION
 - 11) VERTICAL ALUMINIUM BLADE SCREENING WITH FINISH TO CLIENT SELECTION
 - 12) TREADS & RISERS TO COMPLY WITH 8.C.A. PART 3.9.1.4 BALUSTRADE & HANDRAILS TO COMPLY WITH 8.C.A. PART 3.9.1.5
 - 13) FULL TERMITE TREATMENT SYSTEM TO A.S. 3640 BY LICENSED INSTALLER (SYSTEM TO PROVIDE 30 YEAR SERVICE GUARANTEE)



SECTION A-A
Scale: 1 : 100



SECTION B-B
Scale: 1 : 100

Concrete Block wall retaining, reinforced and core filled to engineer's design, with waterproofing and barrier applied as per manufacturer's specifications

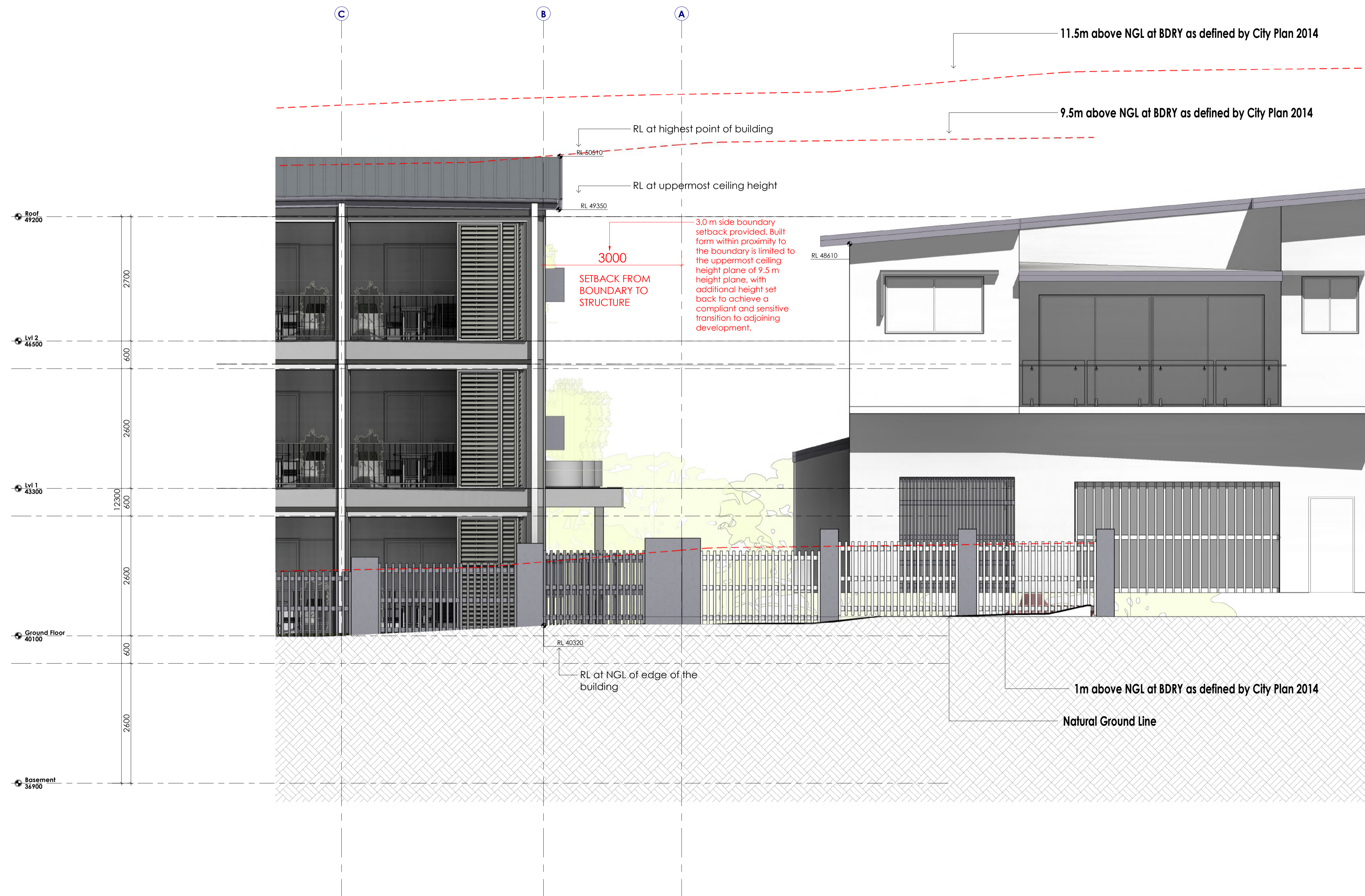
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2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
UNIT DEVELOPMENT
CAB PROJECTS

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ENGINEERED B.D.H.	STAGE - ISSUE DA - 03
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ASHMORE STREET ELEVATION - ADJOINING BUILDING IMPACT



NOTE: The proposed development is three storeys for the purposes of assessment. The basement level is fully contained below natural ground level along the southern side of the site and is therefore not counted as a storey.

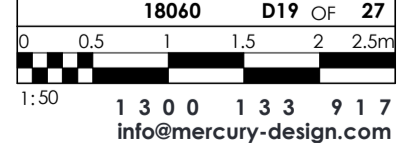
In areas where the basement becomes partially exposed due to site topography, the building form correspondingly steps down in height and storey, with the uppermost level resolving as an open rooftop space rather than an additional storey. At no point does the development exceed a three-storey built form.

The overall building height—measured from natural ground level to the uppermost ceiling point of the top storey—is approximately 9.5 m, remaining below the maximum 11.5 m permitted under Brisbane City Plan 2014. Accordingly, the proposal complies with the applicable building height and storey provisions and does not present as an over-scaled built form.

