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15/07/2026

APPLICATION REF

A007068254

17-21 MAUD STREET

NEWSTEAD



DEVELOPMENT APPROVAL LANDSCAPE CONCEPT REPORT

10 JULY, 2026 | REVISION A

DOCUMENT REGISTER

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ACKNOWLEDGEMENT FOR COUNTRY

LatStudios commit to supporting the health and wellbeing of Country, by respecting, valuing and being guided by First Nations people.

Engaging and Respectful Consultation

LatStudios are currently engaged on several projects working with different traditional custodians, working in line with the protocols established by the Australian Institute of Landscape Architects (AILA) Reconciliation Action Plan (RAP). We work with experienced engagement consultants to facilitate a respectful dialogue with a focus on listening and being open to guidance.

AILA RAP summary:

- Acknowledge and respect Traditional Owners across Australia as the traditional custodians of Country
- To honour Elders past, present and emerging and ensure the continuation of culture and traditional practices
- A 'Connection to Country' approach to landscape planning, design and management
- A collaborative journey to better understand and engage with Country in a respectful and consultative way and to build ongoing relationships with Traditional Owners
- Four (4) key areas for development - each area has a number of actions and deliverables which aim to:
 - Actively monitor progress of actions
 - Build internal and external relationships
 - Participate in and celebrate NAIDOC Week
 - Raise RAP awareness
 - Increase employment and supplier diversity
 - Increase educational opportunities

Link to AILA's RAP here

https://www.aila.org.au/common/Uploaded%20files/_AILA/Governance/Other/AILA%20Reflect%20RAP%202018-19%20-%20RA%20endorsed.pdf

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JANUARY THEOREM

01

CONTEXT

INTRODUCTION

Located to the north of Newstead, 17-21 Maud Street, is planned to support the demand for inner city and riverside living. The site location, defined by leafy streets and shade trees, has direct access to a range of amenities including Gasworks, the Breakfast Creek Lifestyle precinct and the Brisbane RiverWalk.

The proposed building focuses on reflecting the surrounding built heritage forms of Newstead's vernacular architecture defined by its formal arches and curved facades. The generous balconies offer outdoor living and natural ventilation from the river with expansive river and city views. To soften the building structure, extensive cascading plants and vertical screening have been integrated to strengthen the visual amenity and the biodiversity of Newstead's local environment.

The scheme offers generous communal recreation areas, including rooftop swimming pool, dining facilities, and wellness zone threaded with generous planting for a rich garden experience from lobby to residences and recreation areas.

Traditional Place Name/ Owners	Turrbal & Yuggera Country
Address	17-21 Maud Street Newstead

Key

- 1 Newstead House
- 2 Waterfront Park
- 3 Gasworks Plaza
- 4 Perry Park
- 5 Bulimba Golf Club
- 6 Yowoggera Green Bridge
- 7 The Boo Bowls Club



#01 Image source: Nearmap

EXISTING CONDITIONS

Illustration of the character and form of the existing street frontage and adjacent land uses.



#01



#02



#03



#04

- #01 17-21 Maud Street, Newstead **Existing street view from the corner of Newstead Terrace and Maud Street** (courtesy of google street view_Nov 2024)
- #02 17-21 Maud Street, Newstead **Facing east towards site** (courtesy of google street view_Nov 2024)
- #03 17-21 Maud Street, Newstead **Facing west towards site** (courtesy of google street view_Nov 2024)
- #04 17-21 Maud Street, Newstead **Facing south-west towards site** (courtesy of google street view_Nov 2024)

02 | DESIGN STRATEGY

DESIGN NARRATIVE

The landscape design for 17-21 Maud Street, Newstead seeks to amplify the connections to the unique local character of Newstead.

The site will embody three key landscape strategies that harness the surrounding landscape characteristics and lifestyle features.

Each of the strategies have informed the design approach by drawing on and celebrating the site's cultural and historical narrative, creating a beautiful setting for nature to thrive and residents to embrace and enjoy an inner city lifestyle surrounded by community.

OPTIMISE PODIUM LANDSCAPING FOR LIFESTYLE & EXPERIENCE



- The concept includes softening the interface of the building through cascading species and vertical screening
- Planting will draw on the local palette with generous coverage to the Streetscape and built form.
- The focus on well being and the provision of amenity to allow residents an array of activities set within a generous and beautiful landscape.

LOCAL RESIDENTS MEET NORTH BRISBANE LIFESTYLE

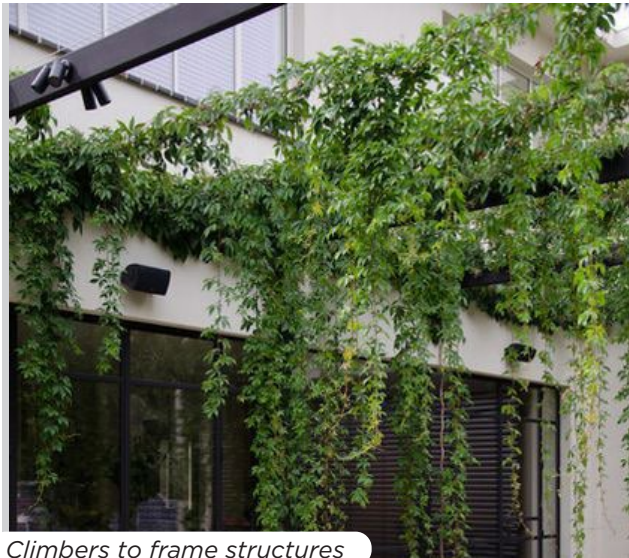


- Welcoming and nurturing setting of Brisbane's lifestyle and much loved access to the edge of the Brisbane River.
- Maintain access to riverside parkland for passive recreation, gathering & panoramic views.
- Connection to the river edge to support commuter and pedestrian activation.

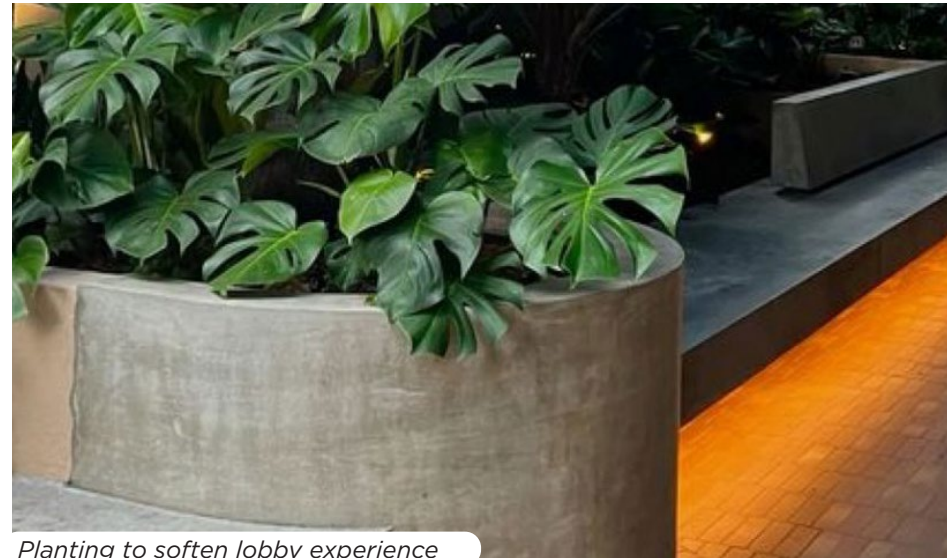
STRONG CONNECTION TO LOCAL CHARACTER, CULTURE & HISTORY



- Access to riverside pathways & active transport / connecting people to the river.
- Opportunity story-telling through the building shape and surrounding landmarks.
- Newstead lifestyle focusses on social interaction and fostering community. The landscape will embody well being and positive interactions with people, culture and nature.



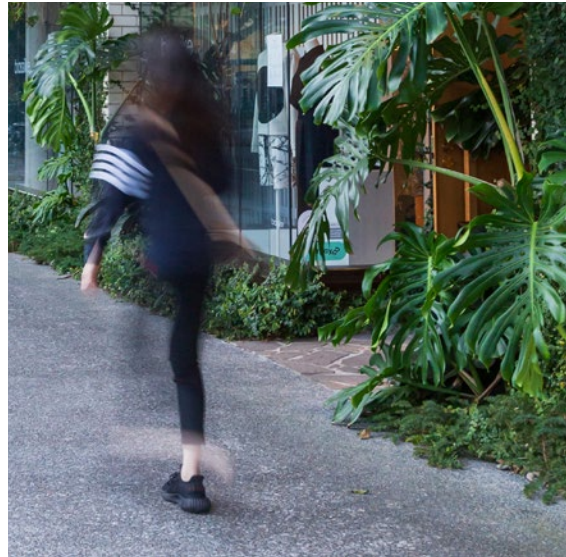
Climbers to frame structures



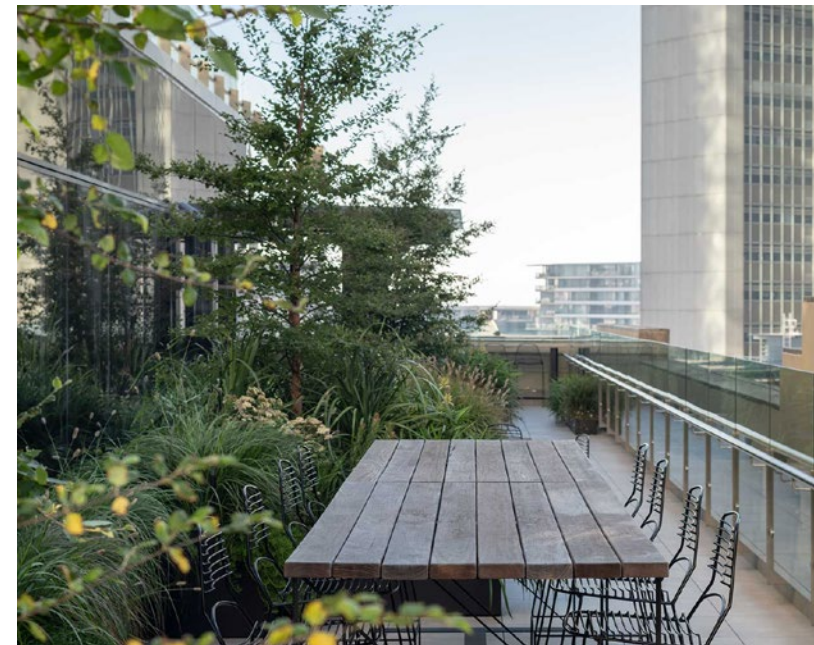
Planting to soften lobby experience



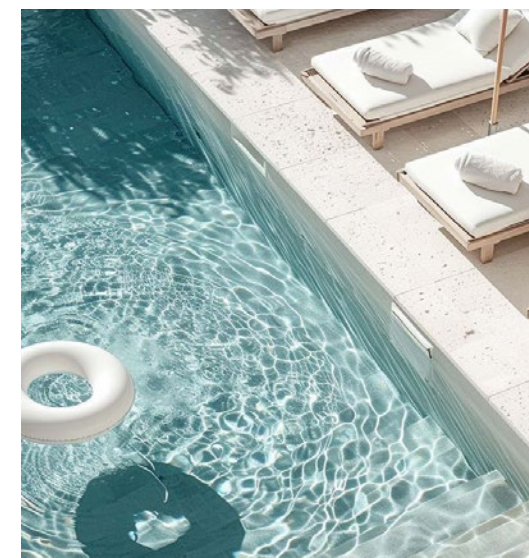
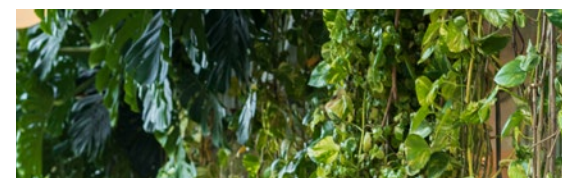
‘Connecting history & community’



