

**LEGEND**

		Road Centerline
		Kerbing (Nominal)
		Site Boundary
		Road Pavement
		Concrete Sleeper/Steel Post Retaining Wall
		Concrete Sleeper/Concrete Post Retaining Wall
		Concrete Block (Magnum Stone or equivalent)

**Symbols**

'kk' Carriageway Width (Kerb to Kerb)



PROJECT NAME

**Proposed Development**

**9 Kyle Street  
Bridgeman Downs**

Lot 4 on RP 55318

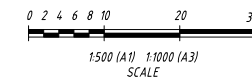
CLIENT

**Bridgeman Downs Pty Ltd**

COPYRIGHT IS VESTED IN CIVIL DIMENSIONS P/L. WRITTEN CONSENT IS REQUIRED PRIOR TO USE. REPRODUCTION IN WHOLE OR PART THEREOF OR ALTERATION OF ANY FORM IS STRICTLY PROHIBITED. DO NOT SCALE FROM THESE DRAWINGS.

ASSOCIATED CONSULTANTS

SCALE (MM:1)



ABN 66 103 198 527  
Postal:  
Unit 8, 51 Freda St  
Upper Mt Gravatt,  
Qld 4122  
Brisbane:  
Tel 3422 2020

**Civil Dimensions**  
Consulting Engineers

mail@civildimensions.com.au

R.P.E.Q. Certification provided for and on behalf of Civil Dimensions expressly excludes, *inter alia*, all geotechnical testing, slope stability earthworks level 1, retaining walls, structures, landscaping (including vegetation and the effects thereof), detention basin and bio-retention basin sizing and hydraulics.

**DA - CONCEPT ONLY**

PLANS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS APPROVED, SIGNED AND STAMPED FOR CONSTRUCTION

DESIGNED	DRAWN	CHECKED
TPE	TPE/LAB	

APPROVED

FOR AND ON BEHALF OF CIVIL DIMENSIONS PTY LTD

Rev	Amendment Details	Date
1	Initial Issue	29/11/22
2	Layout Changes	15/11/23

DRAWING TITLE

**Site Layout**

PROJECT NUMBER	DRG	REV
CD22-007	DA01	2

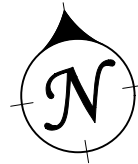
**BCC DS  
RECEIVED  
12/12/2023  
APPLICATION REF  
A006119207**

**DISCLAIMER**  
THE INFORMATION SHOWN ON THIS DRAWING IS PRELIMINARY IN NATURE AND SUBJECT TO DETAIL DESIGN.

P:\2022-2023\041 Kyle St 91 The Bridgeman Downs\CD22-007-001 DA01-001.dwg Layer: Plan 15/11/2023 1:03 PM

**LEGEND**

Existing	Proposed	Description
- - - - -	- - - - -	Surface Contours (1.0m Interval)
- - - - -	- - - - -	Road Centerline
- - - - -	- - - - -	Kerbing (Nominal)
- - - - -	- - - - -	Roofwater/Allotment Drainage
- - - - -	- - - - -	Allotment Drainage Swale
- - - - -	- - - - -	Sewer - Gravity
- - - - -	- - - - -	Stormwater Drainage
- - - - -	- - - - -	Water Main
- - - - -	- - - - -	Water Meter
- - - - -	- - - - -	Site Boundary
- - - - -	- - - - -	Retaining Walls



PROJECT NAME

**Proposed Development**

**9 Kyle Street  
Bridgeman Downs**

Lot 4 on RP 55318

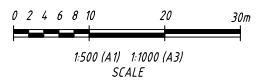
CLIENT

**Bridgeman Downs Pty Ltd**

COPYRIGHT IS VESTED IN CIVIL DIMENSIONS P/L. WRITTEN CONSENT IS REQUIRED PRIOR TO USE. REPRODUCTION IN WHOLE OR PART THEREOF OR ALTERATION OF ANY FORM IS STRICTLY PROHIBITED. DO NOT SCALE FROM THESE DRAWINGS.

ASSOCIATED CONSULTANTS

SCALE (UNITS)



ABN 66 103 198 527  
 Postal:  
 Unit 8, 51 Freda St  
 Upper Mt Gravatt,  
 Qld 4122  
 Brisbane:  
 Tel 3422 2020

**Civil Dimensions**  
 Consulting Engineers

R.P.E.Q. Certification provided for and on behalf of Civil Dimensions expressly excludes, *inter alia*, all geotechnical testing, slope stability earthworks level 1, retaining walls, structures, landscaping (including vegetation and the effects thereof), detention basin and bio-retention basin sizing and hydraulics.

**DA - CONCEPT ONLY**

PLANS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS APPROVED, SIGNED AND STAMPED 'FOR CONSTRUCTION'

DESIGNED	DRAWN	CHECKED
TPE	TPE/LAB	

APPROVED

FOR AND ON BEHALF OF CIVIL DIMENSIONS PTY LTD

Rev	Amendment Details	Date
1	Initial Issue	28/11/22
2	Layout Changes	15/11/23

DRAWING TITLE

**Services Layout**

PROJECT NUMBER	DRG	REV
CD22-007	DA02	2

**BCC DS  
 RECEIVED  
 12/12/2023  
 APPLICATION REF  
 A006119207**

**DISCLAIMER**  
 THE INFORMATION SHOWN ON THIS  
 DRAWING IS PRELIMINARY IN NATURE  
 AND SUBJECT TO DETAIL DESIGN.

P:\2022-2023\CD22-007-018-Bridgeman Downs\CD22-007-018-DALC Services Concept Plan\_15/11/2023\_234.dwg

