

PROPOSED MULTI UNIT DEVELOPMENT

268 PADSTOW ROAD,
EIGHT MILE PLAINS 4113



DEVELOPMENT SUMMARY

LOT 40 ON RP.37944
PARISH OF YEERONGPILLY
COUNTY OF STANLEY

SITE AREA	4,047 sqm (INTERIM) 3,212 sqm (ULTIMATE)
SITE COVER	1,897 sqm (59.1%)
NUMBER OF UNITS	20 DWELLING UNITS
GROSS FLOOR AREA (REFER TO CALCULATIONS ON DA-06, DA-07, DA-08 & DA-09)	3,173 sqm
COMMUNAL OPEN SPACE (REQUIRED 5% OF SITE AREA: 161 sqm) (REFER TO CALCULATIONS ON DA-04)	170 sqm
PRIVATE OPEN SPACE (REFER TO CALCULATIONS ON DA-04)	795 sqm
DEEP PLANTING (REFER TO CALCULATIONS ON DA-05)	377 sqm (12%)
RESIDENT CARPARKING (1.5 SPACES FOR 3 & 4 BED TOWNHOUSES): 1.5 X 20 = 30	31 PROVIDED
VISITOR CARPARKING (0.15 SPACES FOR 3 & 4 BED TOWNHOUSES)	0.15 X 20 = 3 PROVIDED

COPYRIGHT
All rights in relation to these drawings are reserved as the copyright of idearchitecture Pty Ltd. and are to be used only to produce the project for the client and in the location detailed hereon and are not to be copied or retained without written notice.

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS			
rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

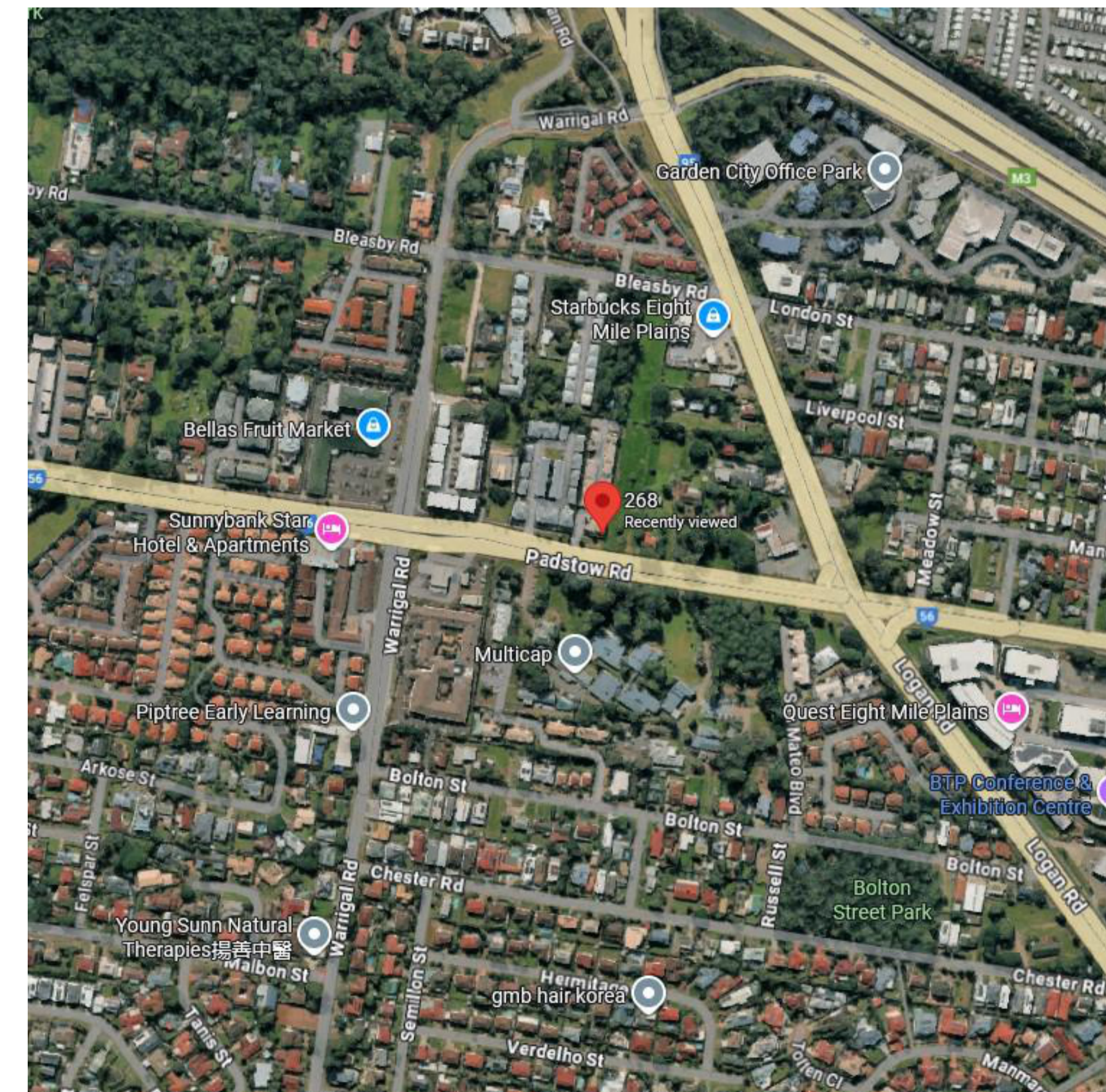
**BCC DS
RECEIVED**
11/11/2025
APPLICATION REF
A006902496

ARCHITECTURAL DRAWING REGISTER

DRAWING NO.	DRAWING TITLE	SCALE
DA-00	PLANNING DATA, LOCATION PLAN & DRAWING REGISTER	NTS
DA-01	SUBDIVISION PLAN	1:200
DA-02	SITE PLAN (INTERIM)	1:200
DA-03	SITE PLAN (ULTIMATE)	1:200
DA-04	COMMUNAL OPEN SPACE & PRIVATE OPEN SPACE	1:200
DA-05	DEEP PLANTING & COVERED AREA CALCULATION	1:100
DA-06	GROUND FLOOR PLAN - PART 1	1:100
DA-07	GROUND FLOOR PLAN - PART 2	1:100
DA-08	LEVEL 1 FLOOR PLAN - PART 1	1:100

ARCHITECTURAL DRAWING REGISTER

DRAWING NO.	DRAWING TITLE	SCALE
DA-09	LEVEL 1 FLOOR PLAN - PART 2	1:200
DA-10	OVERALL BUILDING ELEVATIONS	1:100
DA-11	BUILDING 1, 2 & 3 - WEST ELEVATION	1:100
DA-12	BUILDING 1, 2 & 3 - EAST ELEVATION	1:100
DA-13	BUILDING 4, 5 & 6 - EAST ELEVATION	1:100
DA-14	BUILDING 4, 5 & 6 - WEST ELEVATION	1:100
DA-15	SOUTH AND NORTH ELEVATIONS	1:100
DA-16	BUILDING 1, 2 & 3 - 3D VIEWS - SHEET 1	NTS
DA-17	BUILDING 1, 2 & 3 - 3D VIEWS - SHEET 2	NTS
DA-18	BUILDING 4, 5 & 6 - 3D VIEWS - SHEET 1	NTS
DA-19	BUILDING 4, 5 & 6 - 3D VIEWS - SHEET 2	NTS



LOCATION PLAN

IMAGE FROM GOOGLEMAP

idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
p +617 3392 4534 e idea@ideagroup.com.au

client	TYD GROUP
project	PROPOSED MULTI UNIT DEVELOPMENT
locale	268 PADSTOW ROAD, EIGHT MILE PLAINS 4113
title	PLANNING DATA, LOCATION PLAN & DRAWING REGISTER