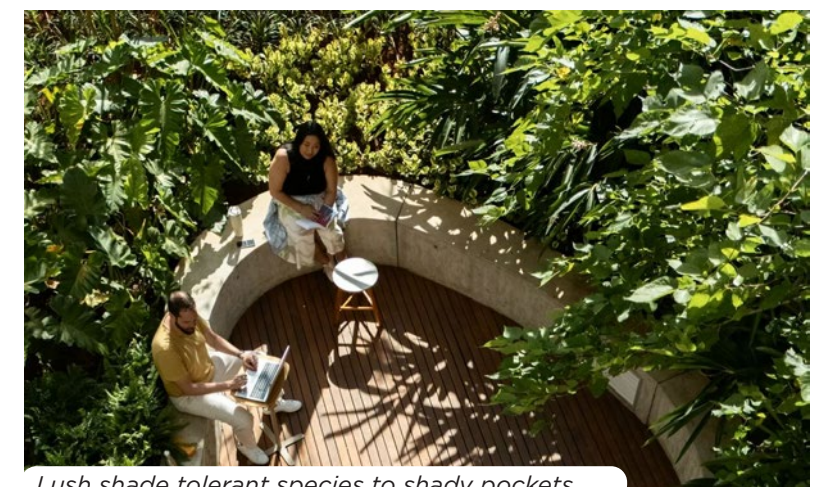
Outdoor dining with friends & family



Natural integration with urban lifestyle



‘Life along the river’

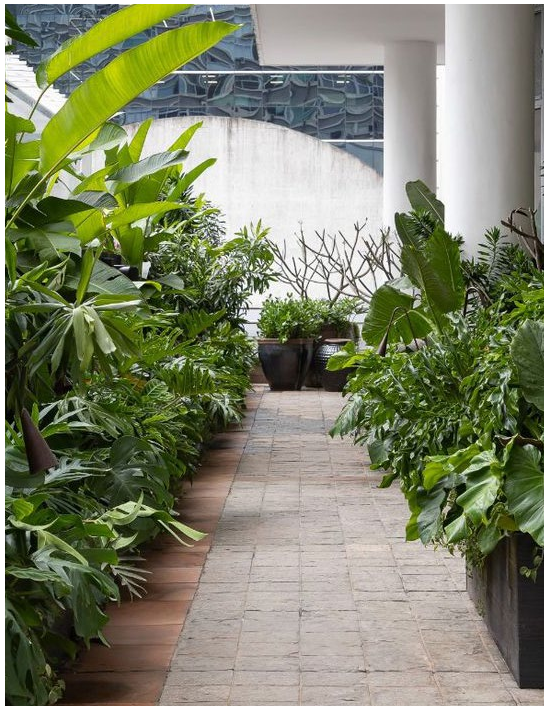


Lush shade tolerant species to shady pockets

03

CONCEPT DESIGN

GROUND FLOOR & STREETScape CONCEPT



Seat forms and landscaping around lobby and retail

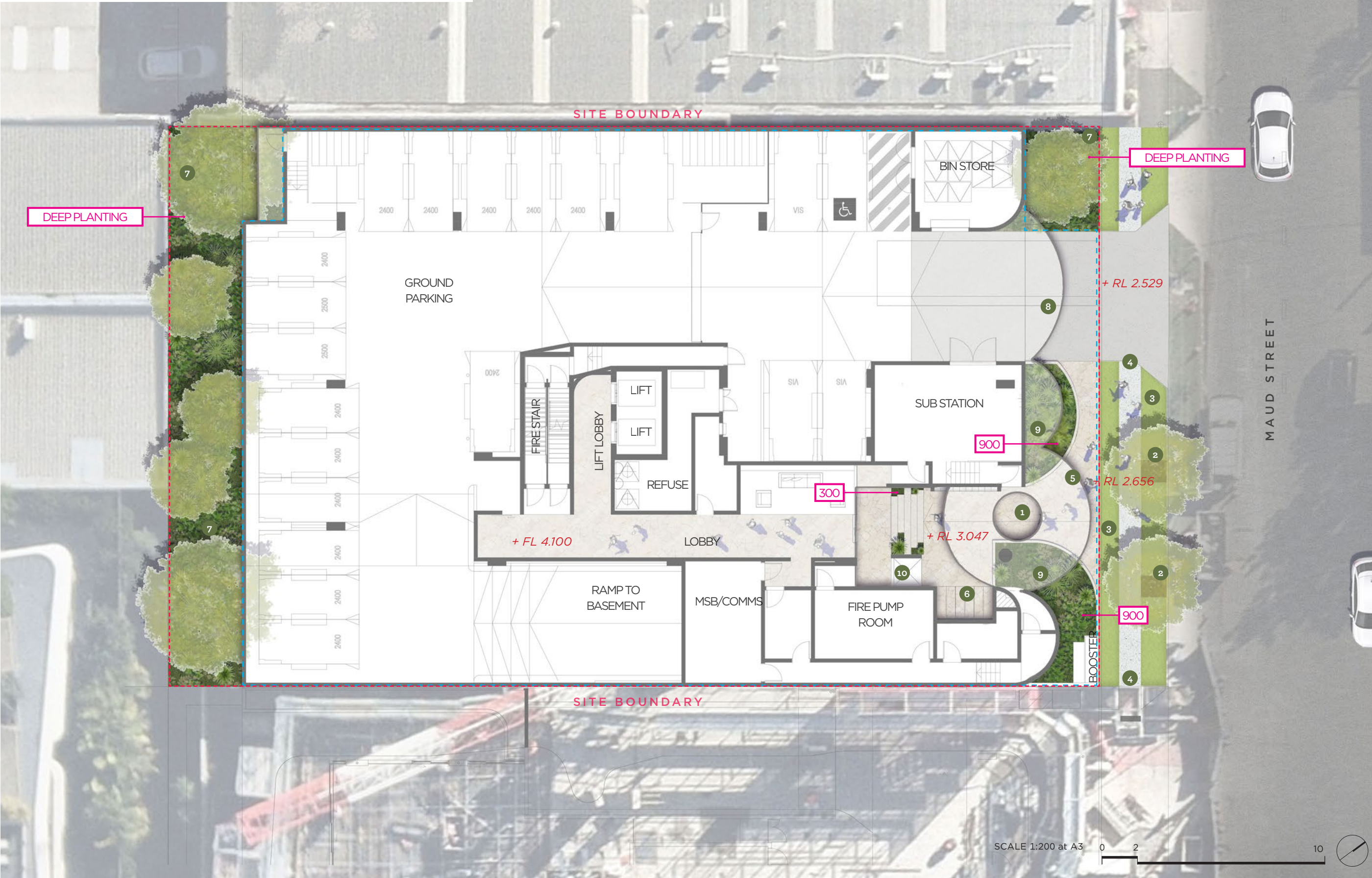
KEY

- 1 Pedestrian entry
- 2 Proposed street trees
- 3 Turf in verge
- 4 Pedestrian path (1200mm wide) to match adjacent development. Broom finish standard portland grey concrete to comply with BCC Neighbourhood Street Minor
- 5 Equitable access to front entrance from parking
- 6 Bike parking
- 7 Deep planting area with large shade trees
- 8 Vehicle entrance to basement parking, ground parking and loading zone
- 9 Lush planters to lobby
- 10 PWD platform lift for equitable access
- Property boundary
- Basement under
- Setback line
- xxx Planting media depth (mm) to podium / containerised planters
- RL 8.500 + Indicative existing levels (for reference only)
- FL 8.500 + Proposed finished level

NOTE - EXISTING SERVICES:

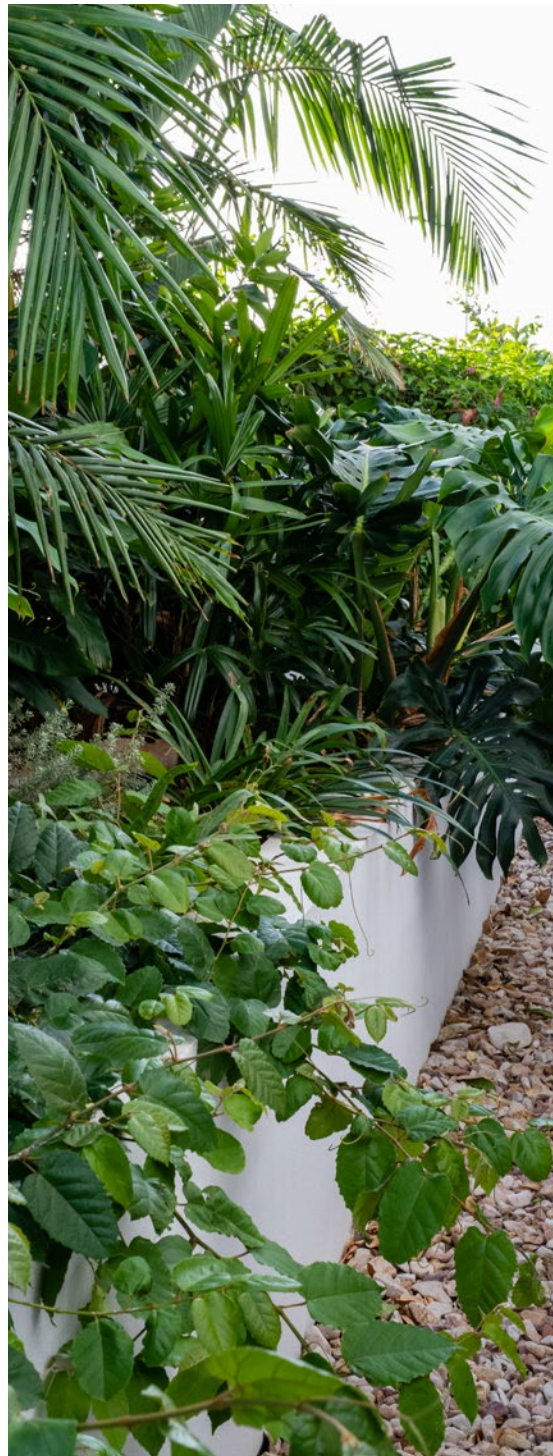
Streetscape contains minimal existing services. Existing overhead powerlines to be reinstated underground. All other services will be new connections to service the proposed development.