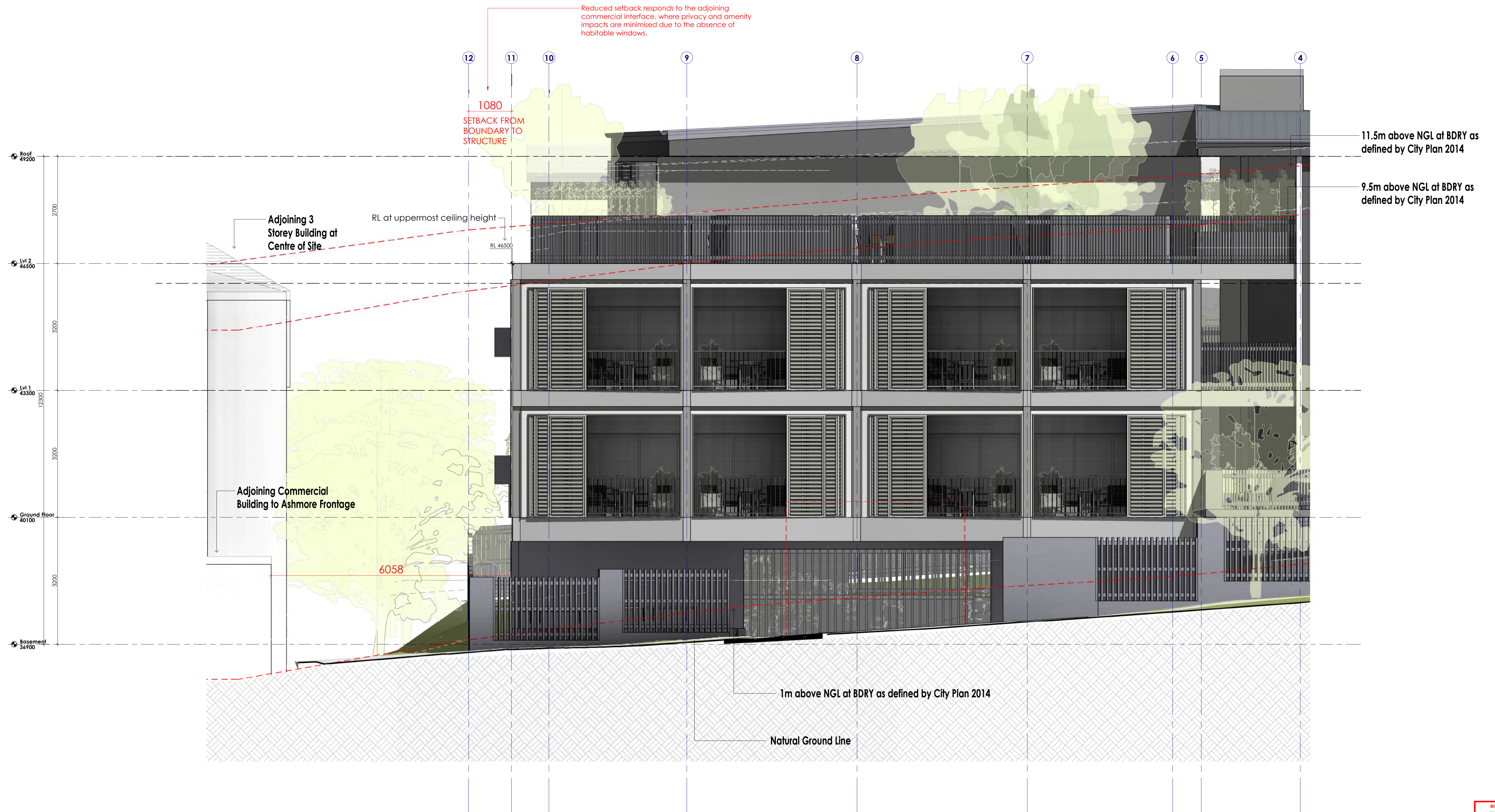
In response to the interface with the southern adjoining dwelling, the development provides side boundary setbacks that are consistent with the outcomes sought under PO3 and PO4 of the Multiple Dwelling Code. The setbacks provide adequate separation to manage building bulk and scale at the residential interface. The submitted elevations and shadow studies demonstrate that the development avoids unreasonable visual and sunlight impacts on the adjoining dwelling, consistent with the intent of PO3 and PO4.

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2-6 ASHMORE STREET EVERTON PARK, QLD 4053	
UNIT DEVELOPMENT	
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ADJOINING BUILDING IMPACT	
DESIGNED B.D.H.	SCALE OF 1:50
DRAWN MS	STAGE DA - 03
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NEWHAVEN STREET ELEVATION - ADJOINING BUILDING IMPACT



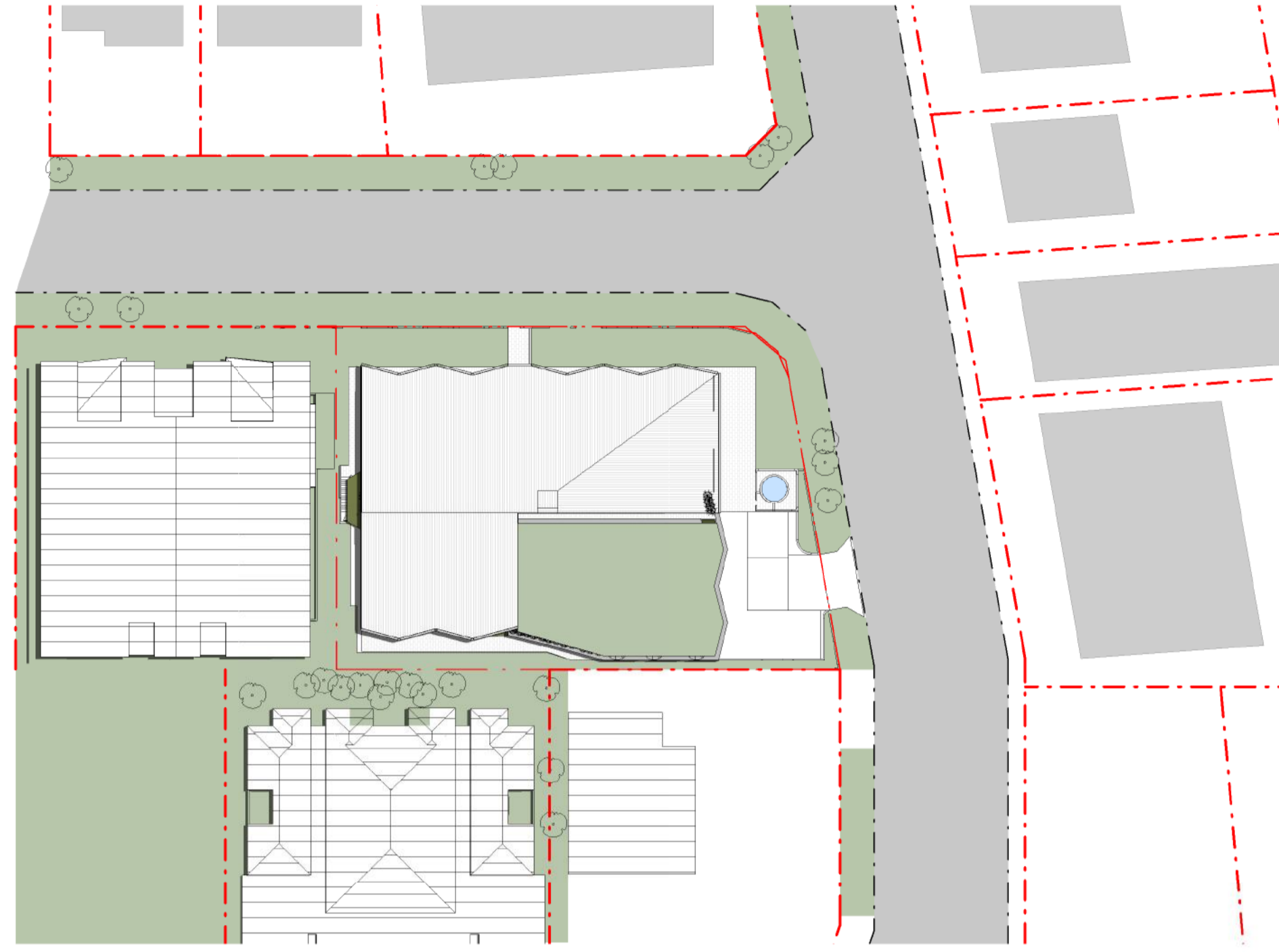
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PROJECT UNIT DEVELOPMENT	
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DRAWING TITLE ADJOINING BUILDING IMPACT 2	
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Compliant Building Height (11.5m Maximum Total Building Height)