**LEGEND**

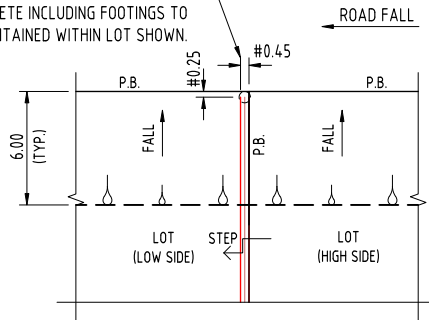
Existing	Proposed	Description
--- 38.5 ---	--- 38.0 ---	Major Contour
---	---	Minor Contour
---	---	Road Centreline
---	---	Kerbing (Nominal)
	Area of Earthworks Cut	Area of Earthworks Cut
	Area of Earthworks Fill	Area of Earthworks Fill
X TW 30.00	X TW 30.00	Top of Wall Level
X BW 30.00	X BW 30.00	Bottom of Wall Level
X ex 30.00	RL 30.00	Lot Pad Surface Level
	Concrete Sleeper/Steel Post Retaining Wall	Concrete Sleeper/Steel Post Retaining Wall
	Concrete Sleeper/Concrete Post Retaining Wall	Concrete Sleeper/Concrete Post Retaining Wall
	Concrete Block (Magnum Stone or equivalent)	Concrete Block (Magnum Stone or equivalent)
	HEIGHT (VARIES)	HEIGHT (VARIES)

**EARTHWORKS VOLUME**

Total Cut = 7,109 cubic metres.  
 Total Fill = 19,415 cubic metres.  
 Spoil = 12,306 cubic metres.

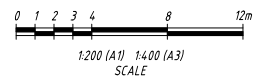
Notes:  
 Volumes relates to difference between existing and proposed surfaces.  
 Excludes road boxing, topsoil removal, trench spoil, compaction etc.

# OFFSET FOR WALL REPRESENTS THE EARTHWORKS LINE BASED ON ASSUMED FOOTING DIMENSIONS, HENCE MAY VARY SUBJECT TO DESIGN. NOTE THE WALL COMPLETE INCLUDING FOOTINGS TO BE WHOLLY CONTAINED WITHIN LOT SHOWN.