GROUND FLOOR & STREETScape CONCEPT



03 CONCEPT DESIGN

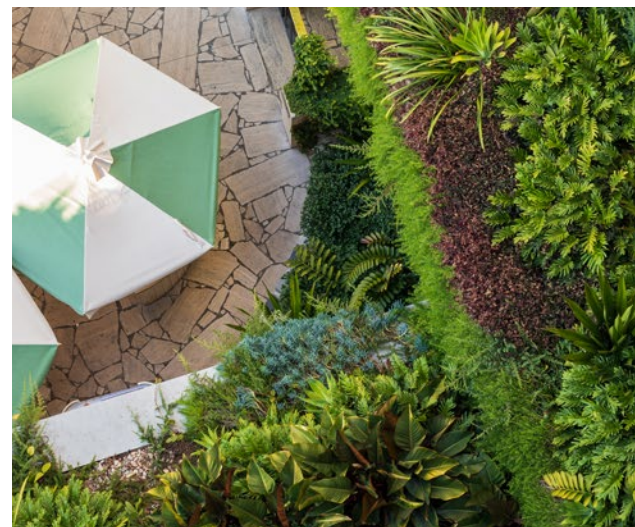
LEVEL 01



Layered screen planting for privacy edges



Rich & diverse planting integrated through all levels



Spill planting to connect levels



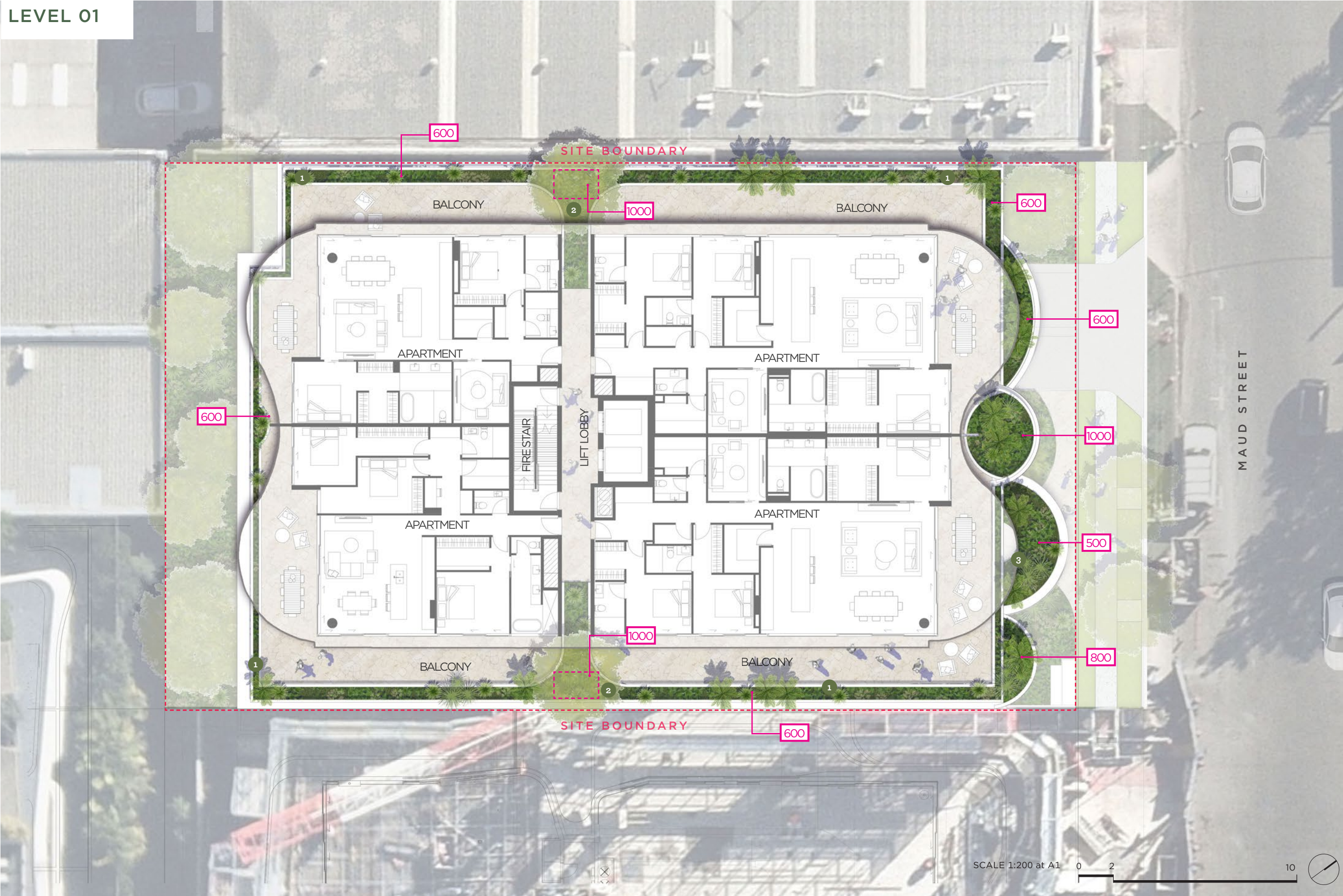
Spill planting to connect levels



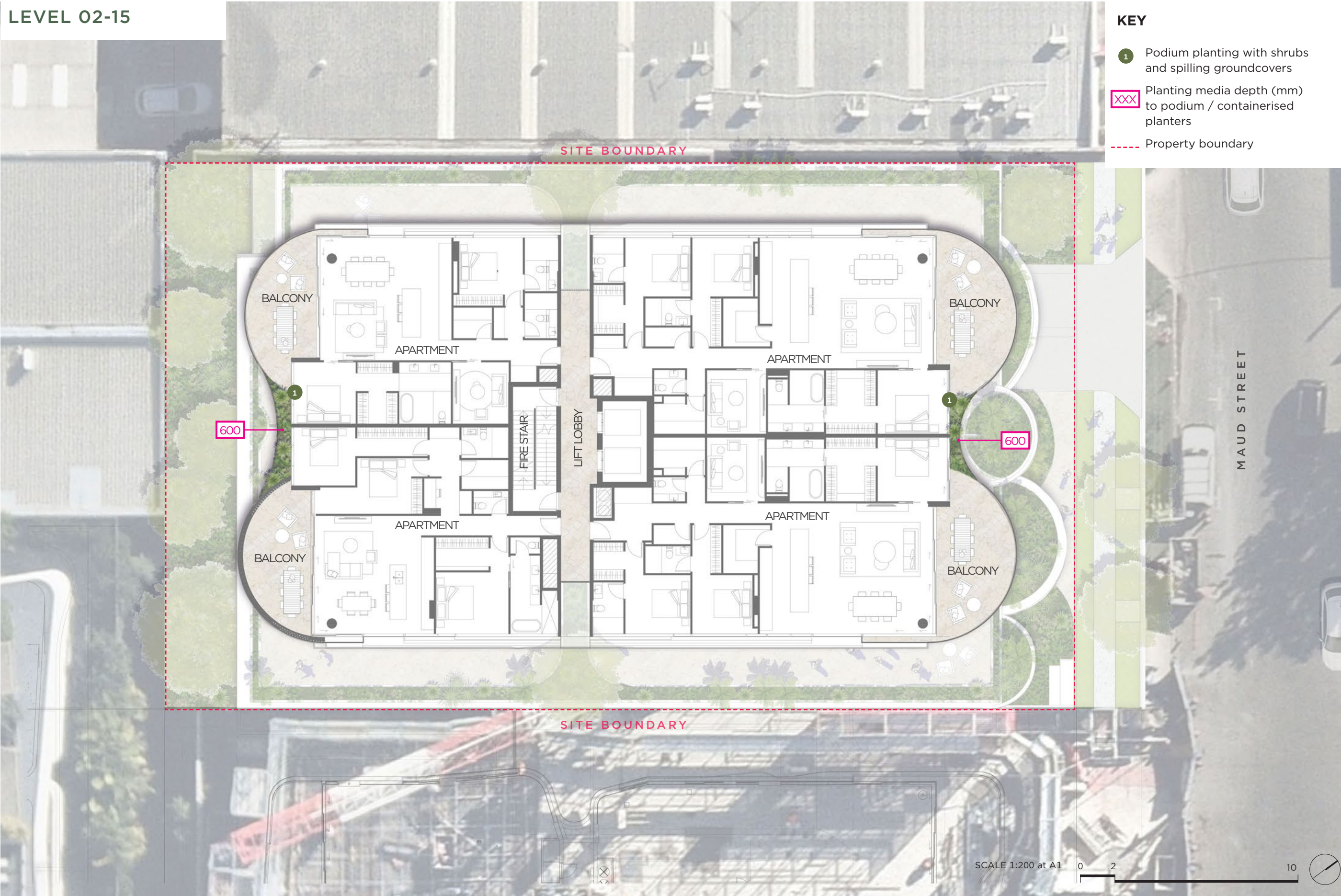
KEY

- 1 Podium planting with shrubs and spilling groundcovers
- 2 Additional planting media depth (mm) to podium for trees
- 3 Skylight to ground level below
- XXX Planting media depth (mm) to podium / containerised planters
- Property boundary