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COMPLIANT



SUMMER SOLSTICE (DECEMBER 22) 12:00PM
COMPLIANT

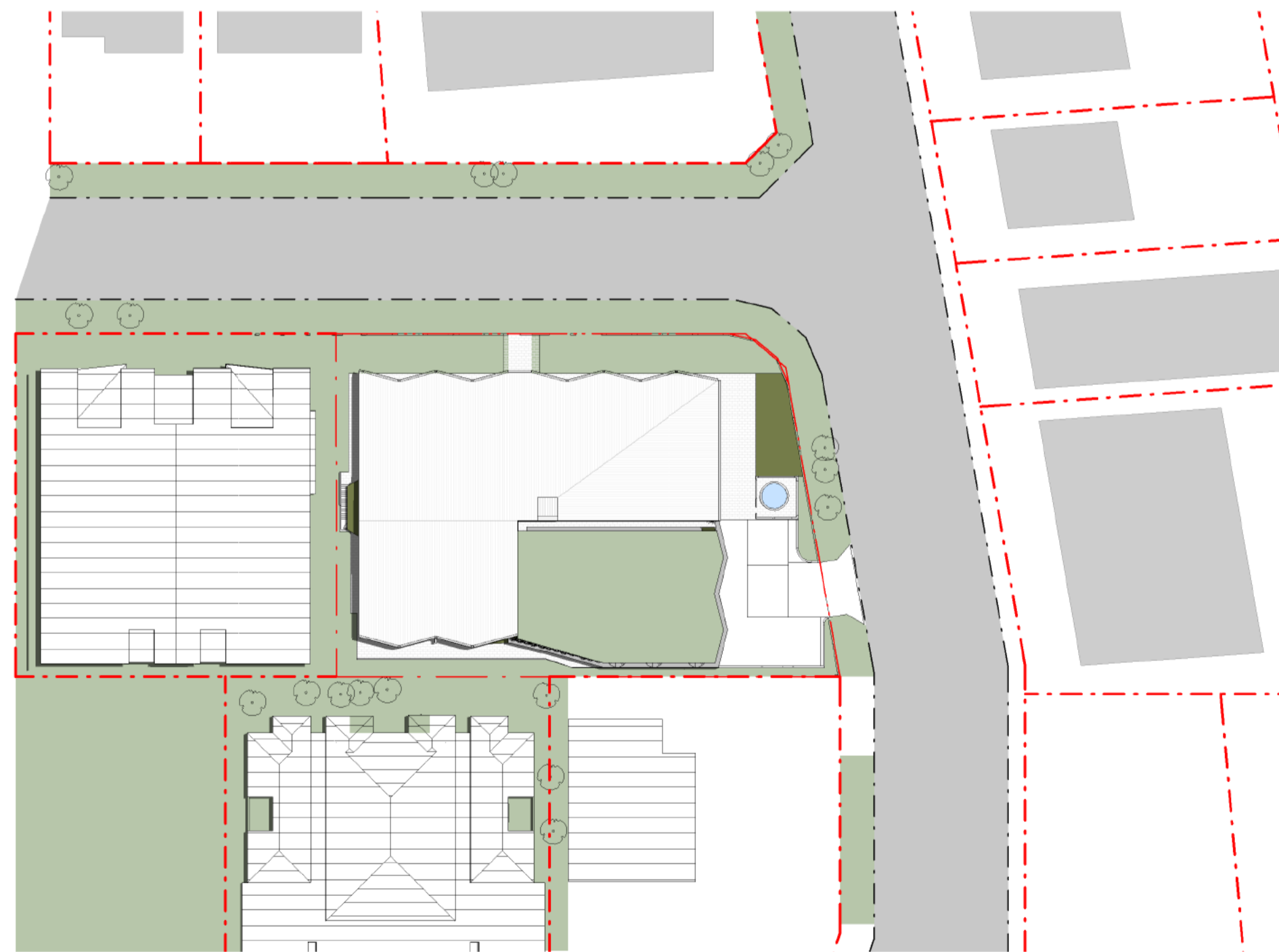


SUMMER SOLSTICE (DECEMBER 22) 03:00PM
COMPLIANT

Proposed Building Height (11.5m Maximum Ceiling Height)



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PROPOSED



SUMMER SOLSTICE (DECEMBER 22) 12:00PM
PROPOSED



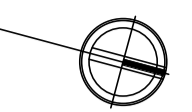
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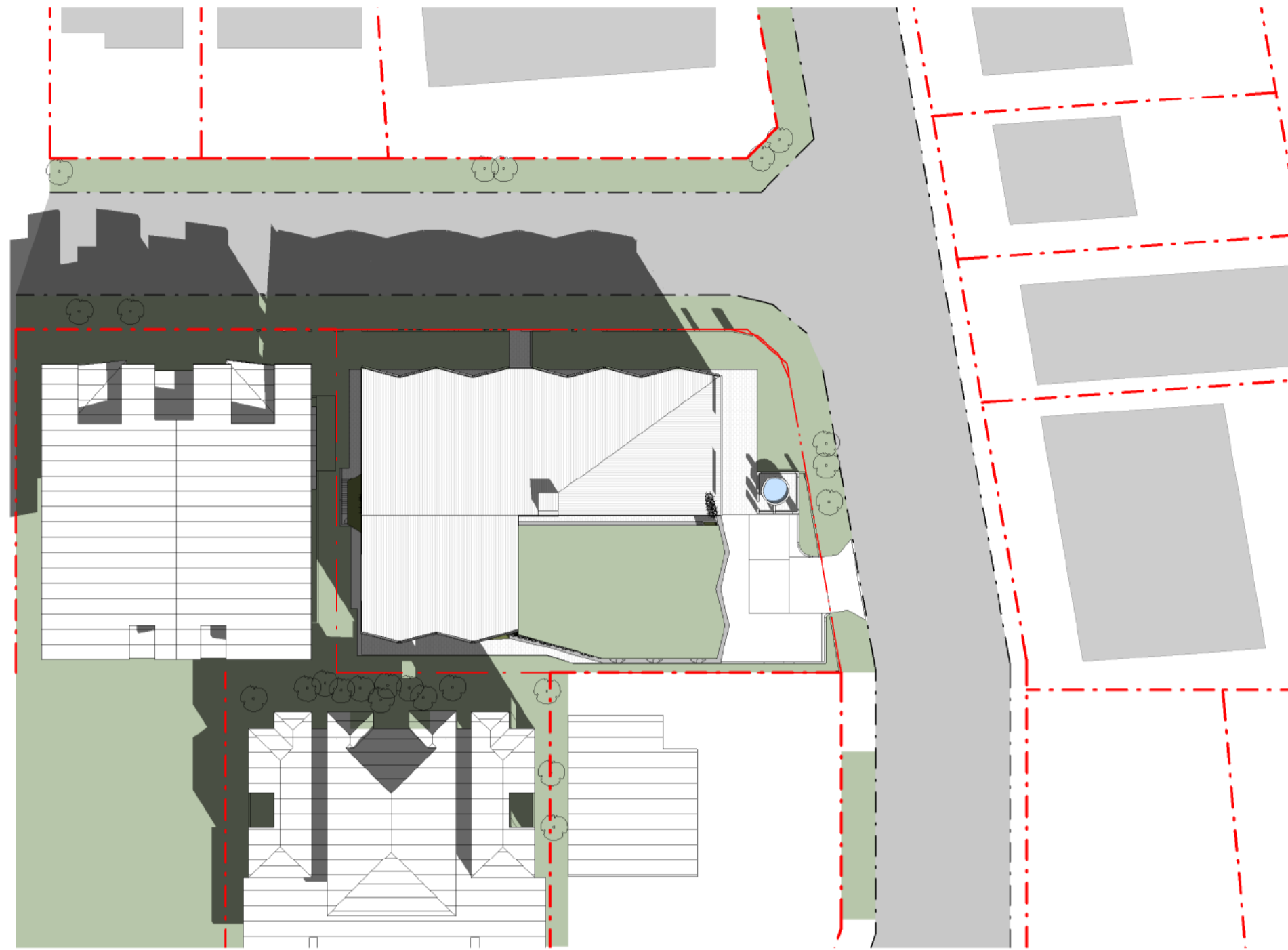
2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
UNIT DEVELOPMENT
CAB PROJECTS