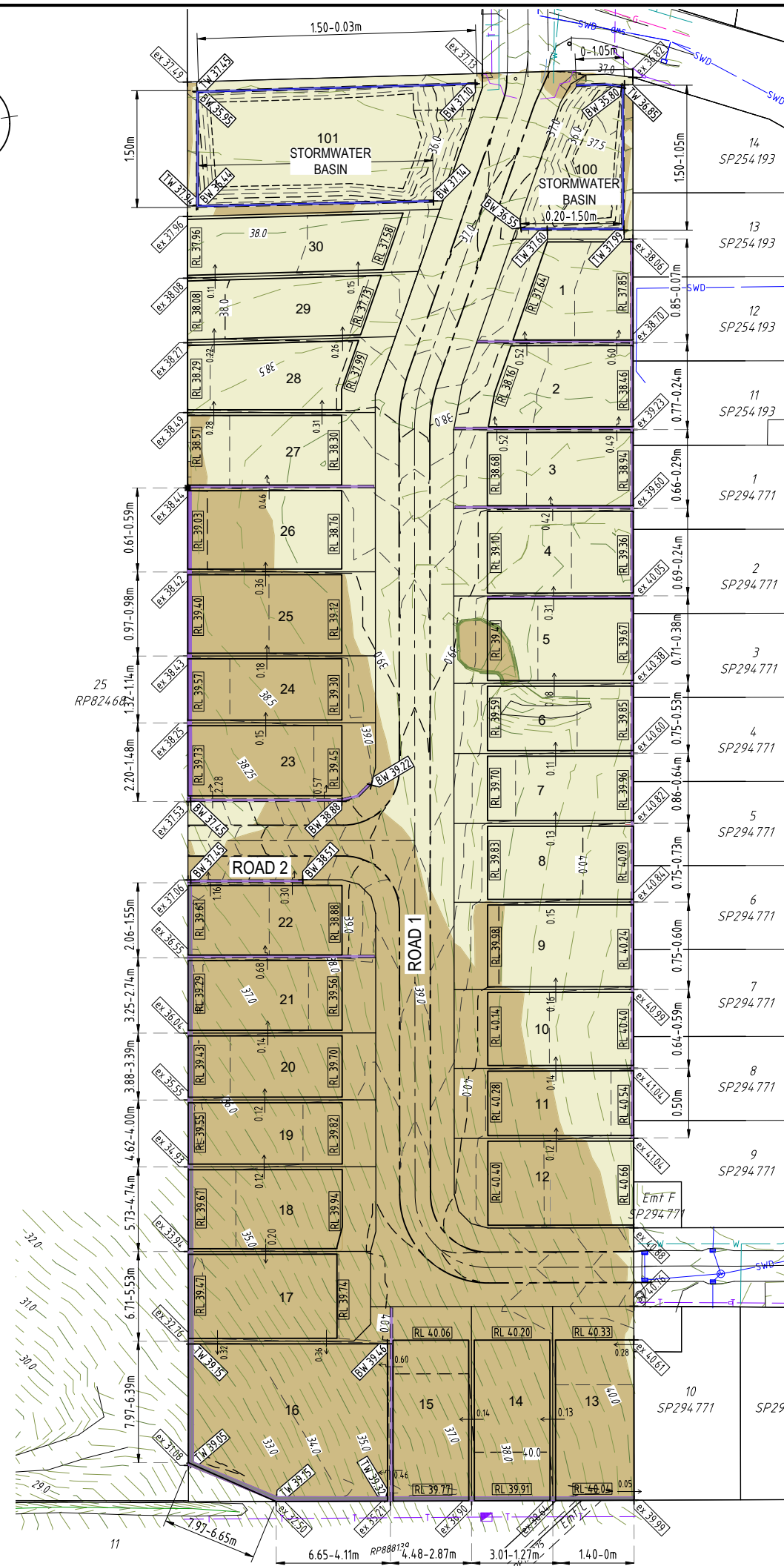
PLAN

TYPICAL BATTER AND WALL LOCATION DETAIL



**LEGEND**

P.B.	Denotes Property Boundary
Top of Batter	Top of Batter
Retaining Wall	Retaining Wall (Conc Rib Sleeper Retaining Wall with galvanised steel posts or approved equivalent)



**Proposed Development**

**9 Kyle Street  
 Bridgeman Downs**

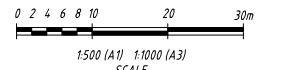
Lot 4 on RP 55318

**Bridgeman Downs Pty Ltd**

COPYRIGHT IS VESTED IN CIVIL DIMENSIONS P/L. WRITTEN CONSENT IS REQUIRED PRIOR TO USE. REPRODUCTION IN WHOLE OR PART THEREOF OR ALTERATION OF ANY FORM IS STRICTLY PROHIBITED. DO NOT SCALE FROM THESE DRAWINGS.

ASSOCIATED CONSULTANTS

SCALE (MM)



ABN 66 103 198 527  
 Postal:  
 Unit 8, 51 Freda St  
 Upper Mt Gravatt,  
 Qld 4122  
 Brisbane:  
 Tel 3422 2020

**Civil Dimensions Consulting Engineers**

R.P.E.Q. Certification provided for and on behalf of Civil Dimensions expressly excludes, *inter alia*, all geotechnical, testing, slope stability earthworks level 1, retaining walls, structures, landscaping (including vegetation and the effects thereof), detention basin and bio-retention basin sizing and hydraulics.

**DA - CONCEPT ONLY**

PLANS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS APPROVED, SIGNED AND STAMPED FOR CONSTRUCTION

DESIGNED	TPE	DRAWN	TPE/LAB	CHECKED

APPROVED

FOR AND ON BEHALF OF CIVIL DIMENSIONS PTY LTD

Rev	Amendment Details	Date
1	Initial Issue	29/11/22
2	Layout Changes	15/11/23

DRAWING TITLE

**Earthworks Layout**

PROJECT NUMBER	DRG	REV
CD22-007	DA03	2

**BCC DS  
 RECEIVED  
 12/12/2023  
 APPLICATION REF  
 A006119207**

**DISCLAIMER**  
 THE INFORMATION SHOWN ON THIS DRAWING IS PRELIMINARY IN NATURE AND SUBJECT TO DETAIL DESIGN.

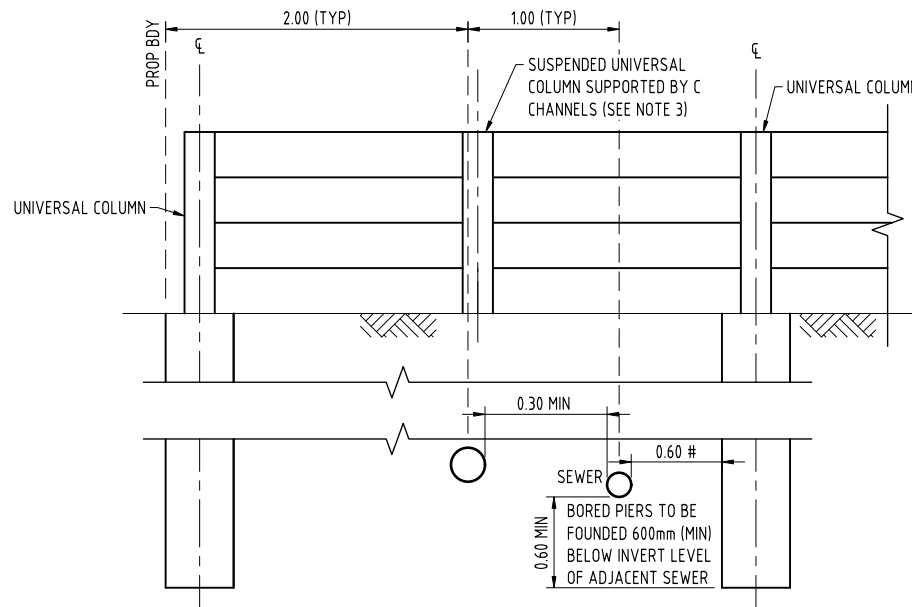
P:\2022-2023\991 Kyle St 918 Bridgeman Downs\CD22-007-001-001 DA03 Earthworks Concept Layout 15/11/2023 1:08 PM