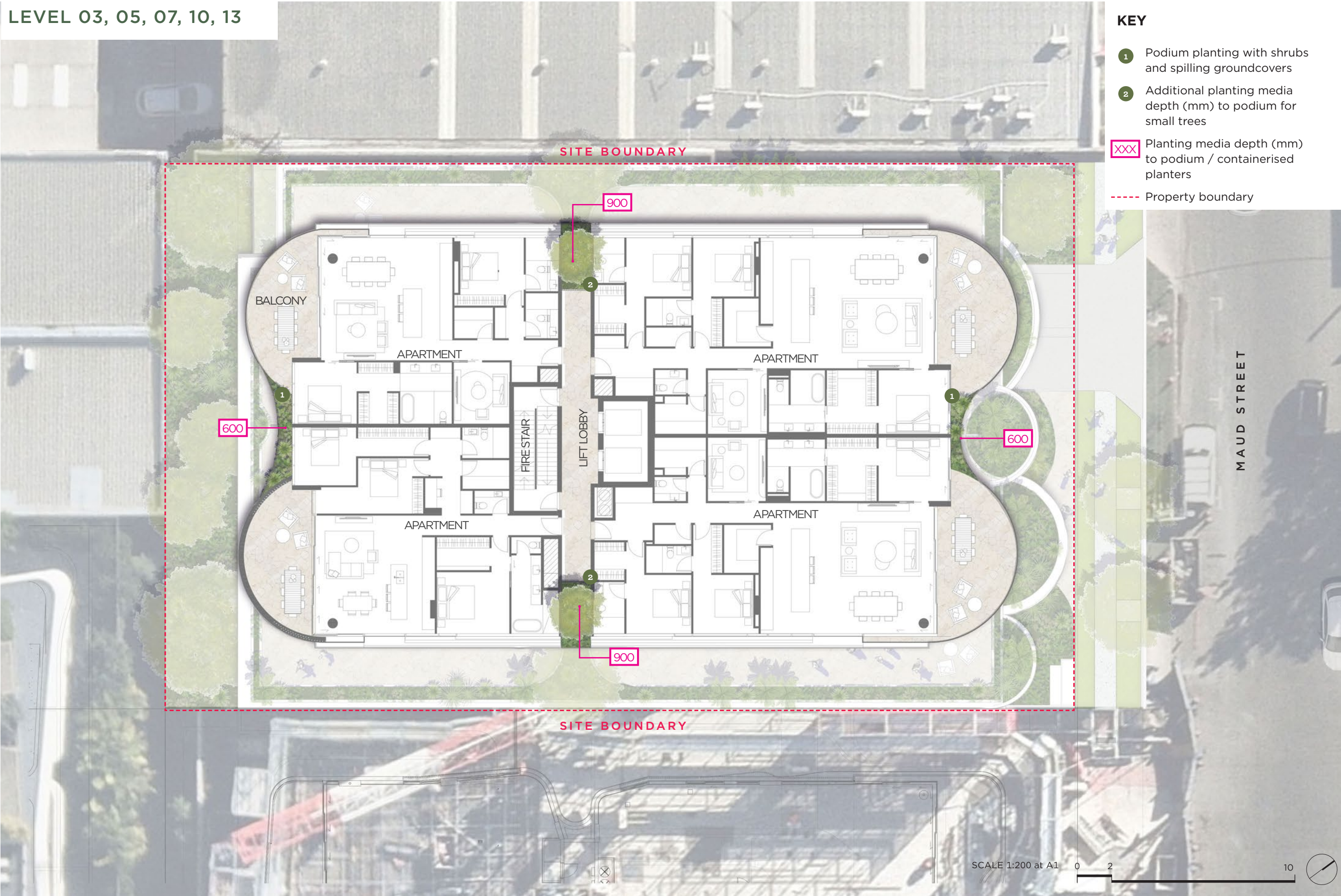
LEVEL 01



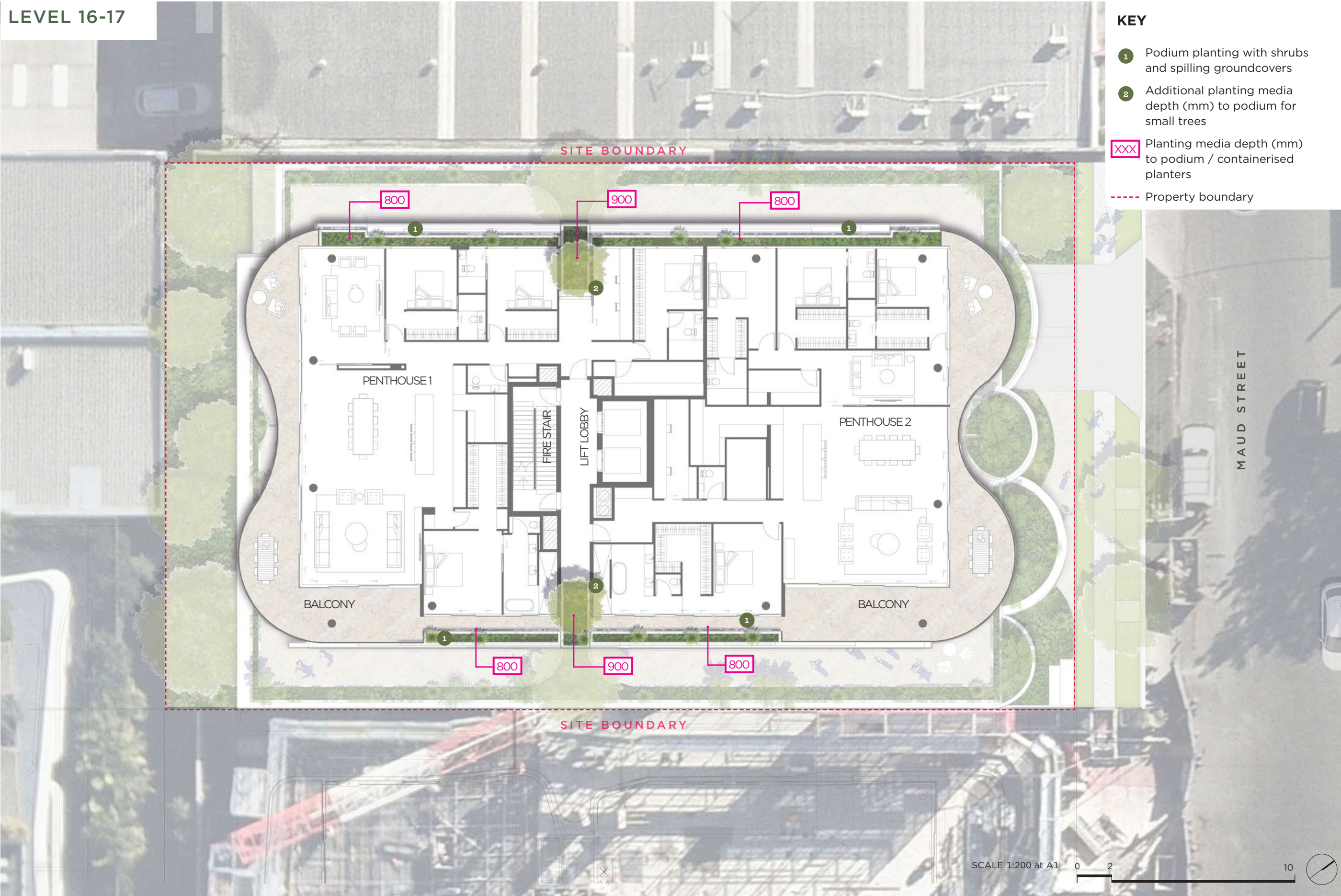
LEVEL 02-15



LEVEL 03, 05, 07, 10, 13



LEVEL 16-17



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03

CONCEPT DESIGN

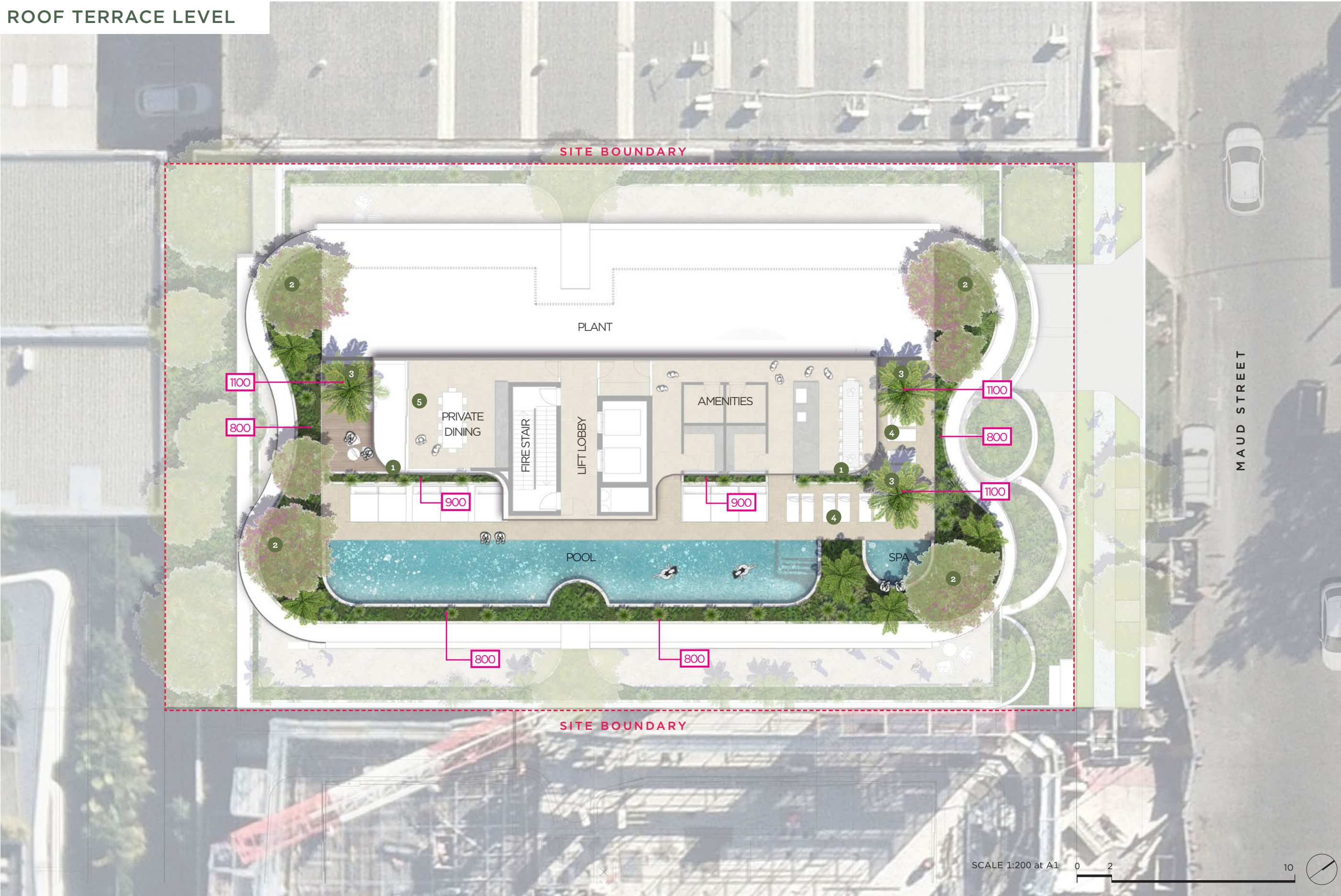
ROOF TERRACE LEVEL CONCEPT



KEY

- 1 Podium planting with palms and spilling groundcovers
- 2 Mounding +500 on podium for tree depth
- 3 Podium planting for large palms
- 4 Sun beds with river views
- 5 Private dining with city views
- XXXX Planting media depth (mm) to podium / containerised planters
- Property boundary