SHADOW STUDY SUMMER

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B.D.H.	1:600
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B.D.H.	DA - 03
DATE	DATE
MS	18/05/2026
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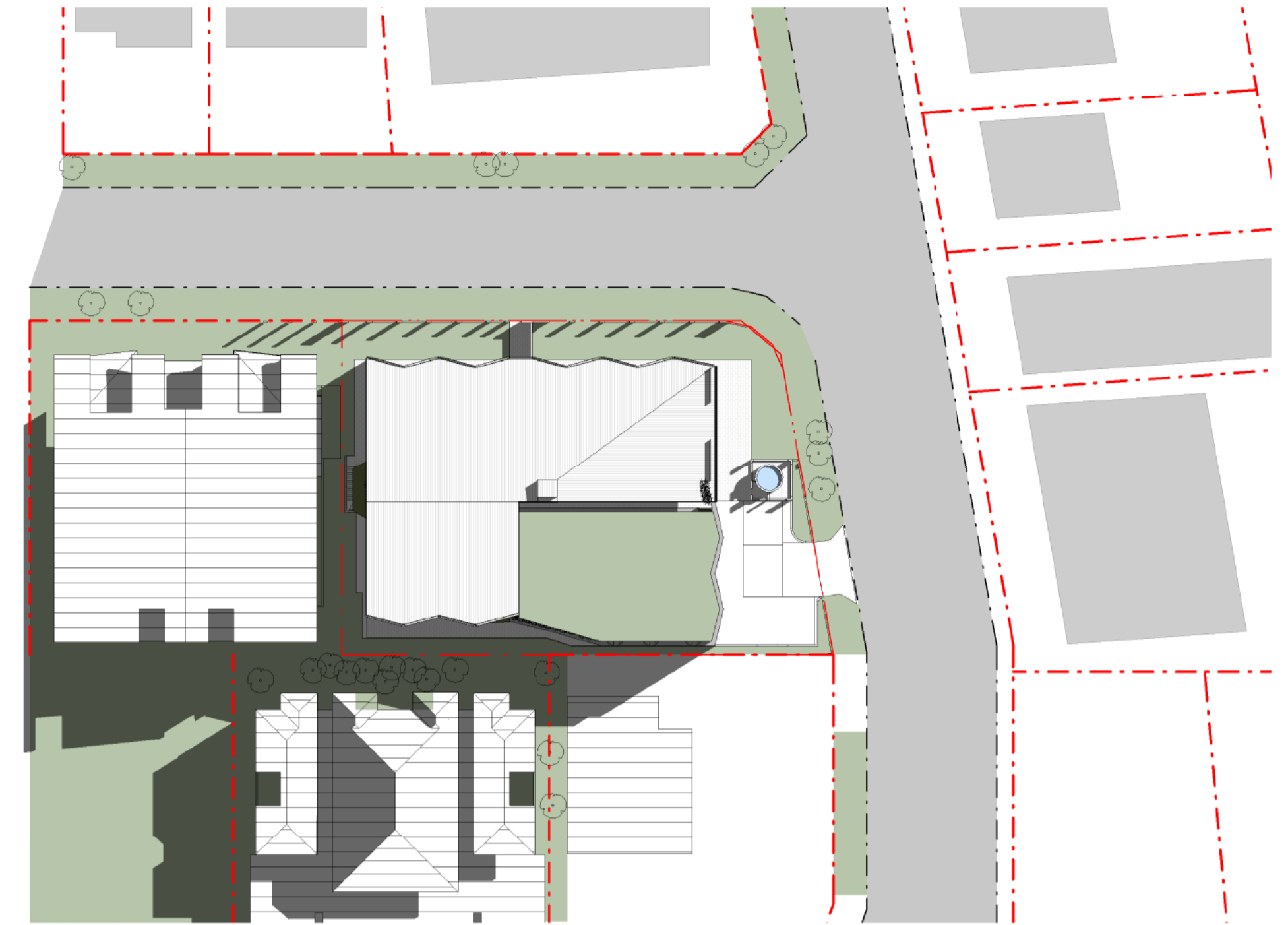
Compliant Building Height (11.5m Maximum Total Building Height)