**CONCRETE SLEEPER WALL NOTES:**

- 'CONCRIB' STEEL POST (HOT DIPPED GALVANISED) & CONCRETE SLEEPER RETAINING WALL (OR APPROVED EQUIVALENT) TO BE USED. REFER STRUCTURAL DESIGN NOTES.
- PROPOSED RETAINING WALL TO BE DESIGNED TO ACCOMMODATE LOADS FROM PROPOSED FENCE ABOVE AND WHERE APPLICABLE FOR ACOUSTIC FENCE.
- PROPOSED RETAINING WALL TO BE DESIGNED TO ACCOMMODATE ADDITIONAL HYDRAULIC PRESSURES CAUSED BY RAINFALL RUNOFF INCLUDING FAILURES OF COLLECTION SYSTEMS (E.G. GUTTERS, DOWNPIPES, SURFACE COLLECTION ETC.)
- OFFSET FOR WALL (DENOTED WITH #) REPRESENTS THE EARTHWORKS LINE BASED ON ASSUMED FOOTING DIMENSIONS, HENCE MAY VARY SUBJECT TO DESIGN. THE RETAINING WALL COMPLETE INCLUDING FOOTINGS TO BE WHOLLY CONTAINED WITHIN LOT SHOWN.
- SUBSOIL DRAINS AND IMPERMEABLE CAPPING ARE INDICATIVE ONLY, REFER STRUCTURAL DESIGN PLANS FOR DETAILS.
- CONTRACTOR TO PROVIDE CERTIFICATION FROM RETAINING WALL SUPPLIERS AND CONFIRMING THAT ALL PRECAST COMPONENTS HAVE BEEN DESIGNED FOR THE HEIGHTS REQUIRED FOR CONSTRUCTION IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND GUIDELINES.

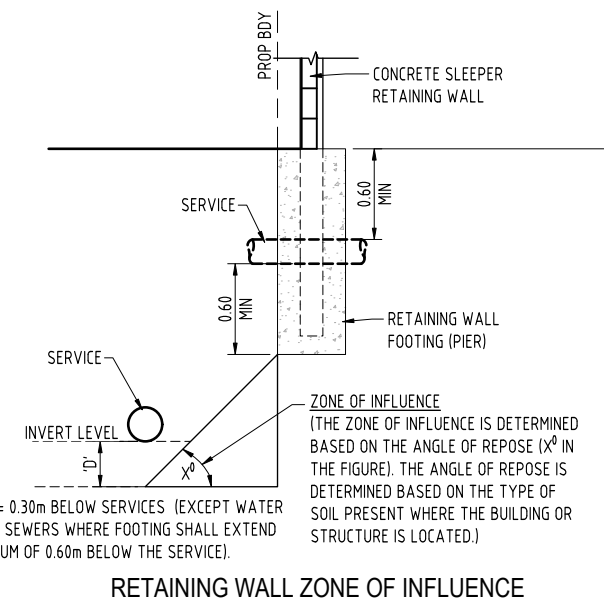
**SAFETY FENCE NOTE**

TEMPORARY SAFETY FENCES TO BE ERECTED ABOVE ALL DROPS GREATER THAN 1.0m.



# SERVICES CROSSING RETAINING WALLS TO BE POSITIONED EQUAL DISTANCE FROM PIERS WHERE POSSIBLE (MINIMUM CLEARANCE TO SEWER 0.60m).

**SLEEPER WALL BRIDGING ELEVATION**



**RETAINING WALL ZONE OF INFLUENCE**

**STRUCTURAL DESIGN NOTE**

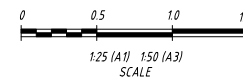
Retaining structure design and as-constructed structural certification (Forms 15 & 12) shall be carried out by the Contractor's Structural Engineer (RPEQ). Drawings and certifications shall be submitted to the Superintendent and Urban Utilities prior to construction. Amongst other items, certifications shall specifically note the retaining wall and footings:

- Will not place load on adjacent services/infrastructure, and
- Where near or over water and or sewer services/infrastructure the wall will be self supporting in the event of excavation of the water and or sewer services/infrastructure.

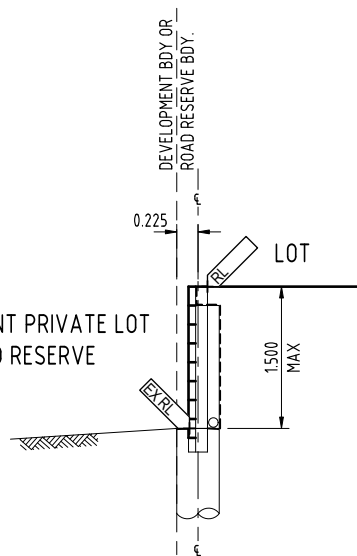
**NOTES**

- EXACT POSITION AND DEPTH OF SERVICES TO BE DETERMINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- REFER ALSO STRUCTURAL DESIGN NOTE.
- REFER ALSO URBAN UTILITIES STD DRG BOA-SEW-P1-1201-2 AND BOA-SEW-P1-1201-3.