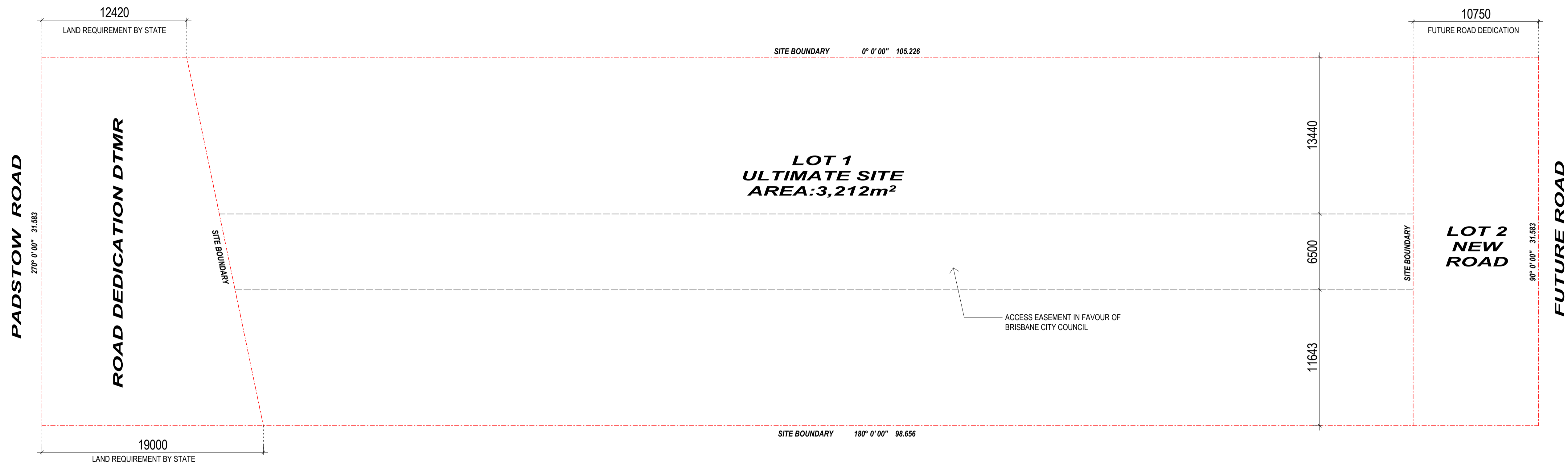
scale	NTS	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	rev
		DA-00	D

status

FOR APPROVAL

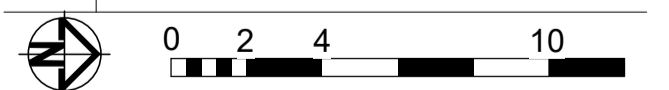
- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS				
rev	date	detail	checked	
A	15.08.25	PRELIMINARY ISSUE	FI	
B	26.08.25	PRELIMINARY ISSUE	FI	
C	23.09.25	ISSUE FOR DA APPROVAL	FI	
D	09.10.25	ISSUE FOR DA APPROVAL	FI	



BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496

client	TYD GROUP
project	PROPOSED MULTI UNIT DEVELOPMENT
locale	268 PADSTOW ROAD, EIGHT MILE PLAINS 4113
title	SUBDIVISION PLAN



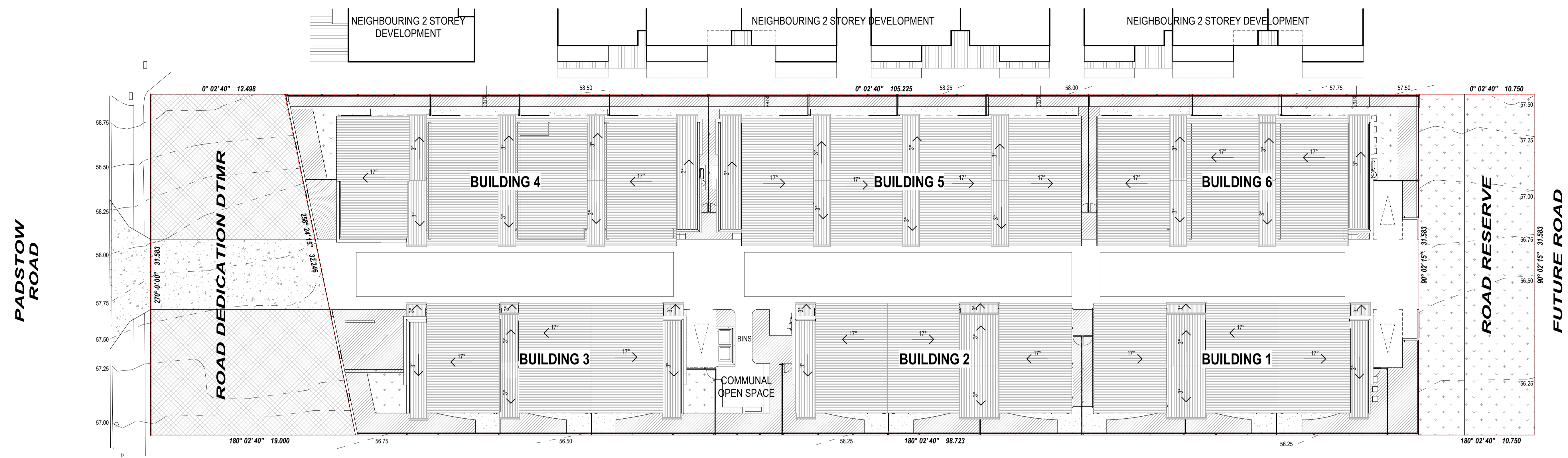
scale	1 : 200	drawn	BK
date	25.05.2017	checked	FI
job no	1705_ 1307	dwg no / cadfile	rev
		DA-01	D

status **FOR APPROVAL**

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. Idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from Idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI



BCC DS
 RECEIVED
 11/11/2025
 APPLICATION REF
 A006902496



idearchitecture
 T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@ideagroup.com.au

client	TYD GROUP		
project	PROPOSED MULTI UNIT DEVELOPMENT		
locale	268 PADSTOW ROAD, EIGHT MILE PLAINS 4113		
title	SITE PLAN (INTERIM)		
scale	1 : 200	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	DA-02
		rev	D

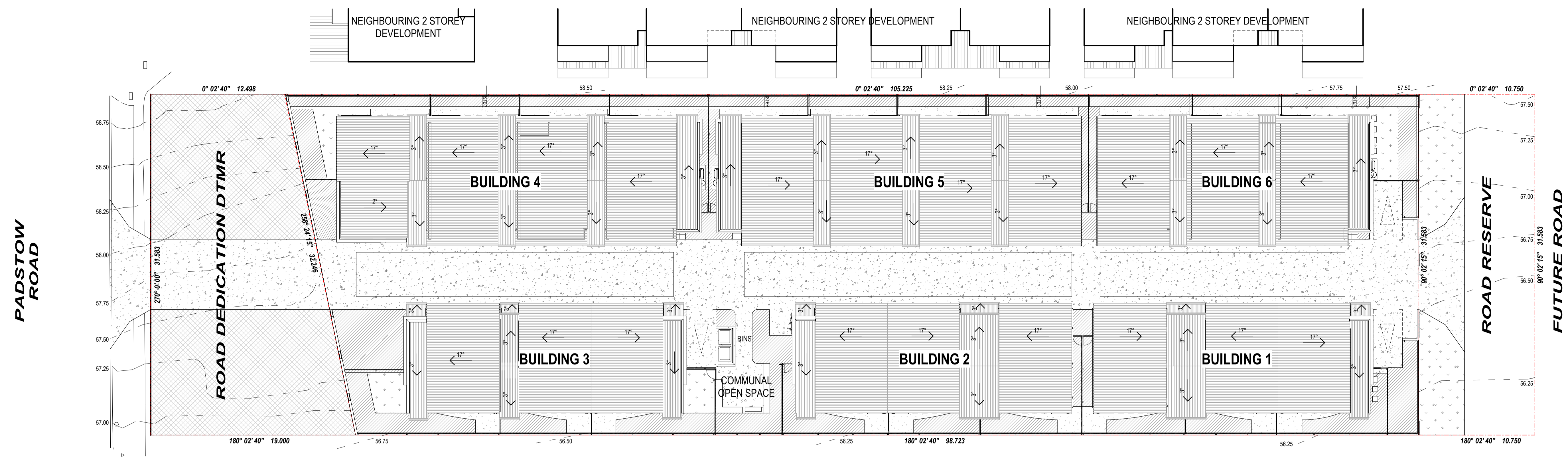
status **FOR APPROVAL**

COPYRIGHT
 All rights in relation to these drawings are reserved as the copyright of Idearchitecture Pty Ltd. and are to be used only to produce the project for the client and in the location detailed hereon and are not to be copied or retained without written notice.