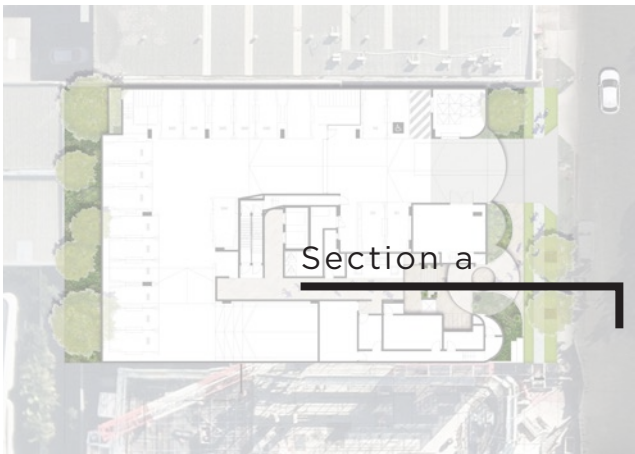
ROOF TERRACE LEVEL



04

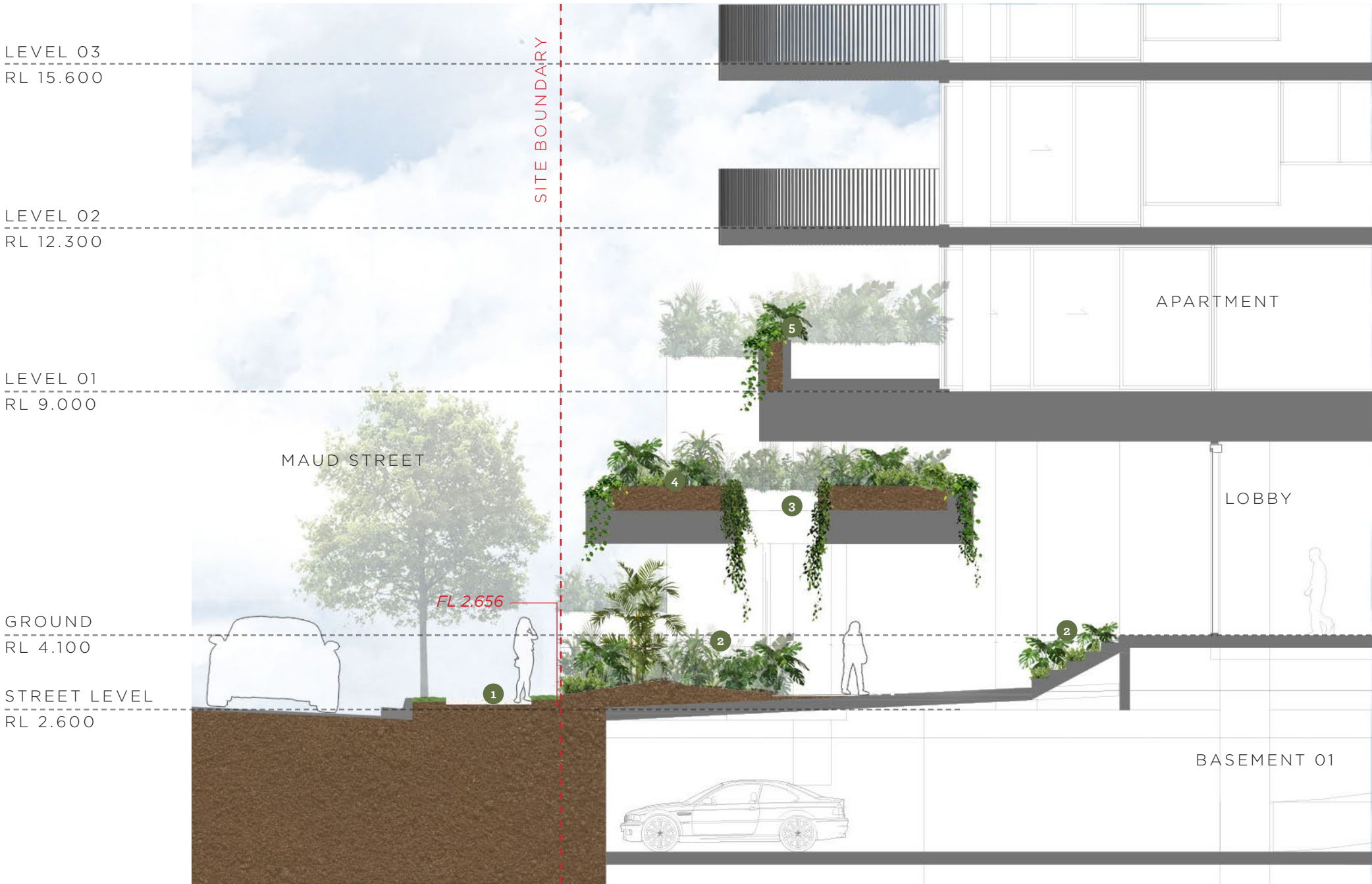
SECTIONS

SECTION A



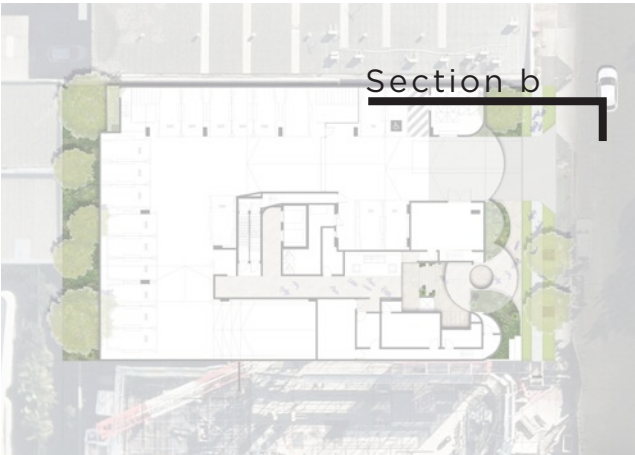
KEY

- 1 BCC Neighbourhood Street Minor with 1200mm wide footpath
- 2 Entrance lobby with podium planting and low light species
- 3 Skylight
- 4 Feature awning with lush and spilling plant species
- 5 Podium planting with spilling plants and shrubs



SCALE 1:100 0 1m 5m

SECTION B



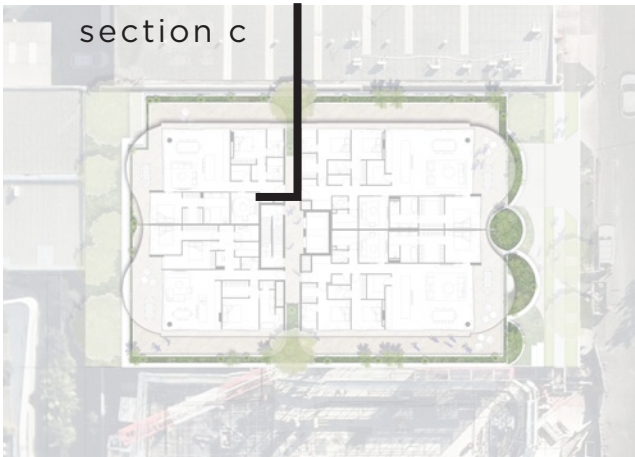
KEY

- 1 BCC deep planting into ground with large tree
- 2 Neighbourhood streetscape minor with 1200mm footpath
- 3 Podium planting with spilling plants and shrubs

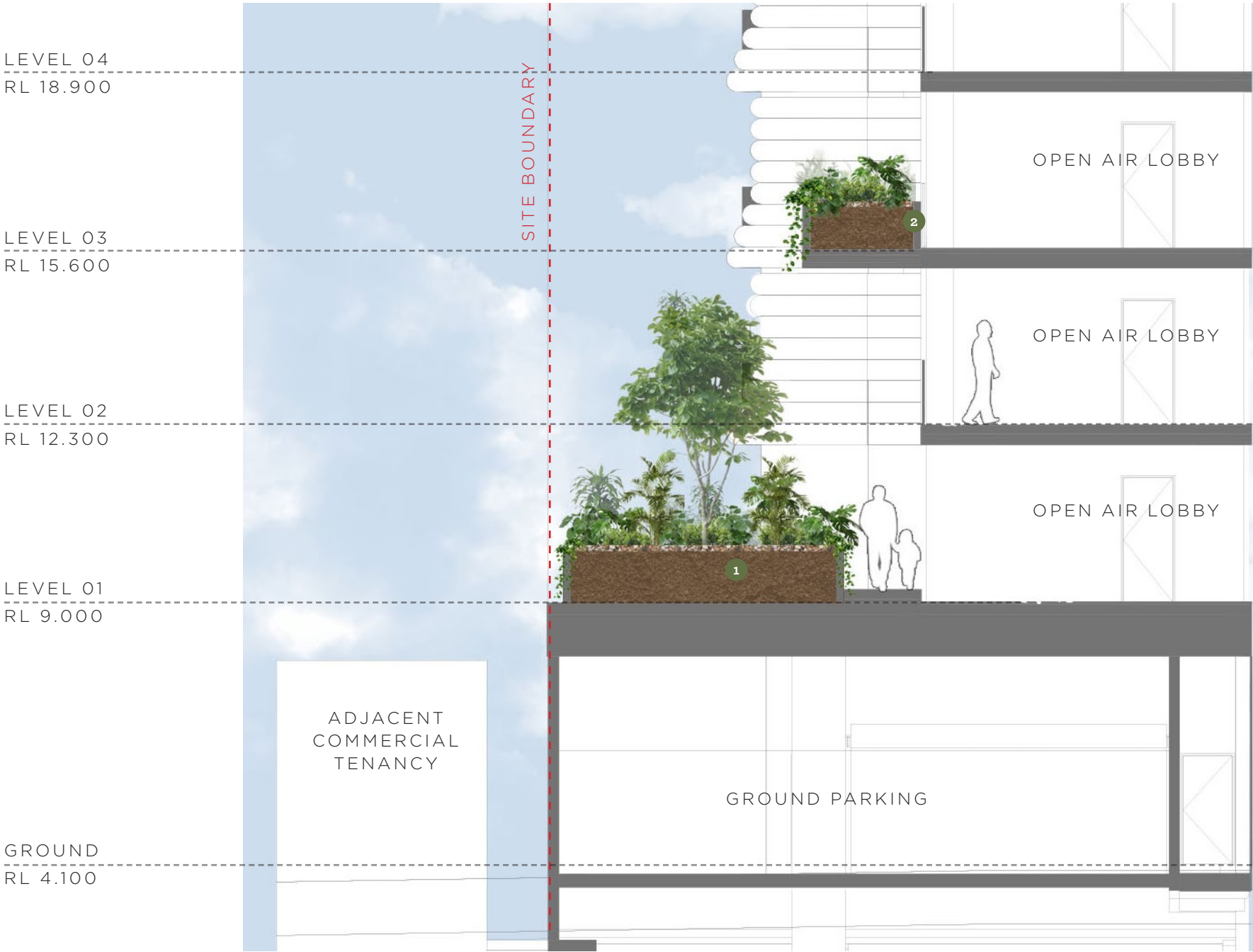


SCALE 1:100 0 1m 5m

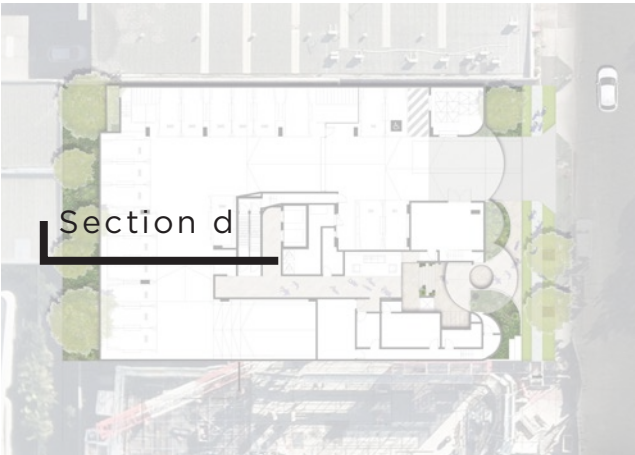
SECTION C



- KEY**
- 1 Deep planter on podium (1000mm)
 - 2 Balcony planter on podium (min 600mm with void former as required)