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COMPLIANT



WINTER SOLSTICE (DECEMBER 22) 12:00PM
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WINTER SOLSTICE (DECEMBER 22) 03:00PM
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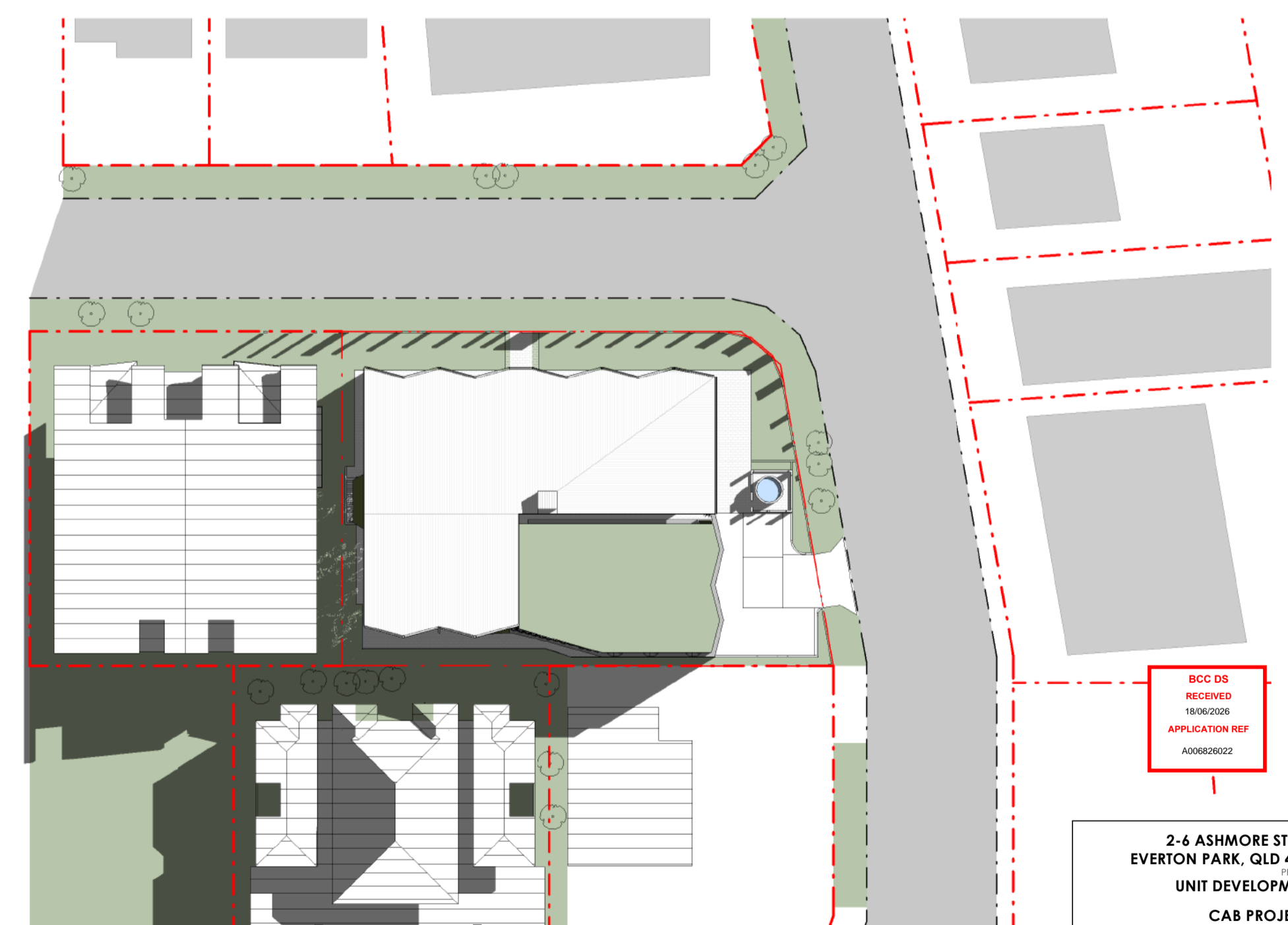
Proposed (11.5m Maximum Ceiling Height)



WINTER SOLSTICE (DECEMBER 22) 09:00AM
PROPOSED



WINTER SOLSTICE (DECEMBER 22) 12:00PM
PROPOSED



WINTER SOLSTICE (DECEMBER 22) 03:00PM
PROPOSED

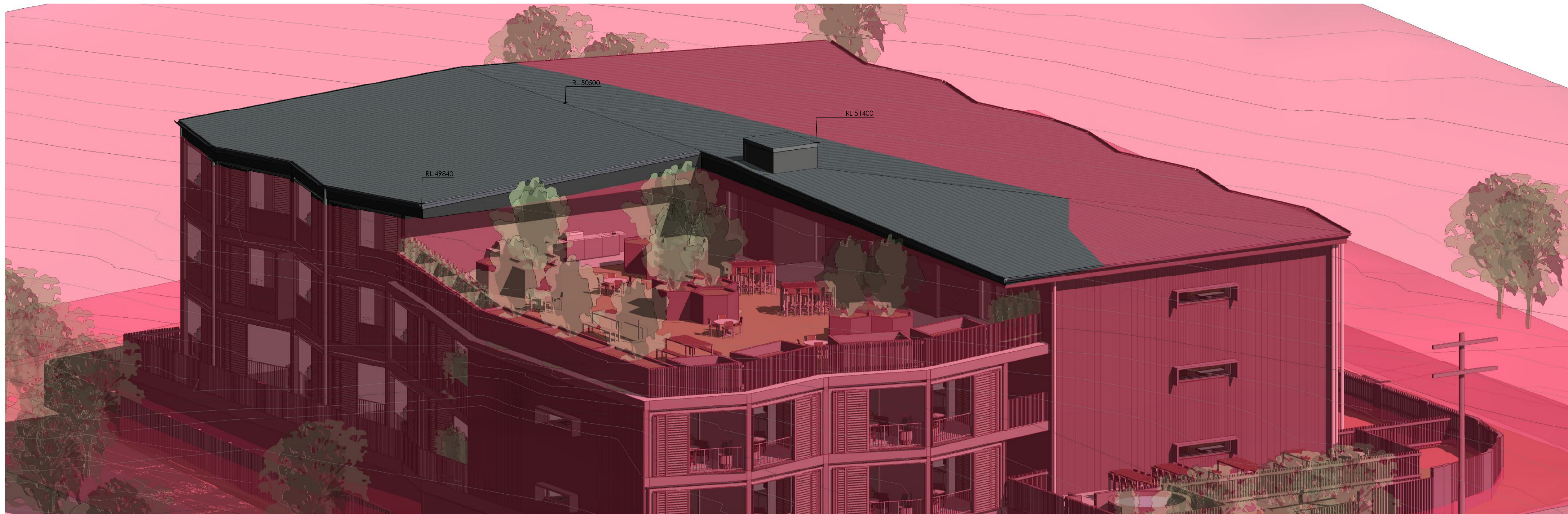
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2-6 ASHMORE STREET
EVERTON PARK, QLD 4053
UNIT DEVELOPMENT
CAB PROJECTS