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. Idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from Idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI



EXISTING HOUSE

1 OVERALL SITE PLAN
 DA-11 ULTIMATE SCALE 1:200

BCC DS RECEIVED
 11/11/2025
APPLICATION REF
 A006902496



EXISTING HOUSE

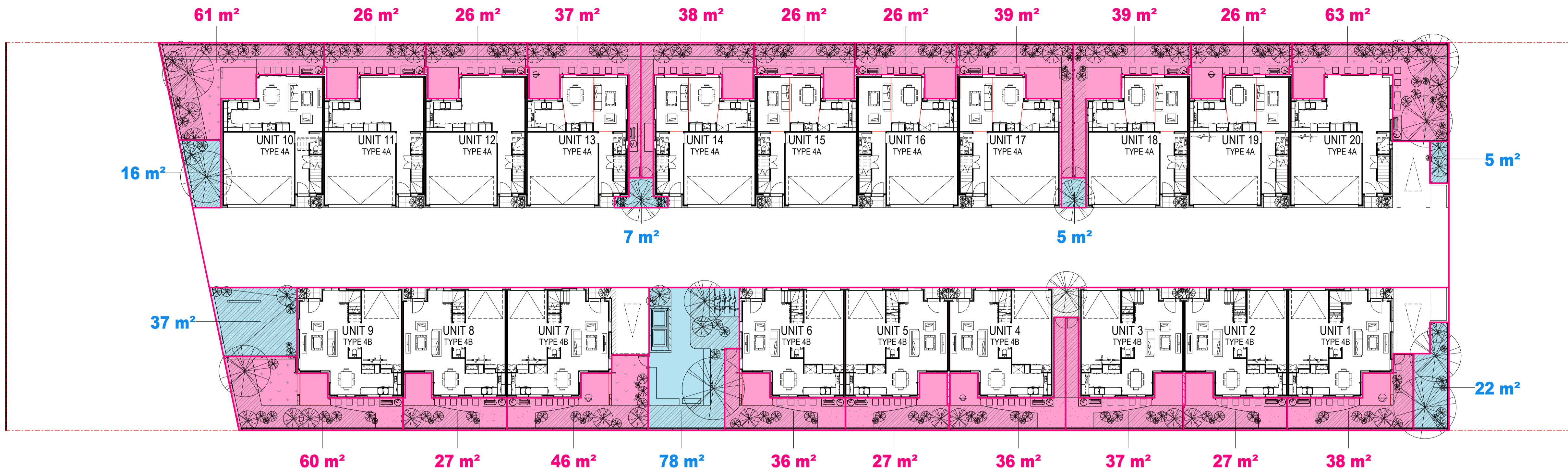
2 SITE GROUND FLOOR PLAN
 DA-11 ULTIMATE SCALE 1:200

idearchitecture
 T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@ideagroup.com.au

client **TYD GROUP**
 project **PROPOSED MULTI UNIT DEVELOPMENT**
 locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**
 title **SITE PLAN (ULTIMATE)**

scale	1 : 200	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	DA-03
status		rev	D

FOR APPROVAL



1 PRIVATE OPEN SPACE - GROUND
SCALE 1:200



2 PRIVATE OPEN SPACE - LEVEL 1
SCALE 1:200

PRIVATE OPEN AREA CALCULATION	
LEVEL	AREA
UNIT 1	
GROUND FLOOR	38 m ²
UNIT 2	
GROUND FLOOR	27 m ²
UNIT 3	
GROUND FLOOR	37 m ²
UNIT 4	
GROUND FLOOR	36 m ²
UNIT 5	
GROUND FLOOR	27 m ²
UNIT 6	
GROUND FLOOR	36 m ²
UNIT 7	
GROUND FLOOR	46 m ²
UNIT 8	
GROUND FLOOR	27 m ²
UNIT 9	
GROUND FLOOR	60 m ²
UNIT 10	
GROUND FLOOR	61 m ²
LEVEL 1	5 m ²
UNIT 11	
GROUND FLOOR	26 m ²
LEVEL 1	5 m ²
UNIT 12	
GROUND FLOOR	26 m ²
LEVEL 1	5 m ²
UNIT 13	
GROUND FLOOR	37 m ²
LEVEL 1	5 m ²
UNIT 14	
GROUND FLOOR	38 m ²
LEVEL 1	5 m ²
UNIT 15	
GROUND FLOOR	26 m ²
LEVEL 1	5 m ²
UNIT 16	
GROUND FLOOR	26 m ²
LEVEL 1	5 m ²
UNIT 17	
GROUND FLOOR	39 m ²
LEVEL 1	5 m ²
UNIT 18	
GROUND FLOOR	39 m ²
LEVEL 1	5 m ²
UNIT 19	
GROUND FLOOR	26 m ²
LEVEL 1	5 m ²
UNIT 20	
GROUND FLOOR	63 m ²
LEVEL 1	5 m ²
Grand total	795 m ²

COMMUNAL OPEN AREA CALCULATION	
AREA TYPE	Area
DEEP PLANTING AREA	170 m ²

COPYRIGHT
All rights in relation to these drawings are reserved as the copyright of Idearchitecture Pty Ltd. and are to be used only to produce the project for the client and in the location detailed hereon and are not to be copied or retained without written notice.

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. Idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from Idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program. Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

LEGENDS

- PRIVATE OPEN SPACE
- COMMUNAL OPEN SPACE
- DEEP PLANTING AREA
- COVERED AREA

BCC DS
RECEIVED
11/11/2025
APPLICATION REF
A006902496

idearchitecture
T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
p +617 3392 4534 e idea@ideagroup.com.au

client **TYD GROUP**
project **PROPOSED MULTI UNIT DEVELOPMENT**
locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**
title **COMMUNAL OPEN SPACE & PRIVATE OPEN SPACE**

scale **1 : 200** drawn **BK**
date **25.05.2017** checked **FI**
job no **1705_1307** dwg no / cadfile **DA-04** rev **D**