**RETAINING WALL REQUIREMENTS NEAR SERVICES**

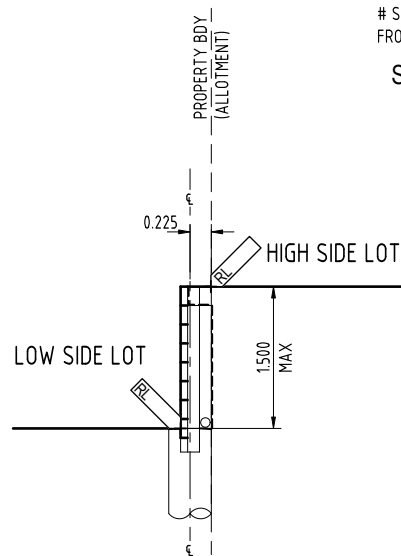


ADJACENT PRIVATE LOT OR ROAD RESERVE



**WALL TYPE 'A1'**  
STEEL POST WITH CONCRETE SLEEPER

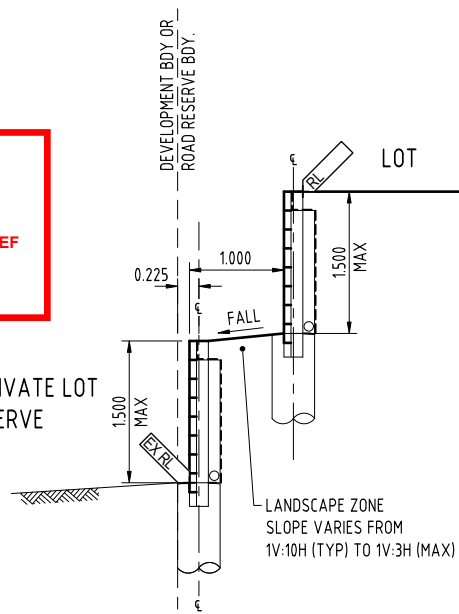
LOW SIDE LOT



**WALL TYPE 'A2'**  
STEEL POST WITH CONCRETE SLEEPER

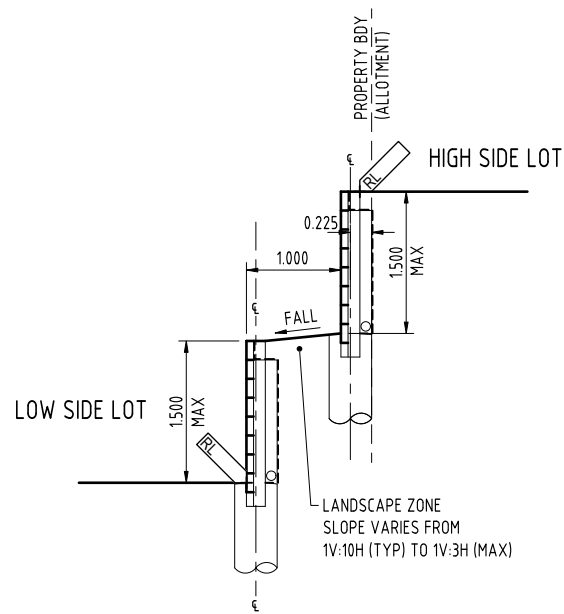
**BCC DS RECEIVED**  
12/12/2023  
**APPLICATION REF**  
A006119207

ADJACENT PRIVATE LOT OR ROAD RESERVE



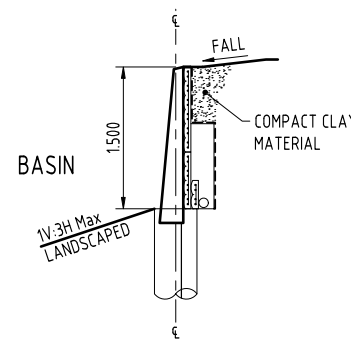
**WALL TYPE 'B1'**  
STEEL POST WITH CONCRETE SLEEPER

LOW SIDE LOT



**WALL TYPE 'B2'**  
STEEL POST WITH CONCRETE SLEEPER

BASIN

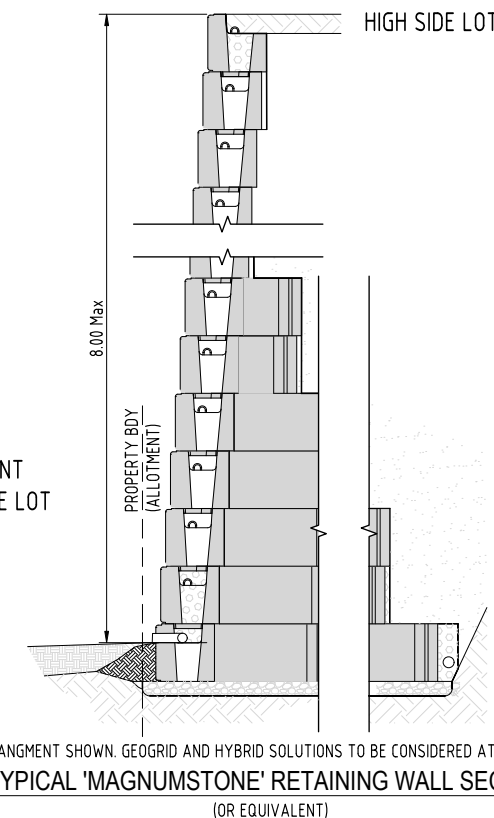


**WALL TYPE 'C1'**  
CONCRETE POST AND SLEEPER

**TYPICAL CONCRETE SLEEPER RETAINING WALL SECTIONS**

PROPOSED SURFACE LEVEL

ADJACENT PRIVATE LOT



**TYPICAL 'MAGNUMSTONE' RETAINING WALL SECTION**  
(OR EQUIVALENT)

PROJECT NAME

**Proposed Development**

**9 Kyle Street  
Bridgeman Downs**

Lot 4 on RP 55318

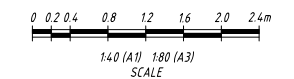
CLIENT

**Bridgeman Downs Pty Ltd**

COPYRIGHT IS VESTED IN CIVIL DIMENSIONS P/L. WRITTEN CONSENT IS REQUIRED PRIOR TO USE. REPRODUCTION IN WHOLE OR PART THEREOF OR ALTERATION OF ANY FORM IS STRICTLY PROHIBITED. DO NOT SCALE FROM THESE DRAWINGS.

