

SARA reference: 2602-50952 SRA

Council reference: A006952436

30 March 2026

Archarra Pty Ltd
C/-Doyen Planning Pty Ltd
PO Box 763
BULIMBA QLD 4157
brisbane@doyenplanning.com.au

Attention: Rhys Trombetta

Dear Rhys,

SARA information request - 12 Archimedes Street, Darra

(Notice issued under Chapter 1, Part 3, Section 12 of the Development Assessment Rules)

The State Assessment and Referral Agency (SARA) has undertaken a preliminary review of the material provided in support of the above referenced application which was deemed properly referred on 10 March 2026.

From this review, SARA has identified a range of matters relating to State code 1: Development in a state-controlled road environment (State code 1) of the State Development Assessment Provisions (SDAP) that it wishes to draw to your attention.

1. Stormwater Management

The application material does not include any information in relation to stormwater quantity management. Information regarding stormwater quantity management is required to demonstrate compliance with Performance Outcomes (PO) PO8 – PO14 of State code 1.

Response requested:

Please provide a stormwater technical note or stormwater management plan prepared and certified by a suitably qualified Registered Professional Engineer of Queensland (RPEQ) which includes (but not limited to) the following information:

- (a) details of the location of the existing and proposed lawful point of discharge
- (b) surface types used for the proposed development
- (c) existing and proposed impervious area
- (d) stormwater drainage layout plans showing existing and proposed stormwater infrastructure
- (e) stormwater quantity analysis
- (f) details of any mitigation measures required.

2. Access and traffic impacts

In reviewing the Traffic Code Compliance Report, prepared by Milanovic Neale, dated January 2026, reference C6493, further information is required to address State code 1 and the Department of Transport and Main Roads (DTMR) Guide to Traffic Impact Assessment (GTIA).

Additional information is required to address PO15, PO16, PO19 and PO25 of State code 1 and demonstrate that the development would not have a significant adverse impact on the state-controlled road network. In particular:

- (a) the section of Ipswich Road along the site frontage is currently in a poor condition with a narrow fatigued pavement, no kerb and channel, no drainage structures and a wide unsealed shoulder. Frontage works would be required to bring it up to an appropriate standard (i.e. pavement widening, kerb and channel etc) along the site frontage. However, no such upgrades are proposed in the traffic report
- (b) the proposed access driveways on both the Ipswich Road and Archimedes Street frontages appear to have insufficient separation from the adjacent intersection with respect to the minimum requirements of AS2890.1
- (c) the traffic report does not include a road safety assessment as required by the GTIA.

Response requested:

Please provide a revised Traffic Impact Statement (TIS) which demonstrates compliance with PO15, PO16, PO19 and PO25 of State Code 1 of the SDAP. The TIS should be prepared by a suitably qualified RPEQ and must (at a minimum) include:

- (a) the frontage works required to Ipswich Road and at the Ipswich Road / Archimedes Street intersection to facilitate safe and efficient access to the site, including by A-double vehicles
- (b) a detailed review of the proposed site access arrangements (i.e. location, design, available sight distances etc.) to confirm safe and efficient operations
- (c) undertake a safety risk assessment in accordance with the GTIA for the proposed access arrangements and traffic impacts to confirm if there are any pre-existing or development introduced and unacceptable safety risks at this location. If required, identify safety mitigation measures to address unacceptable safety risks.

3. Advice to applicant

The surrounding road network is rated as PBS Level 2A (PBS2A), which permits B-Double vehicles up to 26m in length. The proposed operation of 36m A-Double vehicles exceeds this standard and would therefore not be permitted "as of right". This would require assessment, permitting and gazetting by the National Heavy Vehicle Regulator (NHVR) which is undertaken separately to SARA's development assessment process.

How to respond

In accordance with Chapter 1, Part 3, Section 13 of the Development Assessment Rules (DA Rules), you have three months to respond to this Information Request. The due date of a response to SARA is 26 June 2026.

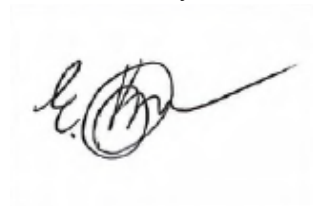
You can choose to respond to all, some or none of the matters raised in this notice.

If you decide not to respond to the matters raised, SARA will finalise its assessment on the material provided to date in support of the application.

It would be appreciated if you would provide your response to SARA using the 'manage documents' function in [MyDAS2](#).

If you require further information or have any questions about the above, please contact Mica Cook, Principal Planner, on 0734527591 or via email DARTsupport@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely

A handwritten signature in black ink, appearing to read 'E. Koeberg', with a long horizontal flourish extending to the right.

Elrico Koeberg
Principal Planner

cc Brisbane City Council, dalodgement@brisbane.qld.gov.au