SECTION D



KEY

- 1 Deep planter into ground with large tree
- 2 Balcony planter on podium (min 600mm with void former as required)
- 3 Background spilling planting
- 4 Boundary fence to architects detail

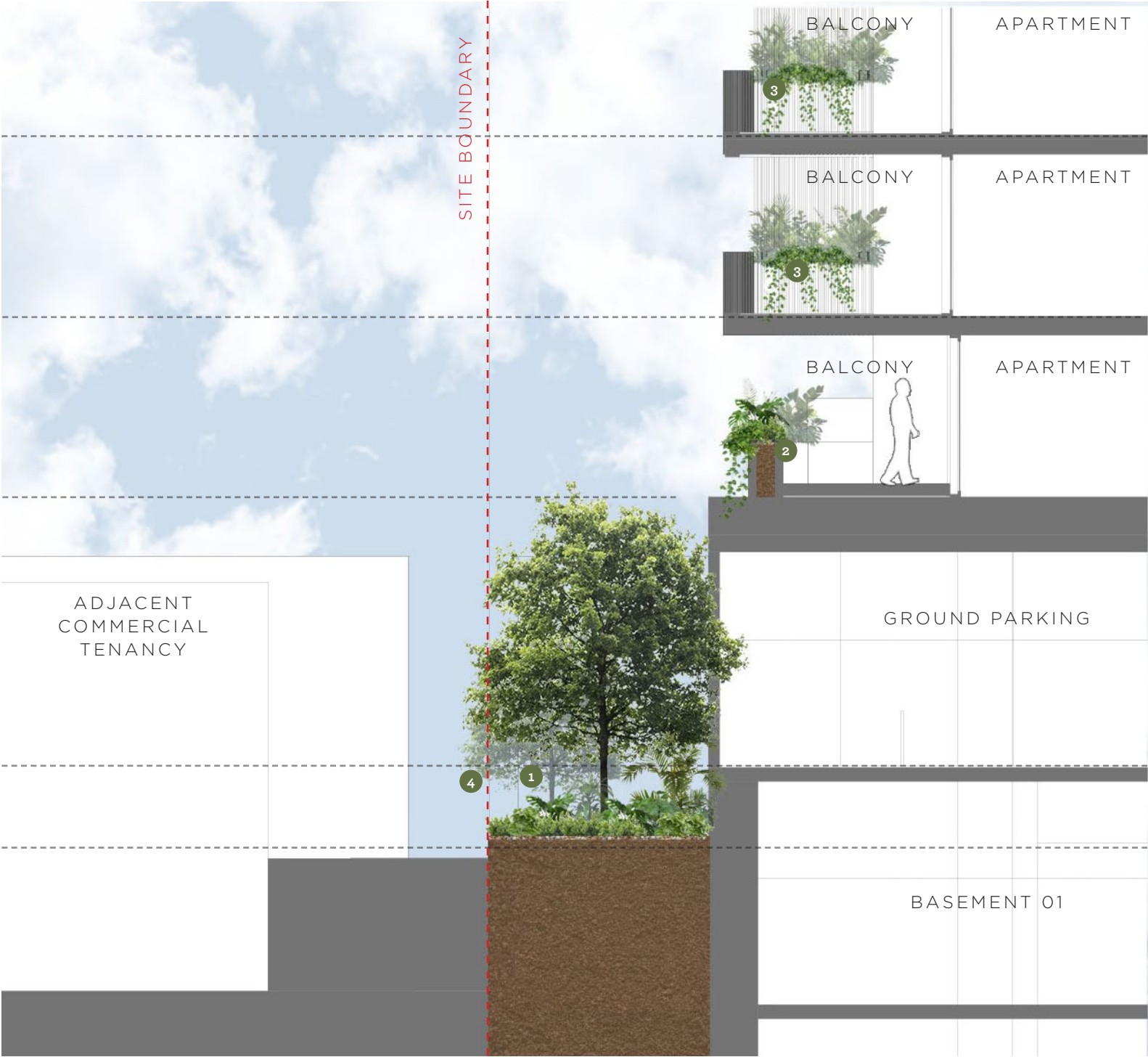
LEVEL 03
RL 15.600

LEVEL 02
RL 12.300

LEVEL 01
RL 9.000

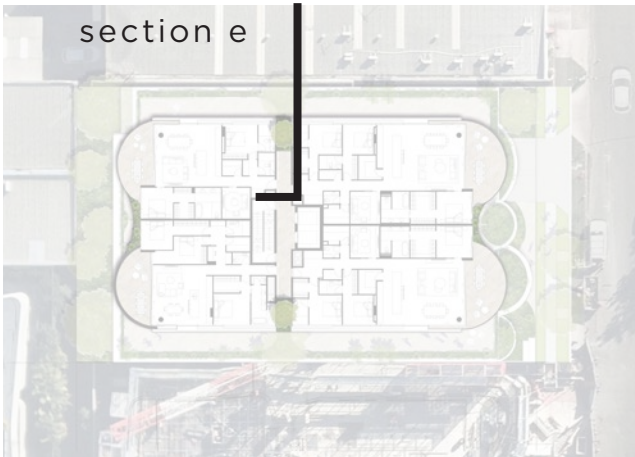
GROUND
RL 4.100

STREET LEVEL
RL 2.600



SCALE 1:100 0 1m 5m

SECTION E



- KEY**
- 1 Podium planting 900mm deep for small tree
 - 2 Tapered curved precast facade

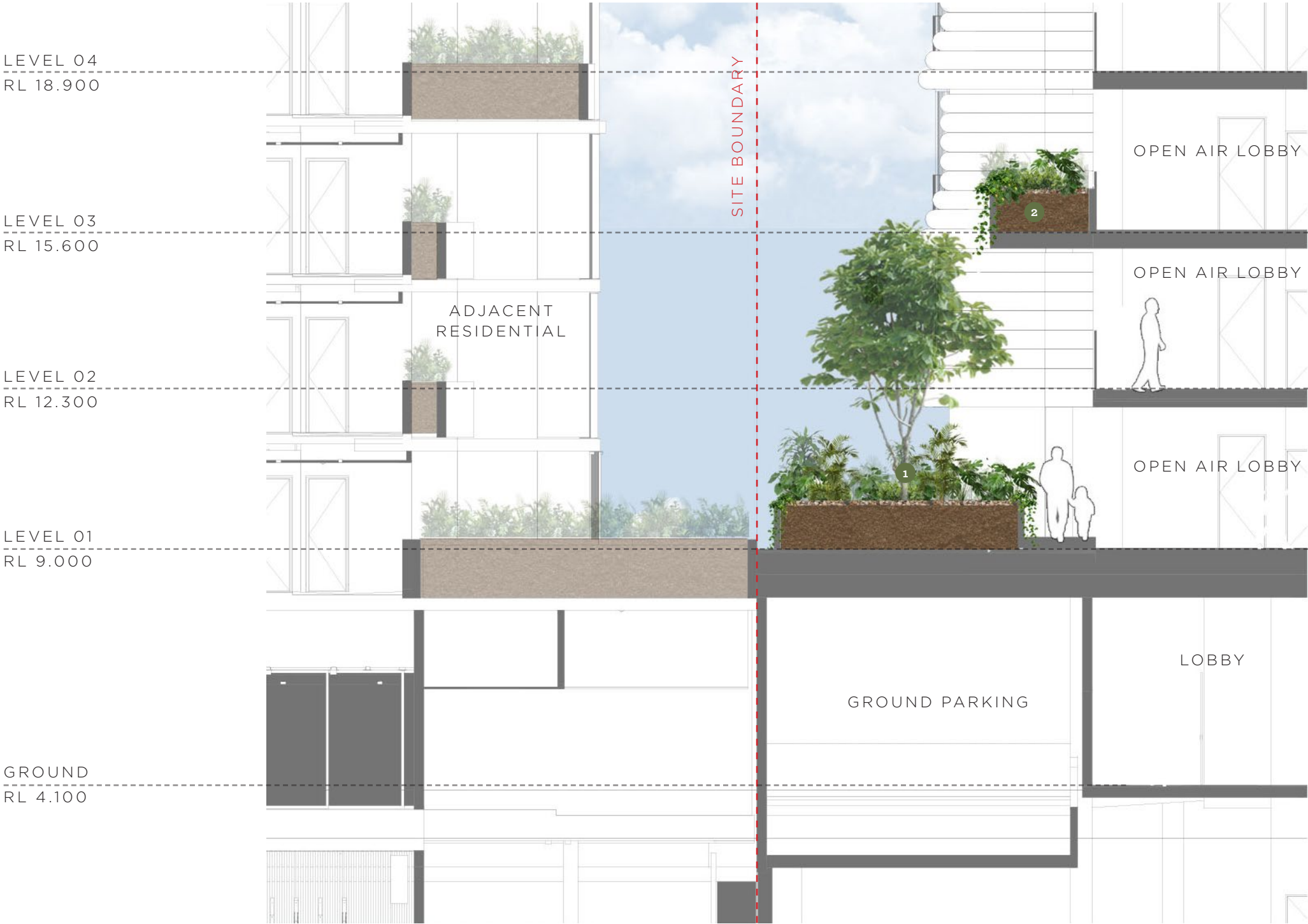


SCALE 1:100 0 1m 5m

SECTION F



- KEY**
- 1 Deep planter on podium (1000mm)
 - 2 Balcony planter on podium (min 600mm with void former as required)



SCALE 1:100 0 1m 5m

SECTION G

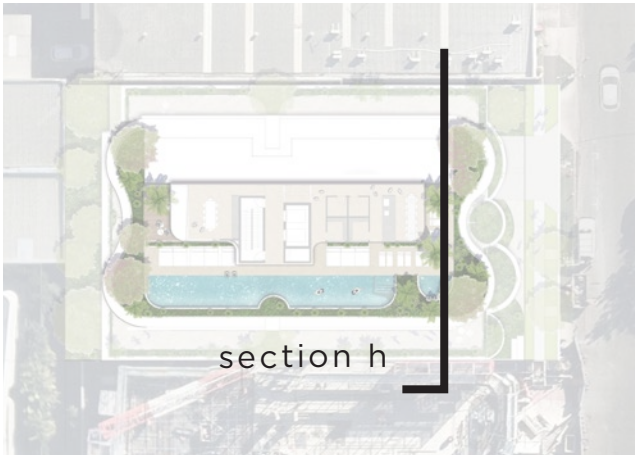


- KEY**
- 1 Podium planting 900mm deep
 - 2 Podium planting with spilling species facing east
 - 3 Tapered curved precast facade



SCALE 1:100 0 1m 5m

SECTION H



- KEY**
- 1 Podium planting 1000mm deep for small tree
 - 2 Balcony planting on podium (800mm)
 - 3 Services include rain water tank for irrigation (approx 20000L)



SCALE 1:100 0 1m 5m

05

PLANTING PALETTE

SUNNY MIX

FULL SUN / PART SUN PLANTING INTENT
(4-8hrs sunlight)

Planting areas will feature a mix of native and exotic plants and shrubs to provide a seamless transition from the residential complex to the surrounding local area.