ASSOCIATED CONSULTANTS

SCALE (UNITS)



ABN 66 103 198 527  
Postal:  
Unit 8, 51 Freda St  
Upper Mt Gravatt,  
Qld 4122  
Brisbane:  
Tel 3422 2020

**Civil Dimensions**  
Consulting Engineers

mail@civildimensions.com.au  
R.P.E.Q. Certification provided for and on behalf of Civil Dimensions expressly excludes, *inter alia*, all geotechnical testing, slope stability earthworks level 1, retaining walls, structures, landscaping (including vegetation and the effects thereof), detention basin and bio-retention basin sizing and hydraulics.

**DA - CONCEPT ONLY**

PLANS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS APPROVED, SIGNED AND STAMPED 'FOR CONSTRUCTION'

DESIGNED	DRAWN	CHECKED
TPE	TPE/LAB	

APPROVED

FOR AND ON BEHALF OF CIVIL DIMENSIONS PTY LTD

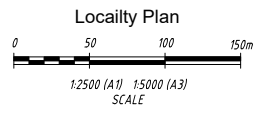
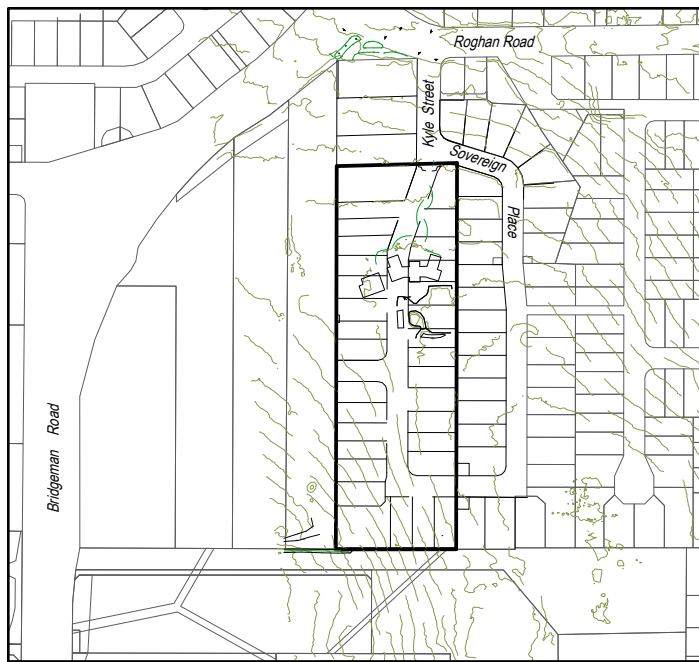
Rev	Amendment Details	Date
1	Initial Issue	29/11/22
2	Layout and Wall Concept Changes	15/11/23

DRAWING TITLE

**Concept Retaining Wall Details**

PROJECT NUMBER **CD22-007** DRG **DA04** REV **2**





**LEGEND**

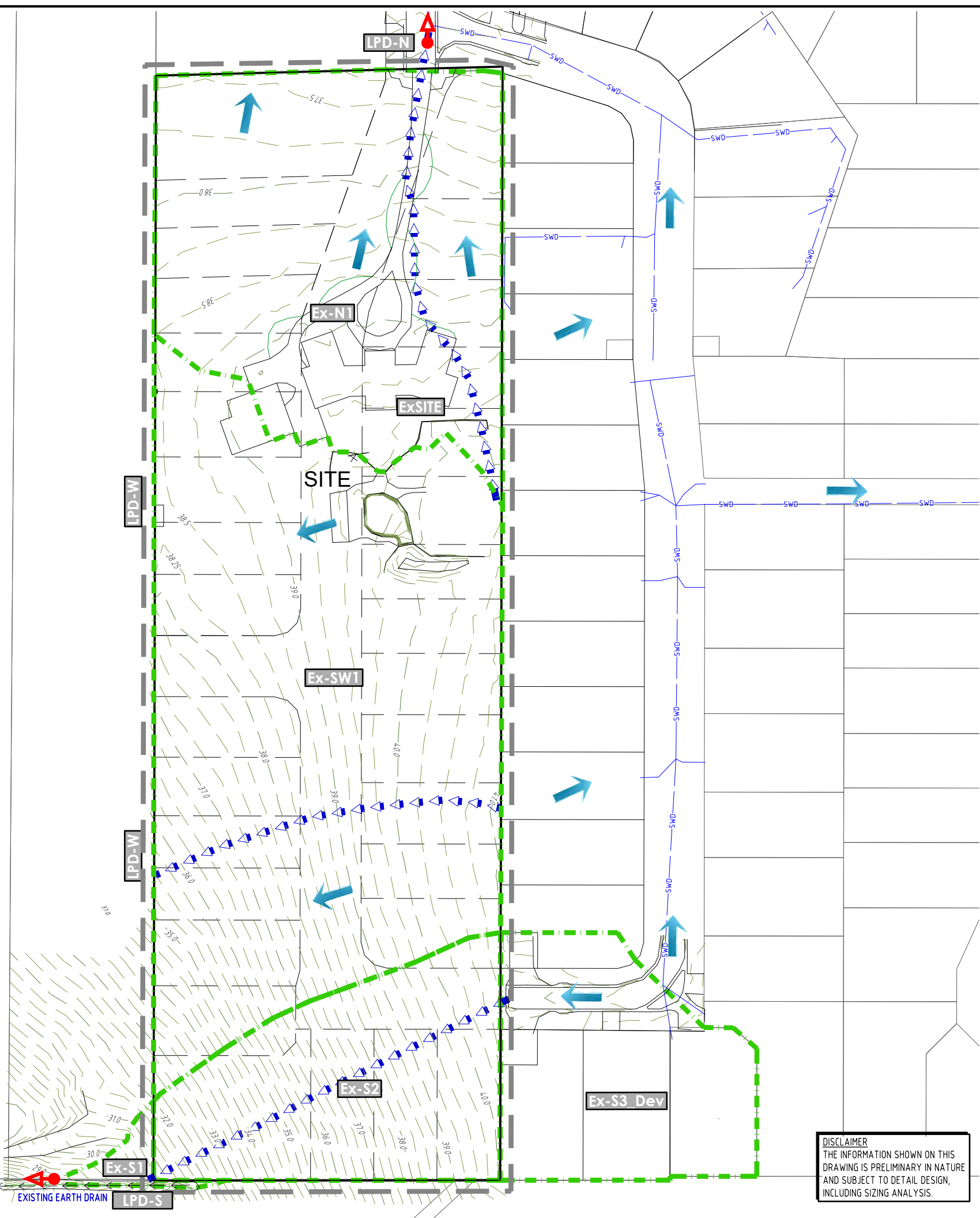
- - - - - Pre-Development Catchment Boundary
- - - - - Existing Surface Contours
- SWD — Existing Stormwater Drainage
- - - - - Existing Open Drain
- ▶▶▶▶▶ Tc Travel Lines
- Site Boundary