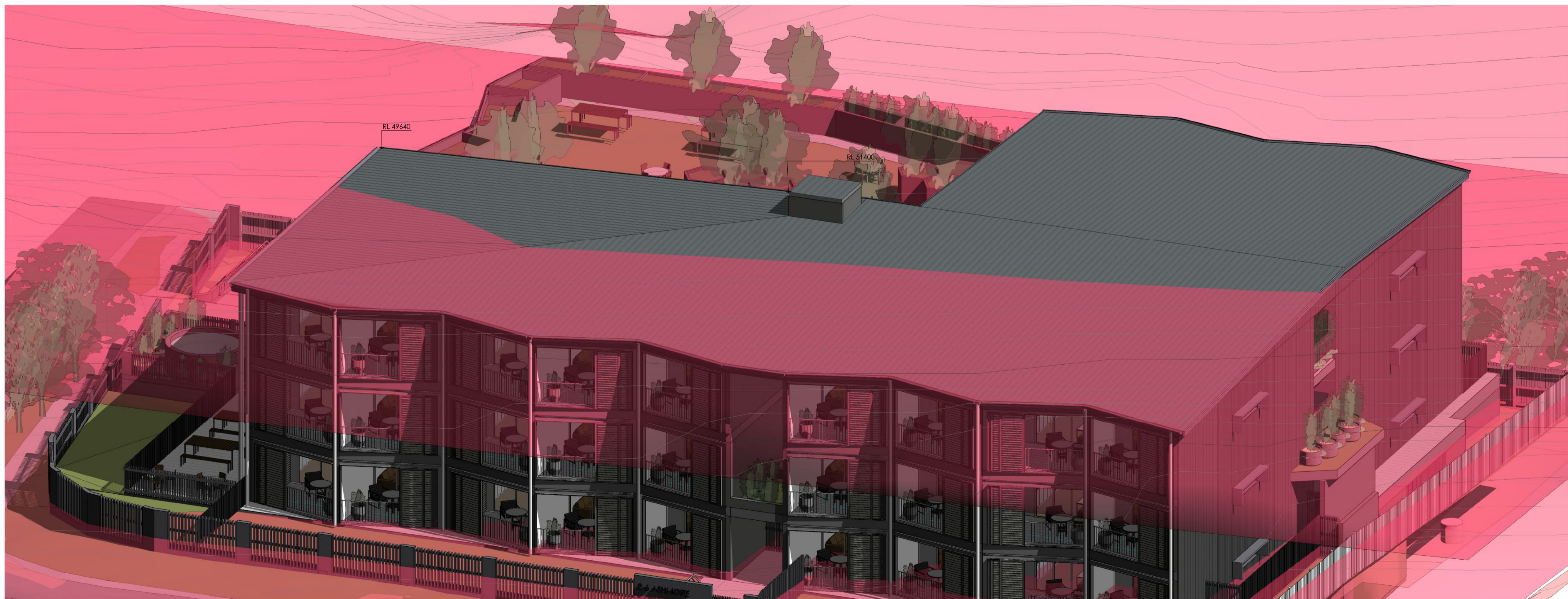
SHADOW STUDY WINTER

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B.D.H.	DA - 03
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1 PROJECTION THROUGH 11.5 NGL WITH ROOF
 Scale:



2 PROJECTION THROUGH 11.5 NGL WITH ROOF 2
 Scale:

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2-6 ASHMORE STREET EVERTON PARK, QLD 4053	
PROJECT UNIT DEVELOPMENT	
CLIENT CAB PROJECTS	
DRAWING TITLE PROJECTION THROUGH 11.5NGL WITH ROOF	
DESIGNED B.D.H.	STAGE - 02
CHECKED B.D.H.	DA - 02
DRAWN MS	DATE 04/02/2026
PROJECT NO. 18060	PAGE NO. D23 OF 27

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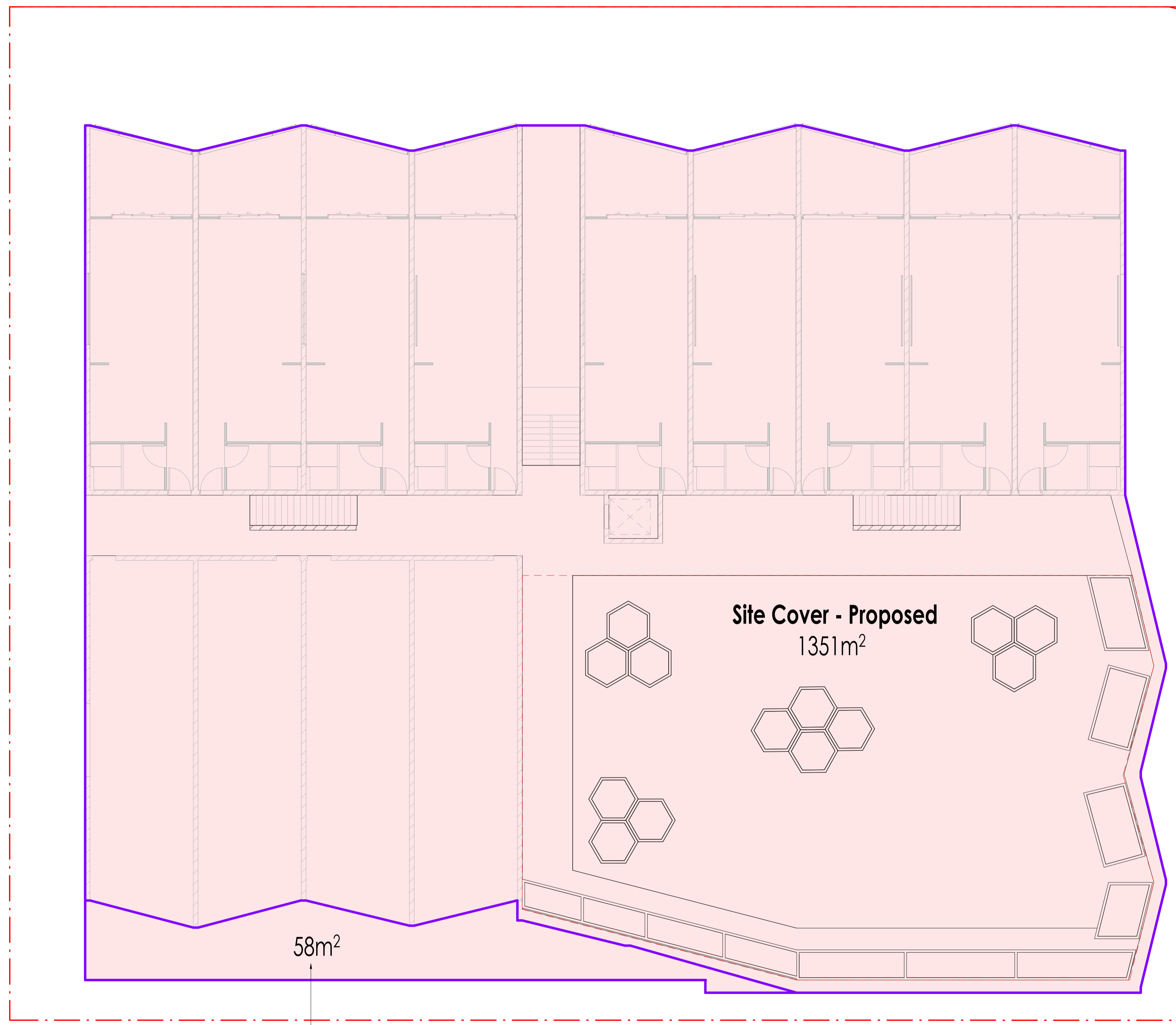
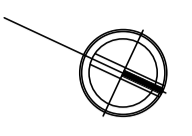
1 PROJECTION THROUGH 11.5 NGL AT UPPERMOST CEILING
 Scale:



2 PROJECTION THROUGH 11.5 NGL AT UPPERMOST CEILING 2
 Scale:

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2-6 ASHMORE STREET EVERTON PARK, QLD 4053	
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CAB PROJECTS	
DRAWING TITLE PROJECTION THROUGH 11.5NGL AT UPPERMOST CEILING	
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58m²

Site Cover - Proposed
1351m²

The additional 58m² site cover represents a worst-case calculation outcome, arising from a portion of the basement being located above Natural Ground Level (NGL). Due to the site's fall in this area, the basement would otherwise be wholly underground and excluded from site cover calculations

Site Cover - Method of Measurement

Site Cover as defined by Brisbane City Plan 2014:

The proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

The term does not include:

- (a) any gazebo or part thereof included in a landscaped open space area such as a gazebo or shade structure
- (b) basement car parking areas located wholly below ground level
- (c) eaves and sun shading devices

Site Cover Calculations:- Proposed

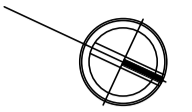
Site area: 2228m²
 Site cover: 1351m² / 1440m²

Site cover = 60% / 63%

The increased site cover is offset through a comprehensive landscape response incorporating deep planting, mature canopy vegetation, and rooftop garden areas supported by substantial planter boxes measuring 1.2m in depth and 1.5m in width, collectively providing effective shading, improving microclimatic performance, enhancing visual amenity, and supporting the usability of communal outdoor spaces.