The plants selected as part of this planting palette respond to the varied micro climates created by the built form, ranging from broad leafy shrubs, to more open plants which can withstand sun exposure and windy conditions.

TREES, PALMS & FERNS



Weeping Lilly Pilly
Waterhousea floribunda



Water Gum
Tristanopsis laurina



Tuckeroo
Cupaniopsis anacardioides



Sea Hibiscus
Hibiscus tiliaceus 'Rubra'



Tulipwood
Harpullia pendula



Blueberry Ash
Elaeocarpus 'Prima Donna'

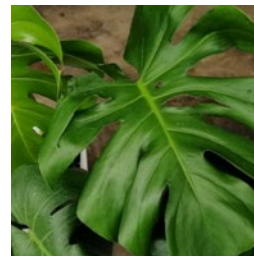
UNDERSTOREY



Lady Palm
Rhapis excelsa



Dwarf Cardamom Ginger
Alpinia nutans



Fruit Salad Plant
Monstera deliciosa



Hot Rio Nights
Heliconia bihai x caribaea



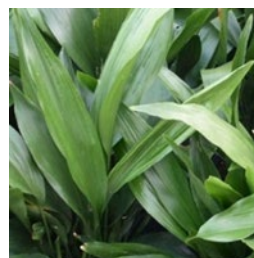
Giant Dioon
Dioon spinulosum



Broad Leaf Palm Lily
Cordyline petiolaris



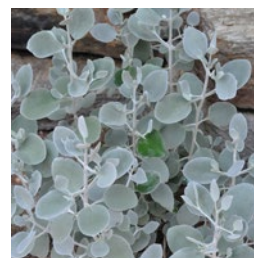
Zenzibar Gem
Zamioculcas zamiifolia



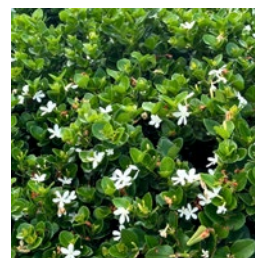
Cast Iron Plant
Aspidistra elatior



Cast Iron Plant
Aspidistra 'Shooting Star'



Silver Spoons
Kalanchoe bracteata



Green Carpet
Carissa macrocarpa



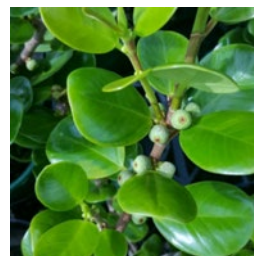
Xanadu
Philodendron 'Xanadu'



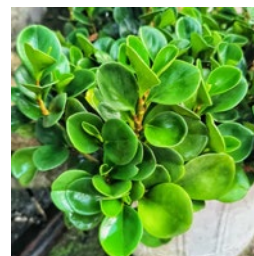
Snake Plant
Sansevieria trifasciata 'Laurentii'



Scaevola
Scaevola albida 'White Carpet'



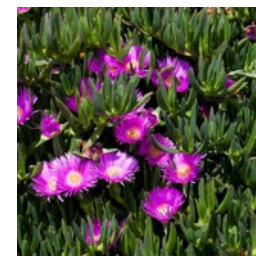
Green Island
Ficus microcarpa



Rubber Plant
Peperomia obtusifolia 'Jade'



Sun Jewels
Aptenia cordifolia 'Sun Jewels'



Pig Face
Carpobrotus glaucescens



Silver Falls
Dichondra argentea 'Silver Falls'



Emerald Cascade
Liriope



Lime Tuff
Lomandra confertifolia



Mat-Rush
Lomandra longifolia



Cousin It
Casuarina glauca 'Cousin It'

SHADY MIX

PART SHADE/ FULL SUN PLANTING INTENT
(3-6hrs sunlight)

TREES, PALMS & FERNS



Kentia Palm
Howea forsteriana



Queensland Fan Palm
Licuala ramsayi



Native Gardenia
Randia fitzalanii



Tree Fern
Cyathea cooperi

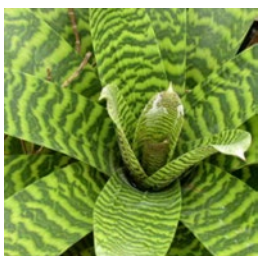
UNDERSTOREY



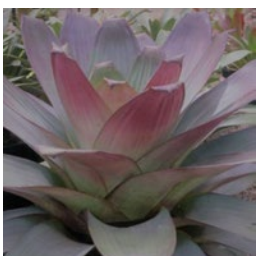
Florida Arrowroot
Zamia integrifolia



Doryanthes
Doryanthes excelsa



King Bromeliad
Vriesea hieroglyphica



Bromelaid
Alcantarea imperialis



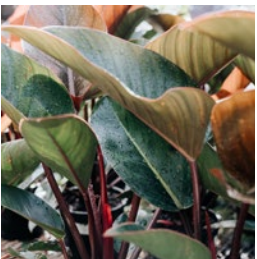
Birds Nest Fern
Asplenium nidus



Bromelaid
Neoregelia compacta



Cunjevoi
Alocasia brisbanensis



Philodendron
Philodendron 'Rojo Congo'



Philodendron
Philodendron 'Green Congo'



Parasol Plant
Farfugium japonicum



Heliconia
Heliconia psittacorum



Walking Iris
Neomarica gracilis



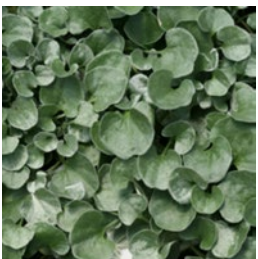
Flax Lily
Dianella 'Little Jess'



Glorious Philodendron
Philodendron gloriosum



Coastal Myoporum
Myoporum ellipticum



Kidney Weed
Dichondra repens



Native Violet
Viola hederacea



Zebra Plant
Calathea zebrina



Swamp Water Fern
Blechnum gibbum

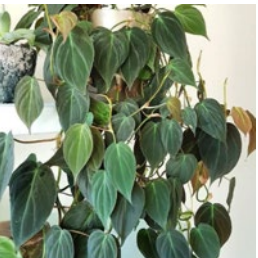


Kangaroo Fern
Microsorium diversifolium

CLIMBERS AND CASCADING PLANTS



Pothos
Epipremnum aureum



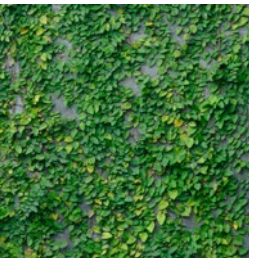
Green Heart Leaf
Philodendron hederaceum



Climbing frangipani
Chonemorpha fragrans



Bower Vine
Pandorea jasminoides



Climbing Fig
Ficus pumila

06

TECHNICAL NOTES

Planting Depths

Landscape works on podium will include containerised planting in 'raised planters' and or recesses in podium construction. Planting on podium will comply to the following minimum depths;

Trees - 1000mm (achieved generally by mounding from edge of planter walls towards centre of planter);

Large shrubs - 800mm;

Small shrubs and ground covers - 500mm

'Green roof' awnings & building edges - 300-400mm

Irrigation

Podium landscape works is to include a reticulated drip irrigation system to all containerised planting areas, with drainage connected to the storm water system.

Specification Notes

All plants shall be true to scheduled nomenclature, well formed, and hardened off nursery stock. Form and habit shall be normal for the plant as scheduled.

Standards

Conform to the following referenced documents:

- + AS 4419-2003 Soils for landscaping and garden use
- + AS 3743-2003 Potting Mixes
- + AS 4454-2003 Composts, soil conditioners and mulches
- + NATSPEC Guide: Specifying Trees - a guide to assessment of tree quality (Clark, R. 2003)
- + AS 4373-2007 Pruning of amenity trees

Maintenance Regime

Within the boundaries on private the property the contractor will maintain the landscape, upon receipt of 'On Maintenance', for a period of three months. The maintenance responsibilities will then be handed over to the body corporate caretaker.

Summary of Work includes but is not limited to:

- + Watering of garden beds and trees
- + Weeding of garden beds, trees and pavements
- + Supply and installation of mulch to maintain minimum depths as specified
- + Pruning, trimming and tree surgery
- + Pest and disease control of garden beds, planting and trees
- + Replacement of dead, failed or significantly diseased (50% of foliage) plants and trees
- + Removal of rubbish and debris from garden areas
- + Keeping of log book

Watering: Coordinate the water supply and confirm the watering regime against State and Local Government legislation and restrictions at time of maintenance period. Program of watering shall ensure health and vigour of all vegetation is maintained. Without restrictions the contractor shall provide a minimum water application of 30mm per week to each area of vegetation.

Weeding: Spray or hand removal of all broad leaf plants and grasses considered invasive to the locality. Spray treatment is by non-residual Glyphosate.

Fertilising: Application of the approved slow release fertilisers shall be strictly in accordance to manufacturer's specifications and rates, to ensure health and vigor of all vegetation is maintained.

Beyond the time frame of a standard maintenance period (12 months) the

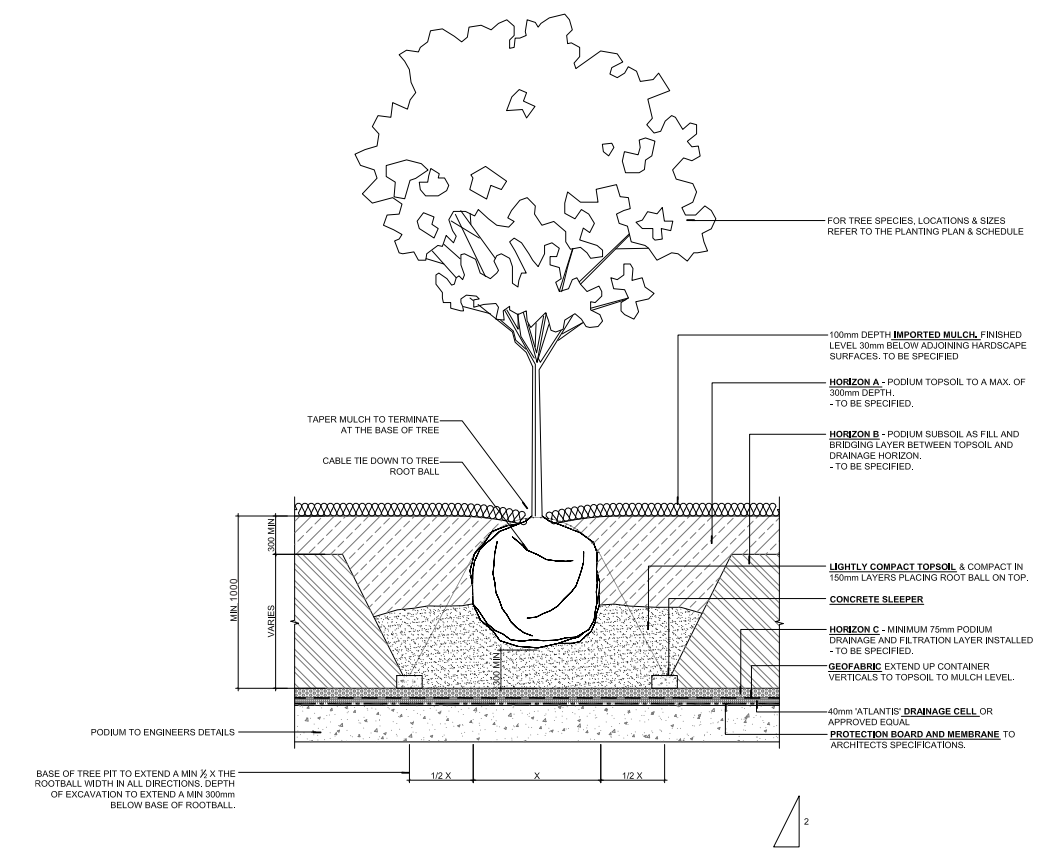
landscape works will require replenishment of planting to maintain its high levels of health and appearance.

