



27 July 2026

Brisbane City Council
PO Box 1434
Brisbane QLD 4001



Attn: Kayal Chandrasekar

Via email: Kayal.Chandrasekar@brisbane.qld.gov.au

RE: A006761597 – 56 FARLEY ROAD, ROCHEDALE 4123 – RESPONSE TO PROPERLY MADE SUBMISSIONS

Table 1: Application Details

Applicant	Gardner Rd Developments Pty Ltd C/- The Development Directive Pty Ltd
Landowner	Gardner Rd Developments Pty Ltd
Application Number	A006761597
Application Address	56 Farley Road, Rochedale 4123
Property Description	Lot 6 on RP114765

Dear Kayal,

I write to you on behalf of Gardner Rd Developments Pty Ltd (**the Applicant**), in relation to a development application (Council Reference: A006761597) over land at 56 Farley Road, Rochedale 4123 (**the site**). It is noted that the aforementioned development application is currently under assessment by Brisbane City Council (**Council**) and is within the decision period.

In accordance with Section 53 of the *Planning Act 2016* (**the Planning Act**) and Part 4 of the Development Assessment Rules (**DA Rules**), the development application undertook public notification between 27 May 2026 to 17 June 2026, for a total period of 30 business days.

During the public notification period, two (2) properly made submissions and one (1) not properly made submissions were received for the development application.



EXECUTIVE SUMMARY

At the time of writing this response, it is noted that there are three (3) existing development approvals over the site, which this development application is related to, as follows:

- A006484551 – Trunk Road – Northern Leg (Approved on 19/06/2026)
- A005747839 – Trunk Road – Central Leg and Variation Request (Approved on 10 June 2025)
- A006738631 – Trunk Road – Southern Leg (Approved on 03/07/2026)

For clarity, Figure 1 below visually illustrates the road alignment of each approval.

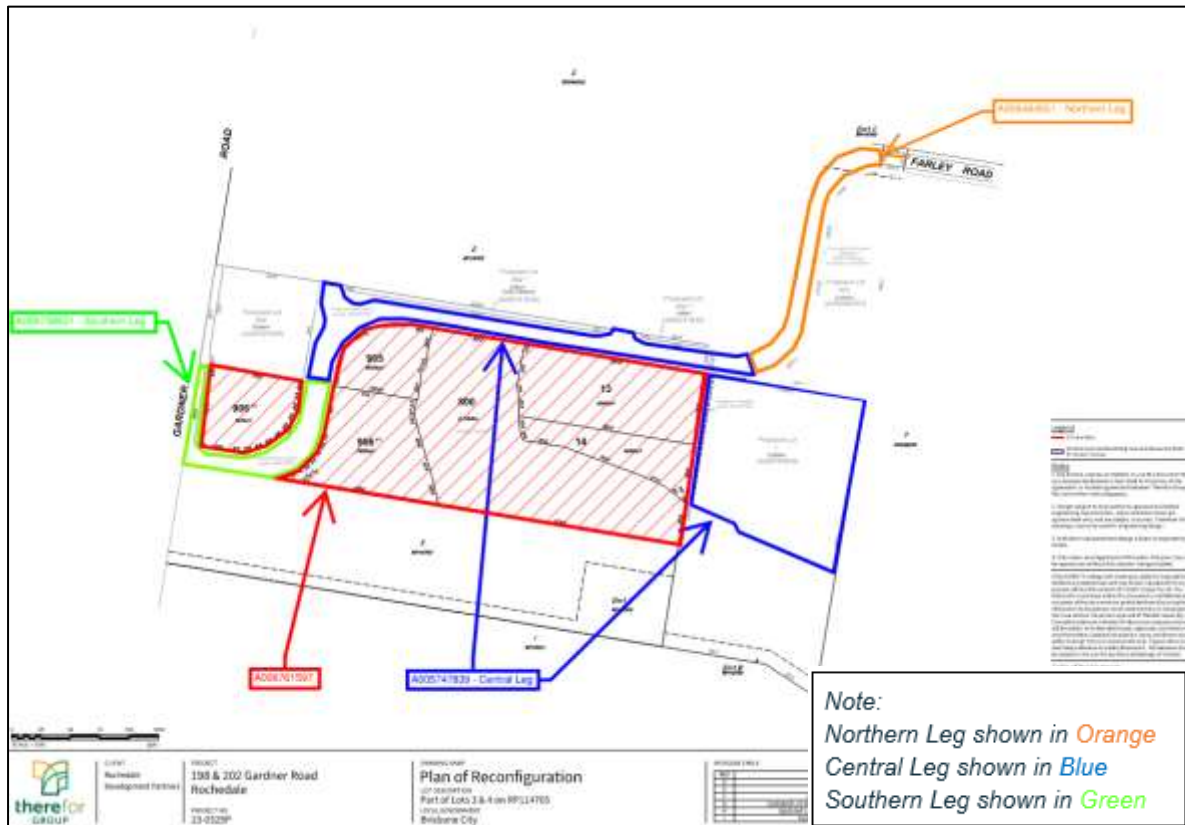


Figure 1: LGIP Road Alignment (Council Ref: A006484551, A005747839 & A006738631)

All three development approvals are related to the LGIP trunk road alignment and intersection works. The effect of the development approvals is that they 'lock in' the location of the trunk road alignment connecting Farley Road and Gardner Road. The approved intersection at Prebble Street / Gardner Road / New Road (i.e. 'the southern leg') will create the fourth leg of the existing Prebble Street / Gardner Road signalised intersection. Accordingly, the location of this intersection, the extent of works and the road has been set by the existing development approvals, outlined above. This development application does not seek to change this arrangement.