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DRAWING TITLE SITE COVER	
DESIGNED B.D.H.	SCALE OF A1 1:100
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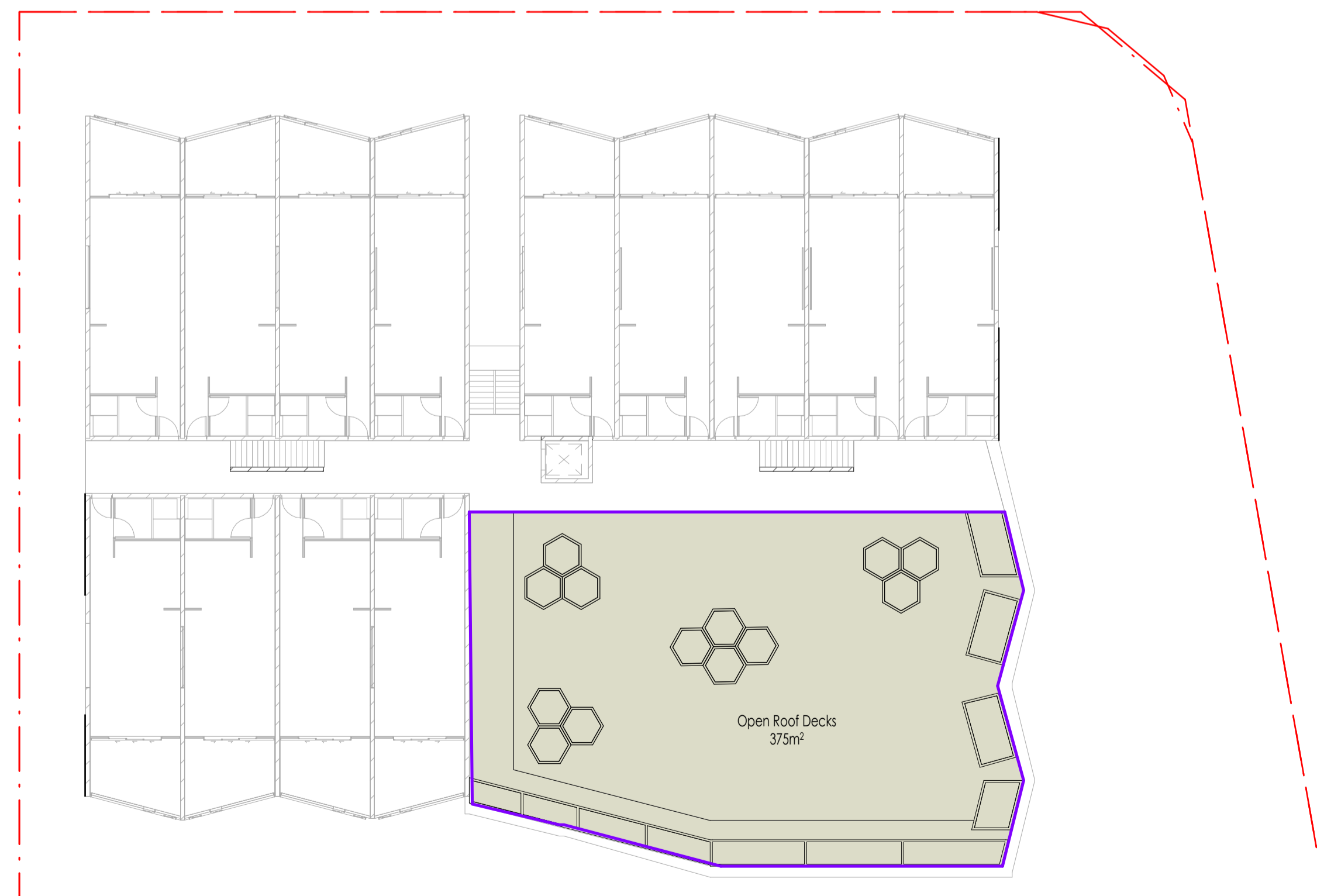


Landscape and Deep Planting Area



DEEP PLANTING CALCULATIONS		
AREA	AREA CATEGORY	PERCENTAGE
DEEP PLANTING	273.7 m ²	12.3%
LANDSCAPE	161.2 m ²	7.2%
OPEN ROOF DECKS	381.7 m ²	17.1%
TOTALS	816.5 m ²	36.7%

1 LANDSCAPING - GROUND LEVEL
 Scale: 1 : 200



2 LANDSCAPING - LEVEL 2
 Scale: 1 : 200

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 CAB PROJECTS

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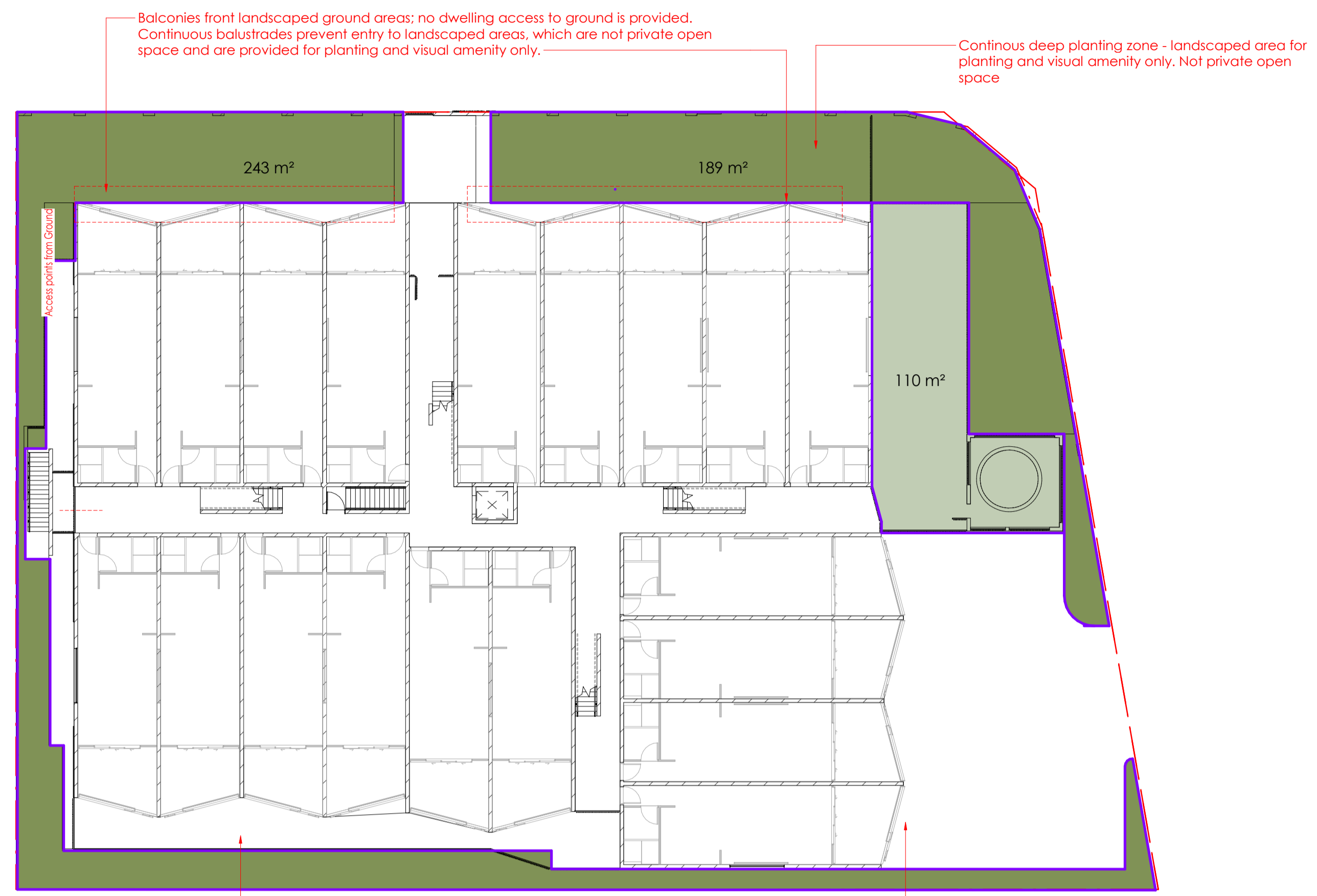
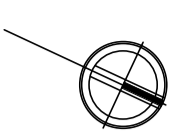
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Open Space