**SYMBOLS**

- Ex-S2 Catchment (sub-area) Name/Node
- Outlet Node
- ➔ Flow Direction
- LPD Proposed Legal Point of Discharge

Catchment ID	Pre-Developed Area (Ha)
Ex-N1	0.648
Ex-S1	0.020
Ex-S2	0.326
Ex-S3_Dev	0.281
Ex-SW1	1.105
<b>TOTAL</b>	<b>2.237</b>

**BCC DS RECEIVED**  
 12/12/2023  
**APPLICATION REF**  
 A006119207



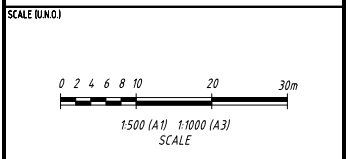
**DISCLAIMER**  
 THE INFORMATION SHOWN ON THIS DRAWING IS PRELIMINARY IN NATURE AND SUBJECT TO DETAIL DESIGN, INCLUDING SIZING ANALYSIS.

PROJECT NAME  
**Proposed Development**  
**9 Kyle Street**  
**Bridgeman Downs**  
 Lot 4 on RP 55318

CLIENT  
**Bridgeman Downs Pty Ltd**

COPYRIGHT IS VESTED IN CIVIL DIMENSIONS P/L. WRITTEN CONSENT IS REQUIRED PRIOR TO USE. REPRODUCTION IN WHOLE OR PART THEREOF OR ALTERATION OF ANY FORM IS STRICTLY PROHIBITED. DO NOT SCALE FROM THESE DRAWINGS.

ASSOCIATED CONSULTANTS



ABN 66 103 198 527  
 Postal:  
 Unit 8, 51 Freda St  
 Upper Mt Gravatt,  
 Qld 4122  
 Brisbane:  
 Tel 3422 2020

**Civil Dimensions**  
 Consulting Engineers  
 mail@civildimensions.com.au

R.P.E.Q. Certification provided for and on behalf of Civil Dimensions expressly excludes, *inter alia*, all geotechnical testing, slope stability earthworks level 1, retaining walls, structures, landscaping (including vegetation and the effects thereof), detention basin and bio-retention basin sizing and hydraulics.

**DA - CONCEPT ONLY**  
 PLANS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS APPROVED, SIGNED AND STAMPED 'FOR CONSTRUCTION'