Typical Details

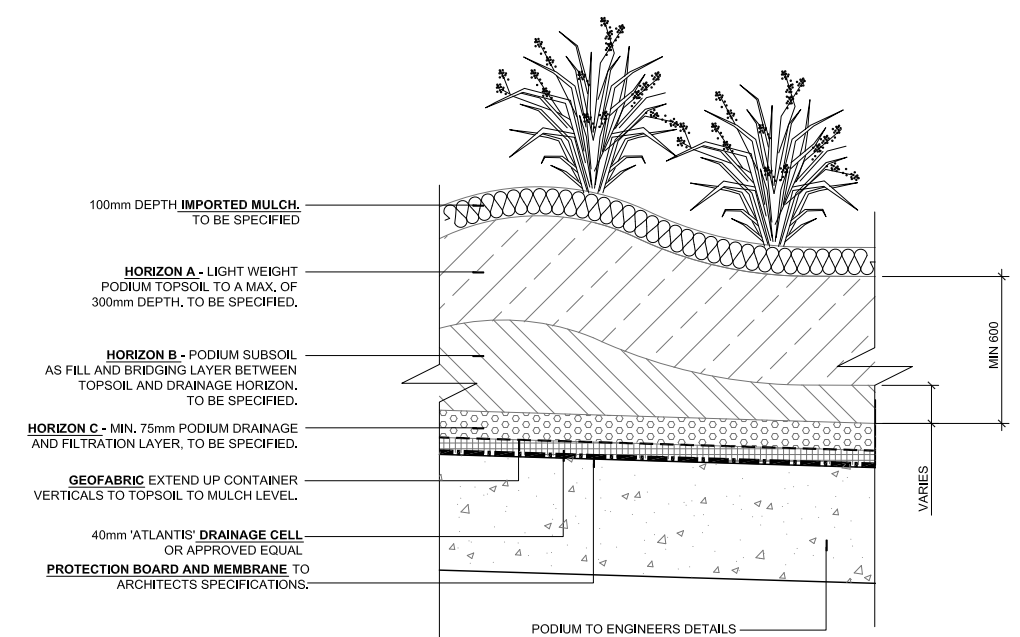
The following typical construction details are to be used where shrub and tree / palm planting occurs on podium. These are to be reviewed and coordinated with BCC standard details and specifications in detail design stage of works.

Planting to building edges & facades

Maintenance access to all planters is to meet the appropriate standards and fall protection requirements and is to be designed and certified as part of future phases of work in consultation with the contractor, certifier and maintenance access specialist. All notes for maintenance access in this document are indicative and require further review and resolution prior to certification and construction.



TYPICAL DETAIL A - TREE PLANTING GENERAL



TYPICAL DETAIL B - PLANTING GENERAL

MAINTENANCE CONSIDERATIONS

Maintenance of podium & facade planters

The landscape design has been coordinated with the architectural design to deliver a landscape design outcome commensurate to this high quality coastal location. The landscape design also considers access, CPTED, maintenance and long term landscape design objectives. We acknowledge that maintenance is key to the long term success of any landscape and have provided detailed preliminary notes regarding access to all planted areas throughout the proposed development.

For reference only (detail to be confirmed in the next design stage) the ground floor landscape may be directly accessed from adjacent footpath and ground level areas. Integrated facade planting up to Level 17 will be accessed via a combination from adjacent pavement level and abseil access as required. The rooftop recreation levels may be accessed from adjacent pavement areas which lie entirely within the rooftop balustrade or via the integrated fall arrest systems to allow access outside of the balustrade.

Planters with constrained access or height implications have the ability to incorporate an integrated fall arrest system to ensure safe access for maintenance.

The fall arrest system, to be developed as required with the builder, certifier and specialist consultant in the detailed design phase, will be designed in accordance with AS1981 Selection, Use and Maintenance of Industrial Fall Arrest Systems and Devices. Further to this, a detailed maintenance schedule may be developed with the landscape contractor to guide future maintenance to ensure positive long term landscape outcomes are achieved.

This schedule will consider plant maintenance, access, pruning, watering requirements, fertilising and plant replacement. It is also intended for all landscape areas to be irrigated by an automatic irrigation system. Species selection will also play a critical role in long term success. We understand the implications of the highly exposed riverfront setting and will create a plant palette that responds to the high exposure and wind conditions in exposed areas. Where possible, when protection is provided we may vary the plant palette to the respond to the variety of micro-climates created across the proposed development through aspect and building form.

Maintenance schedule and design intent

The maintenance schedule provided is indicative of the minimum works required to maintain all planting areas throughout the proposed development. Key maintenance activities will require to be undertaken year round and adjusted to suit seasonal conditions as required. Further refinement will also be required to address the specific and varied micro-climates and mix of plant species across the site. A more detailed maintenance schedule may be undertaken by the contractor in the detailed design phase of the project and provided to the future building manager to ensure the landscape areas are well maintained and continue to thrive and remain aesthetically appropriate for the life of the project.

It is intended the landscape planting areas, in particular, the climbing and spilling species, will be maintained to the following minimum standards:

- + topsoil levels monitored and replenished to remain in accordance with the typical construction details
- + mulch levels monitored and replenished to remain in accordance with the typical construction details
- + tree & palm staking and guying monitored and adjusted accordingly to ensure plant stock establishes appropriately
- + Failed plant species replaced as required with species selection adjusted to suit ongoing changes to the landscape
- + Spilling plants intended to spill approximately 1.0-2.5m down the adjacent facade. Length to be adjusted to suit specific locations and safety requirements
- + The climbing plants are to be maintained regularly to ensure dense leaf foliage is maintained from the lower portions of the plant to the top. Regular trimming will required, as noted, to maintain vigorous growth and compact form. Planned application of fertiliser, topsoil and mulch will also be critical to long term success.

	Summer		Autumn			Winter			Spring			Summer
Activity	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Irrigation - check system & soil moisture content												
Weeding & removal of debris												
Mulch check and replenish (if required)												
Topsoil check and replenish (if required)												
Pruning and trimming												
Pest and disease control												
Replacement of failed species (if required)												
Fertilising												
Log book - photograph progress / record												

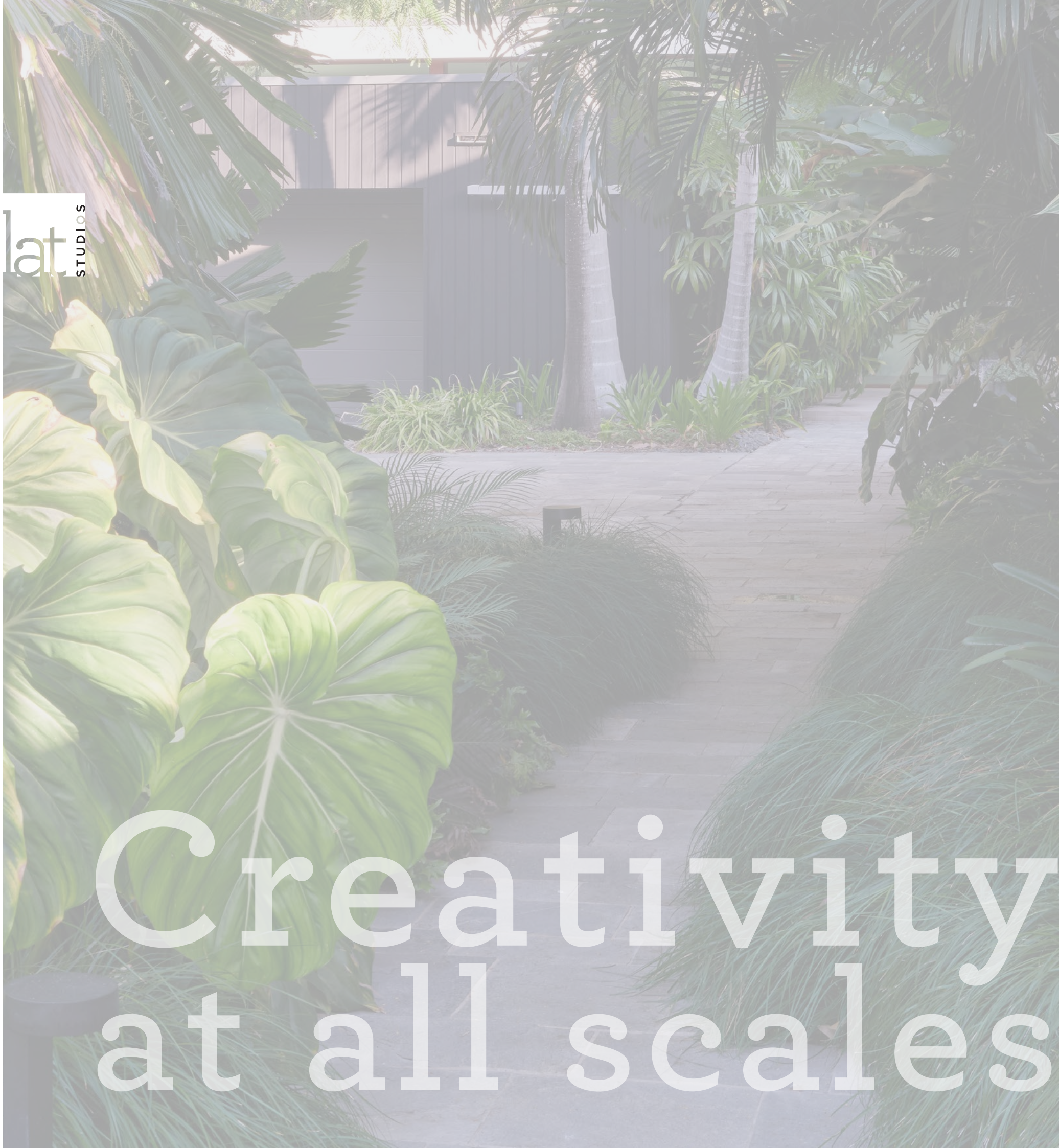
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