status **FOR APPROVAL**

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

DEEP PLANTING AREA CALCULATION	
LEVEL	Area
DEEP PLANTING AREA	377 m ²

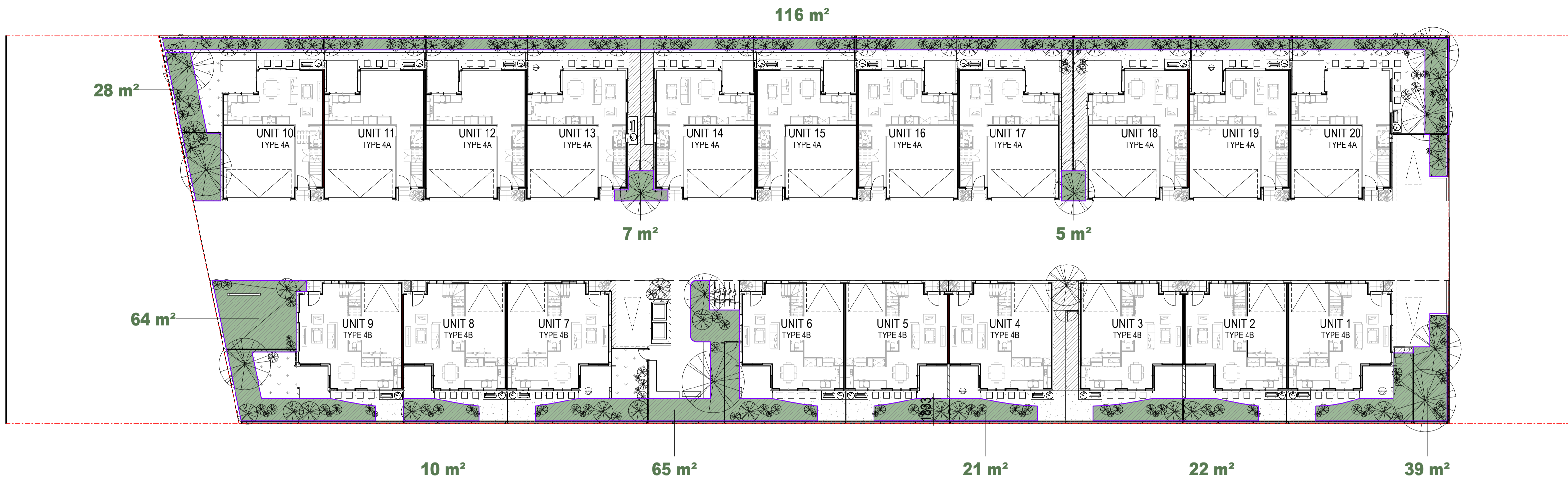
AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

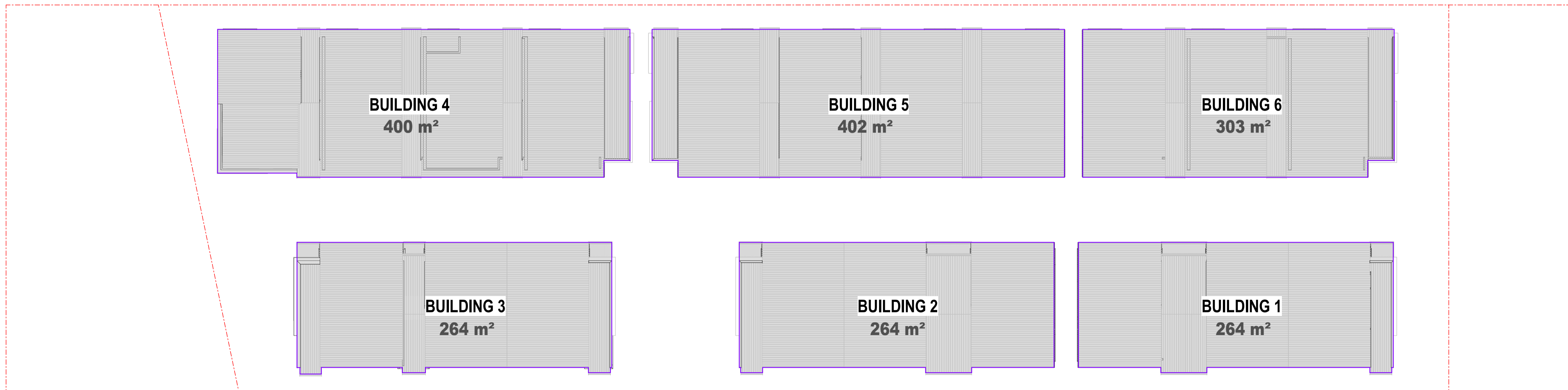
LEGENDS

- PRIVATE OPEN SPACE
- COMMUNAL OPEN SPACE
- DEEP PLANTING AREA
- COVERED AREA

BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496



3 DEEP PLANTING AREA
 SCALE 1 : 200



1 COVERED ROOF AREA
 SCALE 1 : 200

SITE COVER AREA	
LEVEL	AREA
BUILDING 1	COVERED ROOF AREA 264 m ²
BUILDING 2	COVERED ROOF AREA 264 m ²
BUILDING 3	COVERED ROOF AREA 264 m ²
BUILDING 4	COVERED ROOF AREA 400 m ²
BUILDING 5	COVERED ROOF AREA 402 m ²
BUILDING 6	COVERED ROOF AREA 303 m ²
GRAND TOTAL	1,897 m²

idearchitecture
 T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@deagroup.com.au

client **TYD GROUP**
 project **PROPOSED MULTI UNIT DEVELOPMENT**
 locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**
 title **DEEP PLANTING & COVERED AREA CALCULATION**

scale	1 : 200	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	DA-05
		rev	D

status **FOR APPROVAL**

COPYRIGHT
 All rights in relation to these drawings are reserved as the copyright of idearchitecture Pty Ltd. are to be used only to produce the project for the client and in the location detailed hereon and are not to be copied or retained without written notice.