It has been submitted that A005747839 is under appeal. We confirm that this is not the case and the matter has been resolved (as Council would know, as a party to the previous proceedings). It has been submitted that A006738631 is not approved. This is also incorrect, this application has been approved and is currently under a Negotiated Decision Notice period (applicant lead).

All submissions received include substantive grounds about the trunk road alignment, road planning and Gardner Road / Prebble Street intersection design. Those grounds are irrelevant to this application, which does not seek to determine or change the location or alignment of the trunk road (because this is already approved). It is noted that the trunk road approvals were subject to public consultation, in which each of the submitters were notified, however, no submissions were made against the trunk road applications. The concerns raised in the submissions to this application about the trunk road alignment, access to neighbouring property (i.e. 190 or 210 Gardner Road) and intersection locations are not relevant to the assessment of this application.



SUBMISSIONS RESPONSE

It is relevant to note that the several matters raised within the submissions are issues not directly related to this specific development application, which seeks approval for a Preliminary Approval (Variation Request) to apply provisions of the Low-medium density residential zone and to vary the effect of the Waterway corridors overlay mapping and the biodiversity areas overlay mapping over the site, and for a Development Permit for Reconfiguring a Lot. The majority of matters relate to aspect from other development applications/ approvals over the site. However, a response to each matter has been outlined below for consistency.

Table 1 below summaries all items raised within the submissions and has grouped them into key matters. A response to key matter is outlined in the table below.

Table 1: Submission Key Items

Items raised in submission	Response
Road Planning, Access and Traffic Impacts	As outlined above, the trunk road alignment and access has already been determined under existing development approvals. These submitter grounds are irrelevant to this application which is consistent with the existing trunk road approvals. To the extent that the proposed development will generate further traffic, this has been considered in the traffic advice which forms the common material of the application.
Inconsistent with zoning intent	The proposed development site is designed within the Emerging Community Zone under the planning scheme. The proposal seeks to vary the zoning over the part of the site for Low-Medium Density residential purposes and vary the alignment of the waterway to align with ground truthed values. This proposal is considered to comply with the overall outcomes of the Emerging Community Zone Code as the proposal seeks the timely conversion of non-urban land to land for urban purposes, whilst protecting the ecological values on the site. Furthermore, the residential proposal aligns with the sequential and orderly planning of residential development in the locality. Notably, the proposed residential area is located adjoining the existing approved residential area under development approval A005747839. Refer to Figure 2 below.  <i>Figure 2: Surrounding Residential Development – demonstrating that the subject site represents the logical extension of residential land to the east of the waterway and south of Farley Road.</i> The proposal also aligns with the planning scheme zone intent which provides the following: “Identify land that is intended for an urban purpose in the future; and



Items raised in submission	Response
	<i>b. protect land that is identified for an urban purpose in the future from incompatible uses; and</i> <i>c. provide for the timely conversion of non-urban land to land for urban purposes.”</i> There are significant relevant matters, including acute and urgent housing need, which support the approval of the proposed development.
Flooding	As outlined in the Flood Impact Assessment, any change to downstream flood levels are contained wholly within the waterway corridor. In the existing Central Leg Development Approval (Council Ref: A0057478398) a Flood Impact Assessment was carried out and approved, which showed an increase in flood levels downstream of the road culverts (within 190 Gardner Road, Rochedale). Those impacts were wholly contained to the waterway corridor. As part of this application, a revised Flood Impact Assessment was prepared. The revised Flood Impact Assessment utilised more recent ARR Rainfall data. Similar to the approved development, the proposed development includes an increase in flood levels downstream of the road culverts (within 190 Gardner Road, Rochedale). These changes are also wholly contained to the waterway corridor. The impacts are not material and/or adverse as they are contained to an area that is already subject to flooding, within a waterway. Accordingly, the proposed development achieves compliance with the relevant performance outcomes of the Flood Overlay Code. There are significant relevant matters, including acute and urgent housing need, which support the approval of the proposed development.
Waterway Corridor Values	The submissions identify the need for rigorous and careful assessment of waterway values. The application has been supported by significant reporting around waterway values in the common material including: waterway biodiversity values, geomorphology, waterway conveyance, flooding and ecology/rehabilitation. The proposed development maintains a waterway which is between 80 – 100m+ wide and is considered to conserve and improve waterway values within the ground-truthed waterway corridor.
Acoustic / Noise Assessment	The applicant has prepared an acoustic assessment which has considered the impacts (and mitigations) of surrounding development on the proposed development. The acoustic assessment has been submitted separately to this response. The outcome of the acoustic analysis is that appropriate mitigation measures can be put in place to ensure an appropriate level of acoustic amenity at the site is achieved.
Landfill Migration	Gas The submissions raised concerns about the potential landfill gas migration as a result of the proposed subdivision. It is noted that the site is located within close proximity to the Brisbane landfill site. A Landfill Gas Migration Advice Letter has been prepared by ADG Consulting and was submitted as a part of the Information Request Response sent to Council. For the purposes of the letter, ADG conducted a desktop study which is supported by the following reporting: • ‘Brisbane Landfill – Landfill Gas Assessment’ report prepared by GH D dated 20 March 2024 • site investigations carried out by an adjoining property Lot 7 on SP202605 • Preliminary Site Investigations in 2025 conducted by Core Consultants



Items raised in submission	Response
	Environmental Authority Permit Number EPPR00839913 The findings from the report found that the proposed development “has a very low (ie. Negligible) potential of being impacted by landfill gas or leachate migration for the BCC Rochedale Landfill.”

If you have any questions regarding the above, please do not hesitate to contact the undersigned at leah@developmentdirective.com.au.

Kind Regards,

Leah Hamel
Senior Town Planner
The Development Directive Pty Ltd