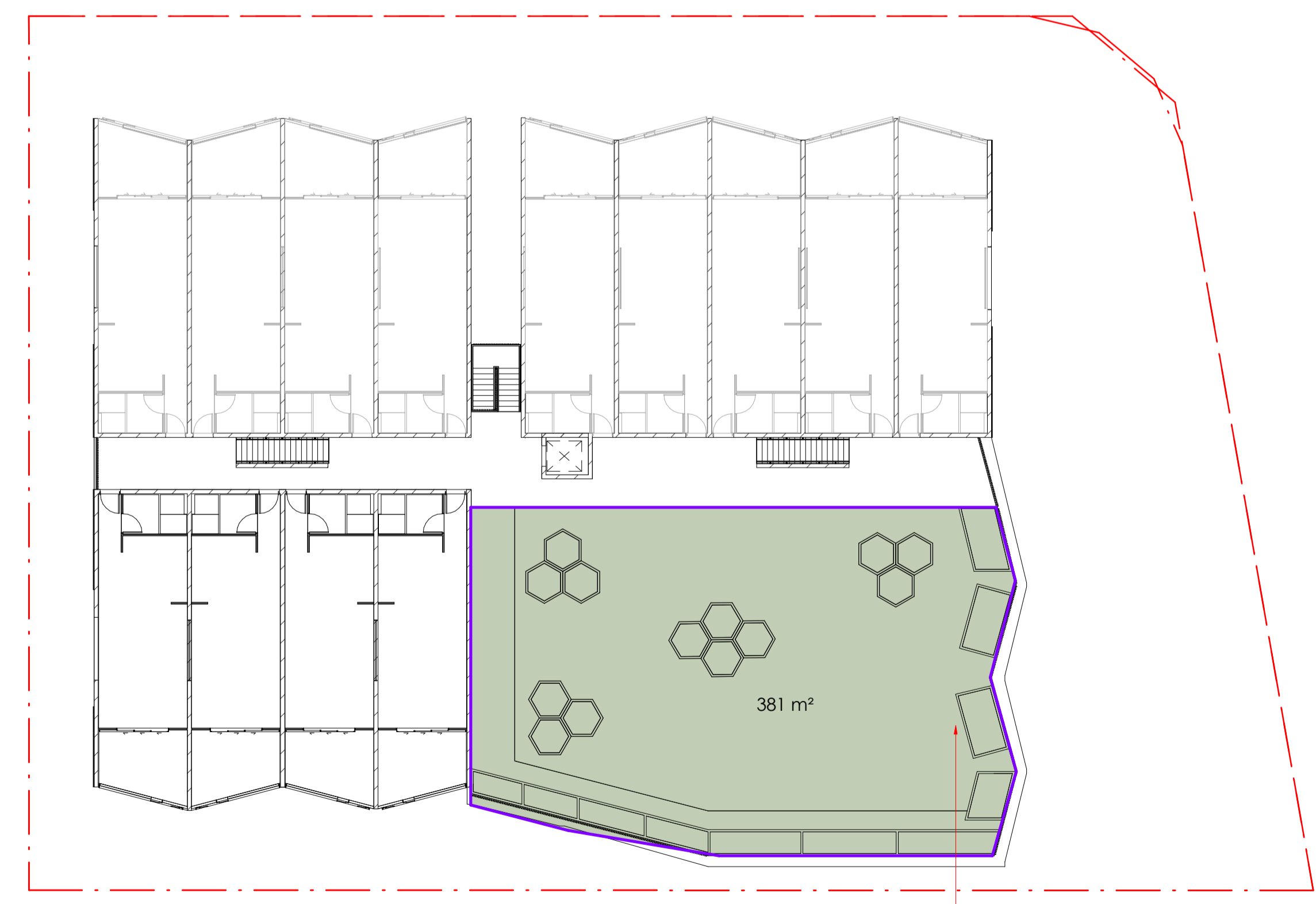
- Impervious Open Space
- Landscaped Open Space

1
17
Ground Floor
Scale: 1 : 200

Balconies front landscaped ground areas; no dwelling access to ground is provided. Continuous balustrades prevent entry to landscaped areas, which are not private open space and are provided for planting and visual amenity only.

Continuous deep planting zone - landscaped area for planting and visual amenity only. Not private open space

No natural ground level along this elevation due to site topography; basement carpark and driveway are exposed and dwellings above are not considered ground level.



2
17
Lvl 2
Scale: 1 : 200

Rooftop communal open space is provided as shared resident amenity in lieu of individual private open space.

NOTE: Dwellings located at the lower levels are not designed to open directly onto ground level outdoor areas. Balustrades from the balcony prevent direct access from dwellings to the ground plane, and access to all dwellings is achieved via internal circulation and shared communal areas. As such, the proposal does not include ground level dwellings with individual private open space requiring separation or fencing.

Rather than fragmented private open spaces, the development provides generous communal open space areas, including landscaped communal areas at ground level and communal rooftop open space. These areas are accessible to all residents and are designed to support recreation, social interaction, and residential amenity in a manner consistent with the outcomes sought under PO31.

The absence of individual ground level private open space also enables a greater extent of deep planting and consolidated landscaping along the site frontage. This approach enhances streetscape quality, improves visual amenity, and supports subtropical landscape outcomes, which would be compromised by the introduction of multiple fenced private areas.

Residents access their dwellings through communal spaces, reinforcing a clear and legible distinction between private internal living areas and shared outdoor amenity. This arrangement maintains appropriate privacy, safety, and usability while delivering a high-quality residential environment.

Accordingly, the proposal achieves the intent of PO8, PO31 and PO37 through the provision of functional communal open space, appropriate access arrangements, and enhanced landscape outcomes, without resulting in adverse impacts on residential amenity.

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PREPARED BY
PRIVATE OPEN SPACE

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SCALE OF PLAN
1 : 200

STAGE OF PLAN
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