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496



2 GROUND FLOOR PLAN - PART 2
 SCALE 1:100

GROSS FLOOR AREA		GROSS FLOOR AREA		GROSS FLOOR AREA		GROSS FLOOR AREA		GROSS FLOOR AREA		GROSS FLOOR AREA	
UNIT	LEVEL	AREA	UNIT	LEVEL	AREA	UNIT	LEVEL	AREA	UNIT	LEVEL	AREA
UNIT 1	GROUND FLOOR	70.6 m ²	UNIT 4	GROUND FLOOR	70.8 m ²	UNIT 7	GROUND FLOOR	70.6 m ²	UNIT 10	GROUND FLOOR	83.7 m ²
UNIT 1	LEVEL 1	76.7 m ²	UNIT 4	LEVEL 1	76.7 m ²	UNIT 7	LEVEL 1	85.6 m ²	UNIT 10	LEVEL 1	86.0 m ²
		147.3 m ²			147.6 m ²			147.3 m ²			169.3 m ²
UNIT 2	GROUND FLOOR	69.7 m ²	UNIT 5	GROUND FLOOR	69.7 m ²	UNIT 8	GROUND FLOOR	69.7 m ²	UNIT 11	GROUND FLOOR	82.7 m ²
UNIT 2	LEVEL 1	75.6 m ²	UNIT 5	LEVEL 1	75.6 m ²	UNIT 8	LEVEL 1	75.6 m ²	UNIT 11	LEVEL 1	84.4 m ²
		145.3 m ²			145.3 m ²			145.3 m ²			167.1 m ²
UNIT 3	GROUND FLOOR	70.8 m ²	UNIT 6	GROUND FLOOR	70.6 m ²	UNIT 9	GROUND FLOOR	71.2 m ²	UNIT 12	GROUND FLOOR	82.7 m ²
UNIT 3	LEVEL 1	76.7 m ²	UNIT 6	LEVEL 1	76.7 m ²	UNIT 9	LEVEL 1	76.7 m ²	UNIT 12	LEVEL 1	84.4 m ²
		147.6 m ²			147.3 m ²			147.9 m ²			167.1 m ²
UNIT 4	GROUND FLOOR	83.5 m ²				UNIT 10	GROUND FLOOR	83.5 m ²	UNIT 14	GROUND FLOOR	83.5 m ²
UNIT 4	LEVEL 1	86.0 m ²				UNIT 10	LEVEL 1	86.0 m ²	UNIT 14	LEVEL 1	86.0 m ²
		169.4 m ²						169.4 m ²			169.4 m ²
UNIT 5	GROUND FLOOR	83.7 m ²				UNIT 11	GROUND FLOOR	82.7 m ²	UNIT 15	GROUND FLOOR	82.7 m ²
UNIT 5	LEVEL 1	84.4 m ²				UNIT 11	LEVEL 1	84.4 m ²	UNIT 15	LEVEL 1	84.4 m ²
		167.1 m ²						167.1 m ²			167.0 m ²
UNIT 6	GROUND FLOOR	83.4 m ²				UNIT 12	GROUND FLOOR	82.7 m ²	UNIT 16	GROUND FLOOR	82.7 m ²
UNIT 6	LEVEL 1	86.2 m ²				UNIT 12	LEVEL 1	84.4 m ²	UNIT 16	LEVEL 1	84.4 m ²
		169.6 m ²						167.1 m ²			167.1 m ²
UNIT 7	GROUND FLOOR	83.7 m ²				UNIT 13	GROUND FLOOR	83.5 m ²	UNIT 17	GROUND FLOOR	83.7 m ²
UNIT 7	LEVEL 1	85.6 m ²				UNIT 13	LEVEL 1	86.0 m ²	UNIT 17	LEVEL 1	85.6 m ²
		169.3 m ²						169.4 m ²			169.3 m ²
UNIT 8	GROUND FLOOR	82.7 m ²				UNIT 14	GROUND FLOOR	83.4 m ²	UNIT 18	GROUND FLOOR	83.7 m ²
UNIT 8	LEVEL 1	84.3 m ²				UNIT 14	LEVEL 1	86.2 m ²	UNIT 18	LEVEL 1	86.2 m ²
		167.0 m ²						169.6 m ²			169.9 m ²
UNIT 9	GROUND FLOOR	82.7 m ²				UNIT 15	GROUND FLOOR	82.7 m ²	UNIT 19	GROUND FLOOR	82.7 m ²
UNIT 9	LEVEL 1	84.4 m ²				UNIT 15	LEVEL 1	84.3 m ²	UNIT 19	LEVEL 1	84.3 m ²
		167.1 m ²						167.0 m ²			167.0 m ²
UNIT 10	GROUND FLOOR	83.5 m ²				UNIT 16	GROUND FLOOR	83.4 m ²	UNIT 20	GROUND FLOOR	83.4 m ²
UNIT 10	LEVEL 1	86.0 m ²				UNIT 16	LEVEL 1	86.2 m ²	UNIT 20	LEVEL 1	86.2 m ²
		169.4 m ²						169.6 m ²			169.6 m ²
UNIT 11	GROUND FLOOR	82.7 m ²				UNIT 17	GROUND FLOOR	83.7 m ²	Grand total		3172.5 m ²
UNIT 11	LEVEL 1	84.4 m ²				UNIT 17	LEVEL 1	85.6 m ²			
		167.1 m ²						169.3 m ²			

idearchitecture
 T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@deagroup.com.au

client	TYD GROUP
project	PROPOSED MULTI UNIT DEVELOPMENT
locale	268 PADSTOW ROAD, EIGHT MILE PLAINS 4113
title	GROUND FLOOR PLAN - PART 2
scale	1 : 100
date	25.05.2017
job no	1705_1307
status	FOR APPROVAL

drawn	BK
checked	FI
dwg no / cadfile	DA-07
rev	D

FOR APPROVAL

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program. Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS				
rev	date	detail	checked	
A	15.08.25	PRELIMINARY ISSUE	FI	
B	26.08.25	PRELIMINARY ISSUE	FI	
C	23.09.25	ISSUE FOR DA APPROVAL	FI	
D	09.10.25	ISSUE FOR DA APPROVAL	FI	

BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496



1 LEVEL 1 FLOOR PLAN - PART 2
 SCALE 1:100

GROSS FLOOR AREA		
UNIT	LEVEL	AREA
UNIT 1	GROUND FLOOR	70.6 m ²
	LEVEL 1	76.7 m ²
		147.3 m ²
UNIT 2	GROUND FLOOR	69.7 m ²
	LEVEL 1	75.6 m ²
		145.3 m ²
UNIT 3	GROUND FLOOR	70.8 m ²
	LEVEL 1	76.7 m ²
		147.6 m ²
UNIT 4	GROUND FLOOR	70.8 m ²
	LEVEL 1	76.7 m ²
		147.6 m ²
UNIT 5	GROUND FLOOR	69.7 m ²
	LEVEL 1	75.6 m ²
		145.3 m ²
UNIT 6	GROUND FLOOR	70.6 m ²
	LEVEL 1	76.7 m ²
		147.3 m ²
UNIT 7	GROUND FLOOR	70.6 m ²
	LEVEL 1	76.7 m ²
		147.3 m ²
UNIT 8	GROUND FLOOR	69.7 m ²
	LEVEL 1	75.6 m ²
		145.3 m ²
UNIT 9	GROUND FLOOR	71.2 m ²
	LEVEL 1	76.7 m ²
		147.9 m ²
UNIT 10	GROUND FLOOR	83.7 m ²
	LEVEL 1	86.0 m ²
		169.3 m ²
UNIT 11	GROUND FLOOR	82.7 m ²
	LEVEL 1	84.4 m ²
		167.1 m ²
UNIT 12	GROUND FLOOR	82.7 m ²
	LEVEL 1	84.4 m ²
		167.1 m ²
UNIT 13	GROUND FLOOR	83.5 m ²
	LEVEL 1	86.0 m ²
		169.4 m ²
UNIT 14	GROUND FLOOR	83.5 m ²
	LEVEL 1	86.0 m ²
		169.4 m ²
UNIT 15	GROUND FLOOR	82.7 m ²
	LEVEL 1	84.4 m ²
		167.1 m ²
UNIT 16	GROUND FLOOR	82.7 m ²
	LEVEL 1	84.4 m ²
		167.1 m ²
UNIT 17	GROUND FLOOR	83.7 m ²
	LEVEL 1	86.2 m ²
		169.6 m ²
UNIT 18	GROUND FLOOR	83.7 m ²
	LEVEL 1	86.2 m ²
		169.6 m ²
UNIT 19	GROUND FLOOR	82.7 m ²
	LEVEL 1	84.3 m ²
		167.0 m ²
UNIT 20	GROUND FLOOR	83.4 m ²
	LEVEL 1	86.2 m ²
		169.6 m ²
Grand total		3172.5 m ²

client	TYD GROUP
project	PROPOSED MULTI UNIT DEVELOPMENT
locale	268 PADSTOW ROAD, EIGHT MILE PLAINS 4113
title	LEVEL 1 FLOOR PLAN - PART 2
scale	1 : 100
date	25.05.2017
job no	1705_1307
status	FOR APPROVAL

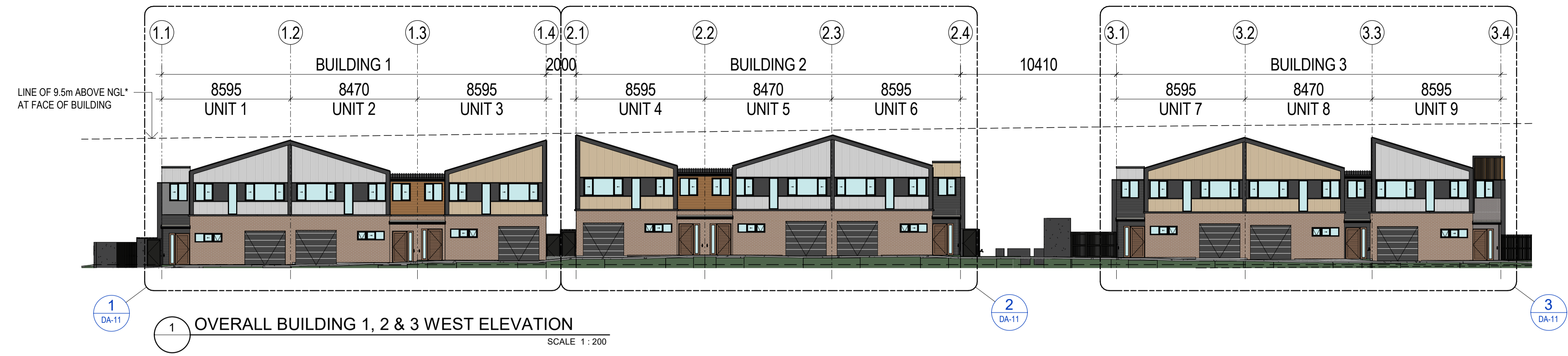
drawn	BK
checked	FI
dwg no / cadfile	DA-09
rev	D