DESIGNED	DRAWN	CHECKED
TPE	TPE/LAB	

FOR AND ON BEHALF OF CIVIL DIMENSIONS PTY LTD

Rev	Amendment Details	Date
1	Initial Issue	12/11/22
2	Layout Changes	15/11/23

DRAWING TITLE  
**SWM Catchment Plan**  
**(Pre-Development)**

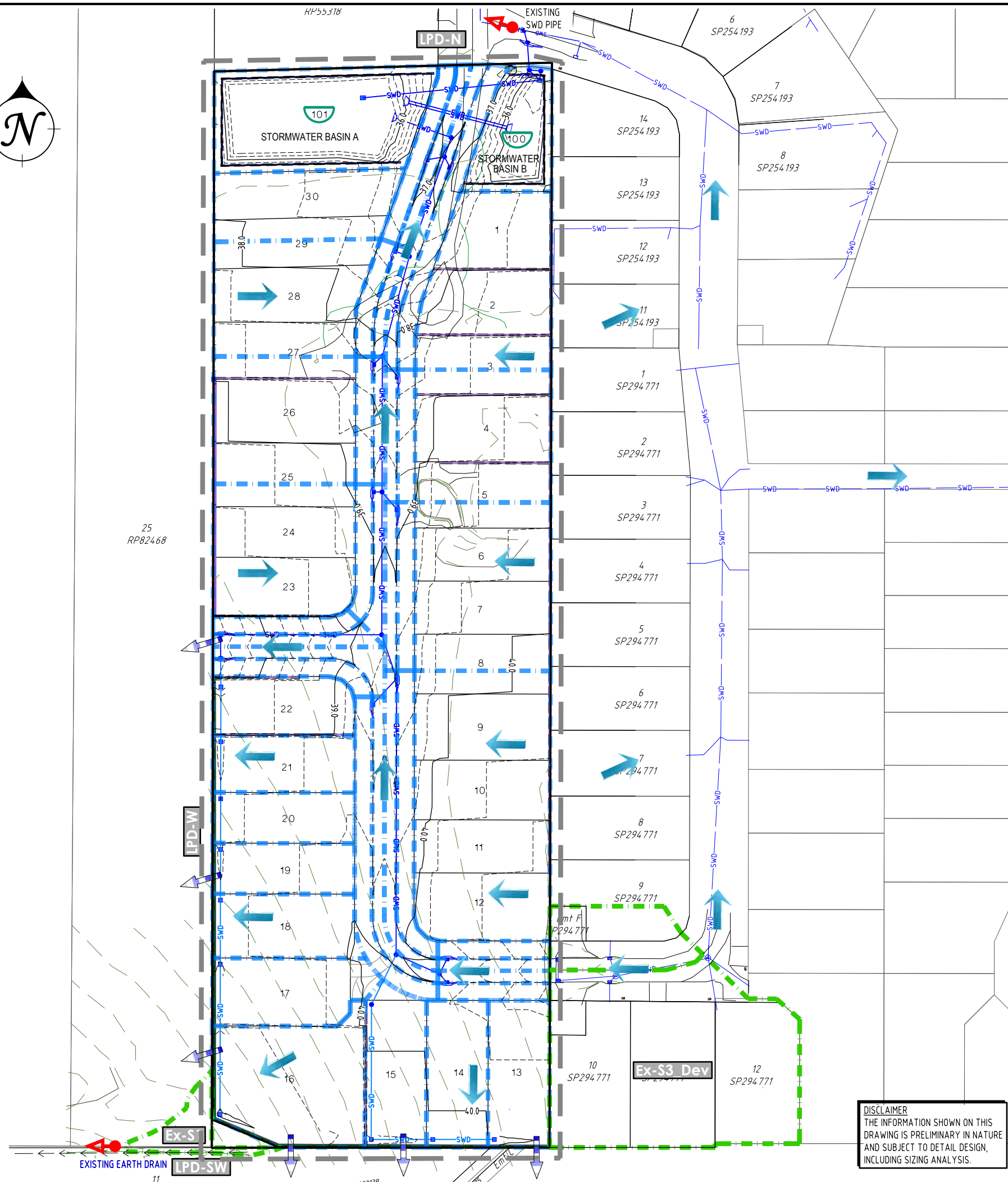
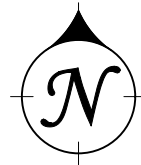
DISCLAIMER  
 THE INFORMATION SHOWN ON THIS DRAWING IS PRELIMINARY IN NATURE AND SUBJECT TO DETAIL DESIGN, INCLUDING SIZING ANALYSIS.

# LEGEND

- Pre-Development Catchment Boundary (External)
- Post-Development Catchment Boundary (Internal)
- Existing Surface Contours (1m)
- Proposed Surface Contour (1m)
- Existing Kerbing (Nominal)
- Proposed Kerbing (Nominal)
- Existing Roofwater Drainage
- Proposed Roofwater Drainage
- Existing Stormwater Drainage
- Proposed Stormwater Drainage
- Existing Drains
- Site Boundary

# SYMBOLS

- Existing Catchment (sub-area) Name/Node
- Proposed Catchment (sub-area) Name/Node
- Outlet Node
- Flow Direction
- Proposed Legal Point of Discharge
- Overland Flow Bypass Direction (pipe flow direction may vary)
- Detention Basin Storage

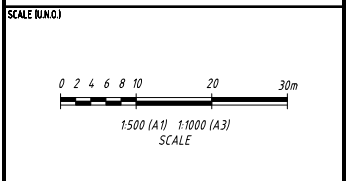


PROJECT NAME  
**Proposed Development**  
**9 Kyle Street**  
**Bridgeman Downs**  
 Lot 4 on RP 55318

CLIENT  
**Bridgeman Downs Pty Ltd**

COPYRIGHT IS VESTED IN CIVIL DIMENSIONS P/L. WRITTEN CONSENT IS REQUIRED PRIOR TO USE. REPRODUCTION IN WHOLE OR PART THEREOF OR ALTERATION OF ANY FORM IS STRICTLY PROHIBITED.  
 DO NOT SCALE FROM THESE DRAWINGS.

ASSOCIATED CONSULTANTS



ABN 66 103 198 527  
 Postal:  
 Unit 8, 51 Freda St  
 Upper Mt Gravatt,  
 Qld 4122  
 Brisbane:  
 Tel 3422 2020

**Civil Dimensions** Pty Ltd  
 Consulting Engineers  
 mail@civildimensions.com.au

R.P.E.Q. Certification provided for and on behalf of Civil Dimensions expressly excludes, *inter alia*, all geotechnical testing, slope stability earthworks level 1, retaining walls, structures, landscaping (including vegetation and the effects thereof), detention basin and bio-retention basin sizing and hydraulics.

**DA - CONCEPT ONLY**  
 PLANS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS APPROVED, SIGNED AND STAMPED 'FOR CONSTRUCTION'

DESIGNED	DRAWN	CHECKED
TPE	TPE/LAB	

FOR AND ON BEHALF OF CIVIL DIMENSIONS PTY LTD

Rev	Amendment Details	Date
1	Initial Issue	12/11/22
2	Layout Changes	15/11/23

DRAWING TITLE  
**SWM Catchment Plan (Post Development)**

**DISCLAIMER**  
 THE INFORMATION SHOWN ON THIS DRAWING IS PRELIMINARY IN NATURE AND SUBJECT TO DETAIL DESIGN, INCLUDING SIZING ANALYSIS.

**BCC DS RECEIVED**  
 12/12/2023  
**APPLICATION REF**  
 A006119207