FOR APPROVAL

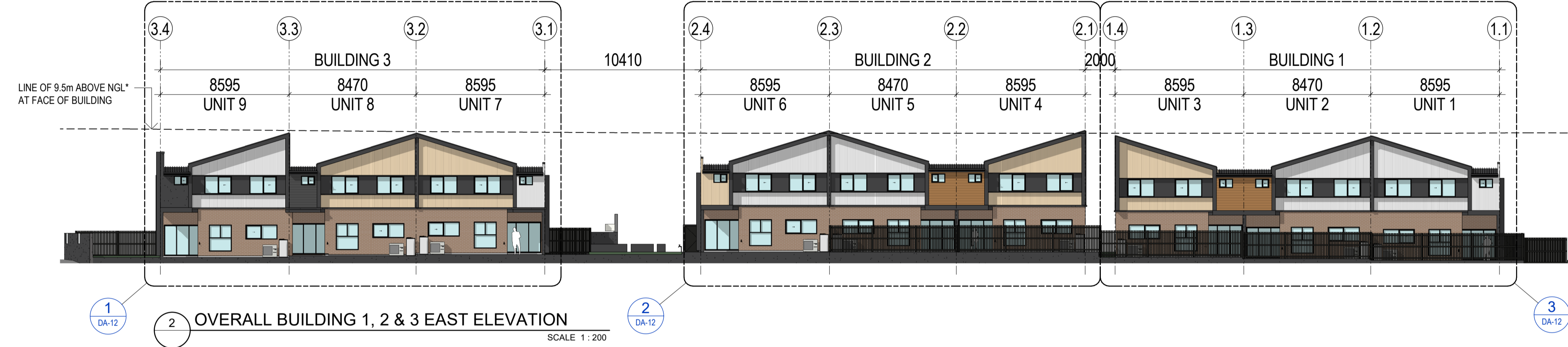
- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS				
rev	date	detail	checked	
A	15.08.25	PRELIMINARY ISSUE	FI	
B	26.08.25	PRELIMINARY ISSUE	FI	
C	23.09.25	ISSUE FOR DA APPROVAL	FI	
D	09.10.25	ISSUE FOR DA APPROVAL	FI	

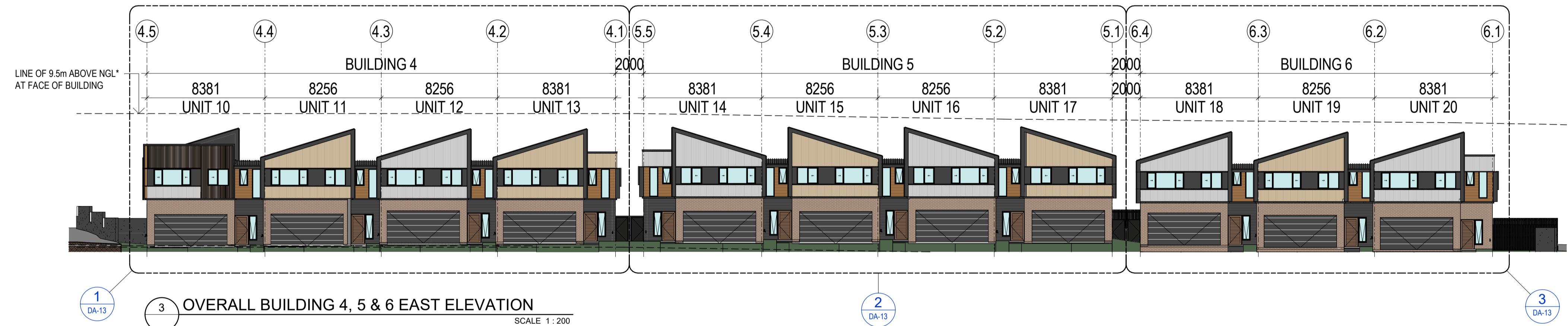
BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496



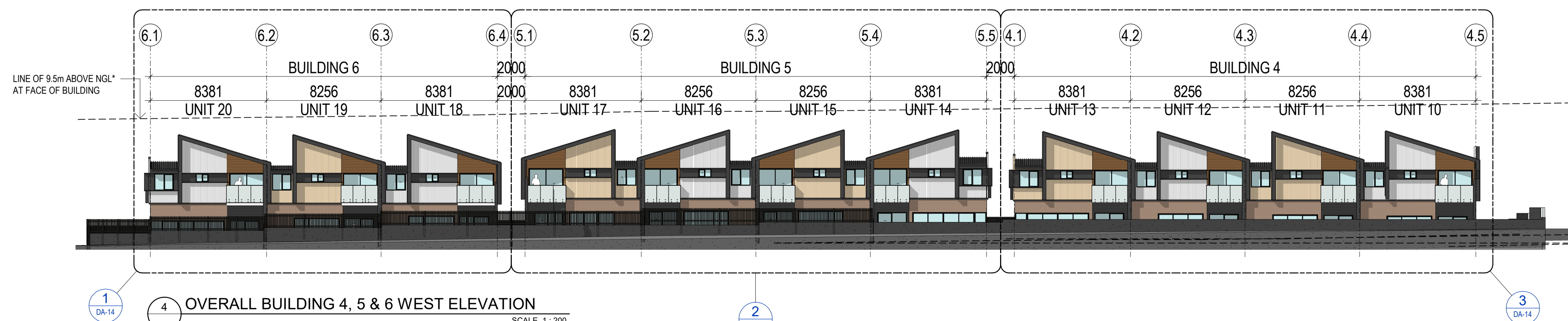
1 OVERALL BUILDING 1, 2 & 3 WEST ELEVATION
 SCALE 1 : 200



2 OVERALL BUILDING 1, 2 & 3 EAST ELEVATION
 SCALE 1 : 200



3 OVERALL BUILDING 4, 5 & 6 EAST ELEVATION
 SCALE 1 : 200

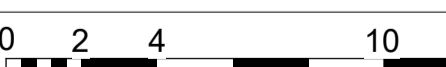


4 OVERALL BUILDING 4, 5 & 6 WEST ELEVATION
 SCALE 1 : 200

idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@ideagroup.com.au

client **TYD GROUP**
 project **PROPOSED MULTI UNIT DEVELOPMENT**
 locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**
 title **OVERALL BUILDING ELEVATIONS**



scale	1 : 200	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	DA-10
		rev	D

status **FOR APPROVAL**

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

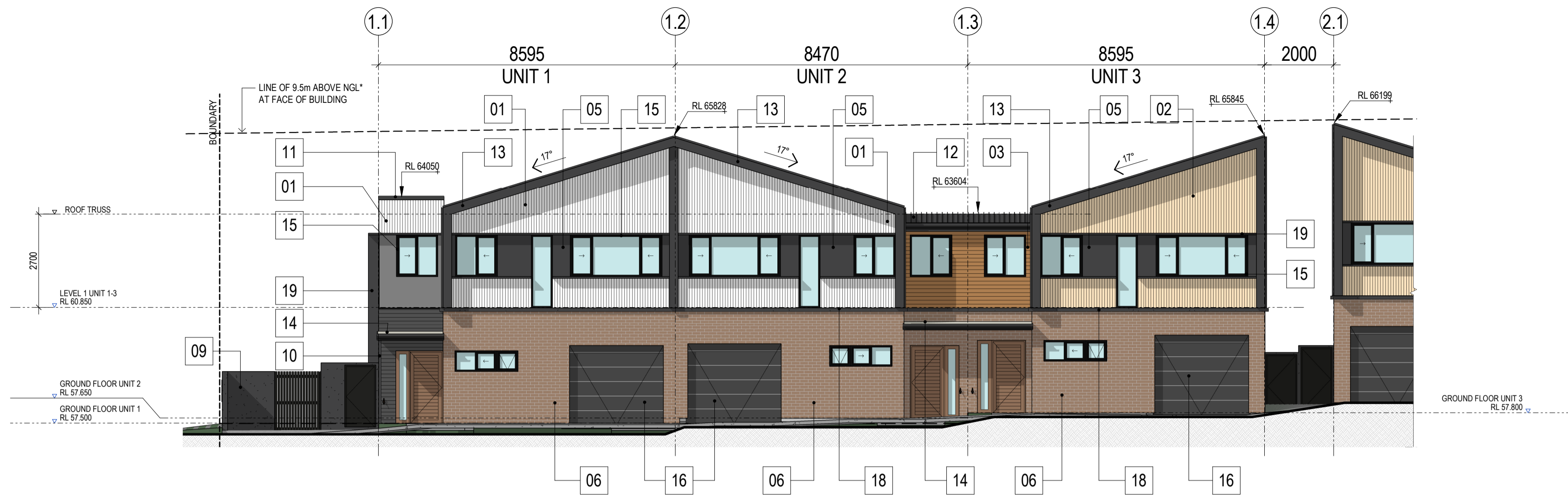
NOTES

FLOOR LEVELS SHOWN ARE TOP OF STRUCTURAL SLAB OR FLOOR SHEETING AND DO NOT INCLUDE FLOOR FINISHES SUCH AS TILE AND CARPET
 NGL* - GROUND LEVEL AS DEFINED IN CITY PLAN 2014

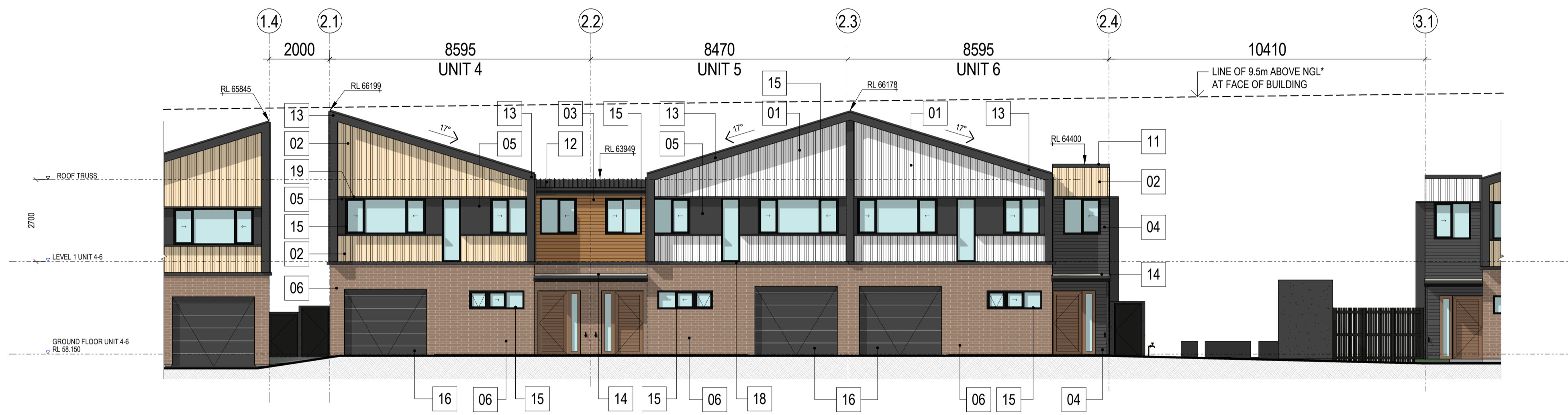
MATERIAL SCHEDULE

CODE	DESCRIPTION
01	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
02	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
03	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
04	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
05	PAINTED FC WALL CLADDING OR SIMILAR
06	FACE BRICK OR SIMILAR
07	FACE BRICK OR SIMILAR
08	PAINTED WALL TRIM OR SIMILAR
09	PAINTED AND RENDERED BLOCK WALL OR SIMILAR
10	PAINTED STEEL COLUMN OR SIMILAR
11	COLORBOND PARAPET WALL CAPPING OR SIMILAR
12	COLORBOND LONGLINE 305 ROOF SHEETING OR SIMILAR
13	COLORBOND FLASHING TRIM OR SIMILAR
14	COLORBOND ROOF SHEETING OR SIMILAR
15	POWDERCOATED ALUMINIUM WINDOW FRAME OR SIMILAR
16	POWDERCOATED GARAGE SECTIONAL DOOR OR SIMILAR
17	POWDERCOAT ALUMINIUM BATTEN CLADDING OR SIMILAR
18	PAINTED WALL MOULDING TRIM OR SIMILAR
19	POWDERCOATED SUN SHADING SHROUD OR SIMILAR

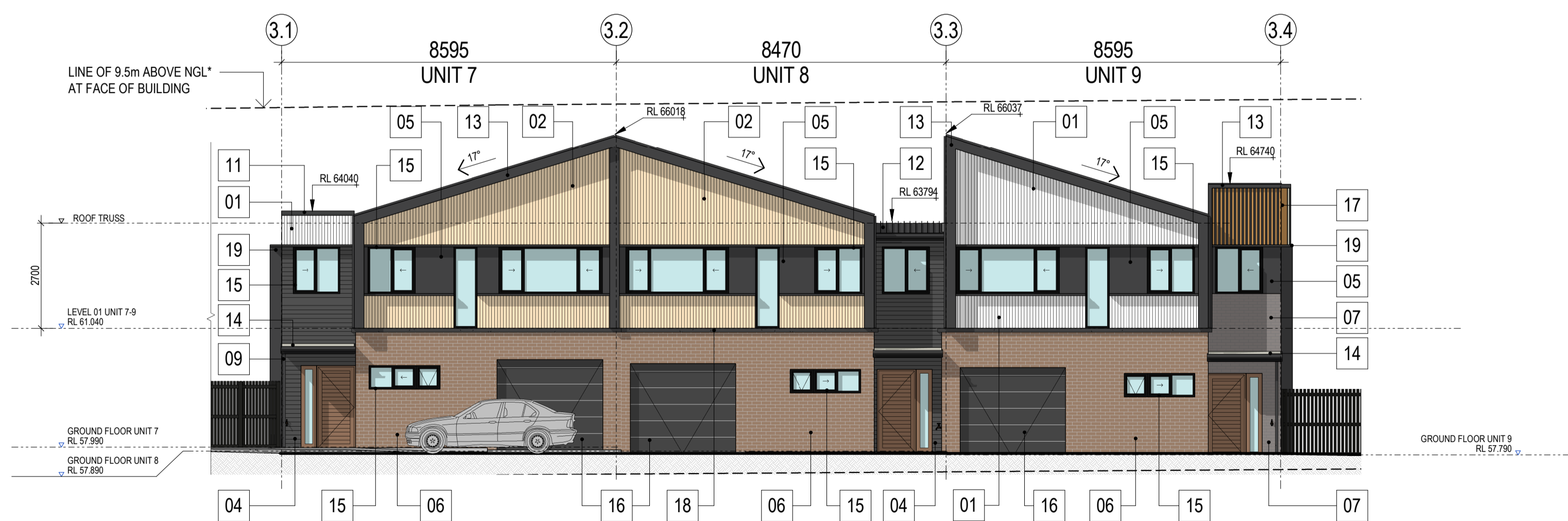
**BCC DS
RECEIVED
11/11/2025
APPLICATION REF
A006902496**



1 BUILDING 1 - WEST ELEVATION
 DA-10 SCALE 1:100



2 BUILDING 2 - WEST ELEVATION
 DA-10 SCALE 1:100

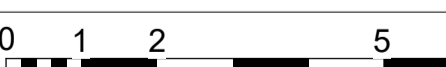


3 BUILDING 3 - WEST ELEVATION
 DA-10 SCALE 1:100

idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@deagroup.com.au

client **TYD GROUP**
 project **PROPOSED MULTI UNIT DEVELOPMENT**
 locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**
 title **BUILDING 1, 2 & 3 - WEST ELEVATION**



scale	1 : 100	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	DA-11
		rev	D

status **FOR APPROVAL**

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

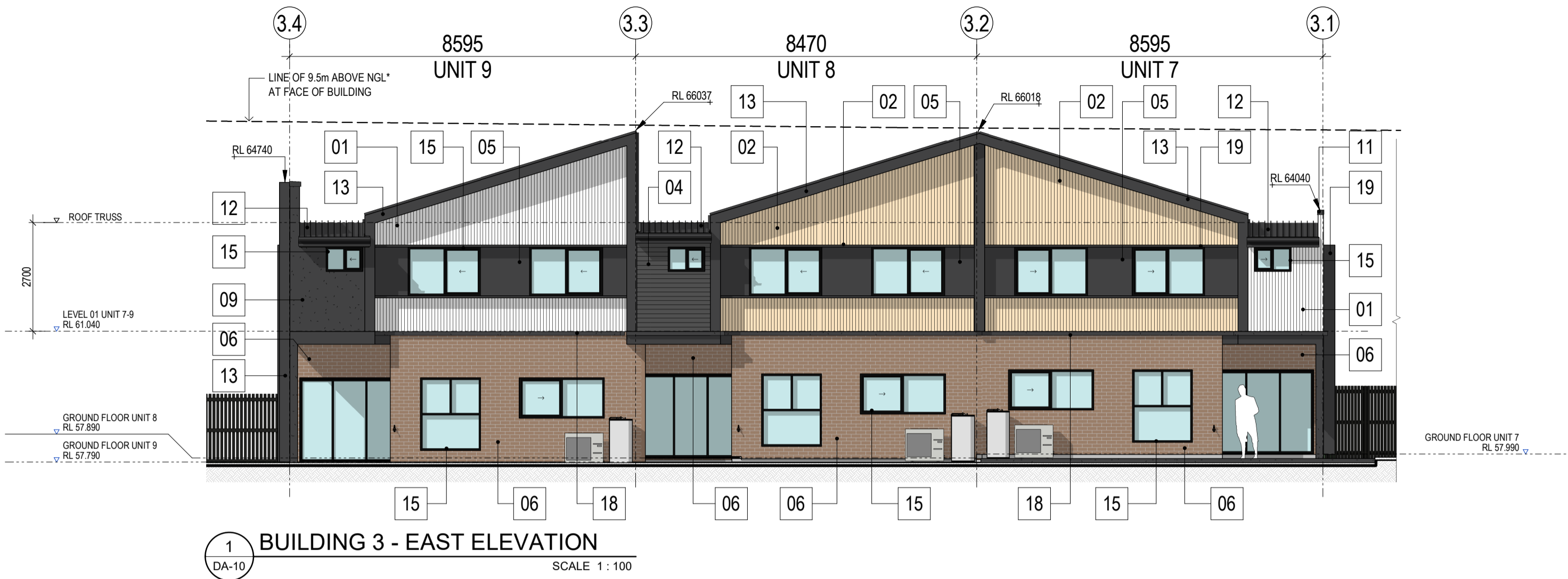
NOTES

FLOOR LEVELS SHOWN ARE TOP OF STRUCTURAL SLAB OR FLOOR SHEETING AND DO NOT INCLUDE FLOOR FINISHES SUCH AS TILE AND CARPET
 NGL* - GROUND LEVEL AS DEFINED IN CITY PLAN 2014

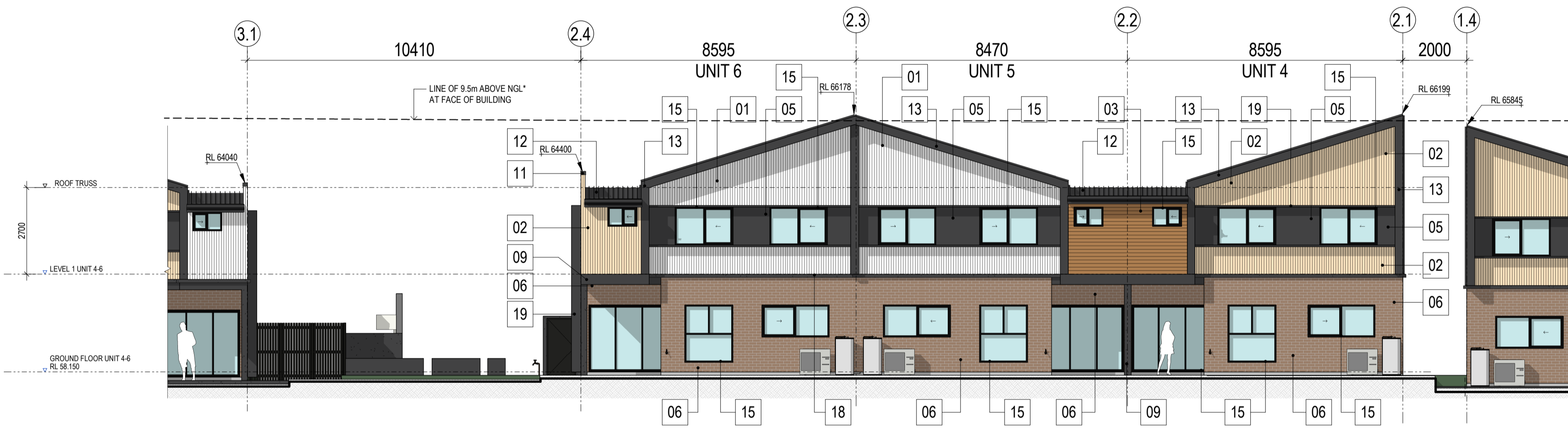
MATERIAL SCHEDULE

CODE	DESCRIPTION
01	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
02	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
03	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
04	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
05	PAINTED FC WALL CLADDING OR SIMILAR
06	FACE BRICK OR SIMILAR
07	FACE BRICK OR SIMILAR
08	PAINTED WALL TRIM OR SIMILAR
09	PAINTED AND RENDERED BLOCK WALL OR SIMILAR
10	PAINTED STEEL COLUMN OR SIMILAR
11	COLORBOND PARAPET WALL CAPPING OR SIMILAR
12	COLORBOND LONGLINE 305 ROOF SHEETING OR SIMILAR
13	COLORBOND FLASHING TRIM OR SIMILAR
14	COLORBOND ROOF SHEETING OR SIMILAR
15	POWDERCOATED ALUMINIUM WINDOW FRAME OR SIMILAR
16	POWDERCOATED GARAGE SECTIONAL DOOR OR SIMILAR
17	POWDERCOAT ALUMINIUM BATTEN CLADDING OR SIMILAR
18	PAINTED WALL MOULDING TRIM OR SIMILAR
19	POWDERCOATED SUN SHADING SHROUD OR SIMILAR

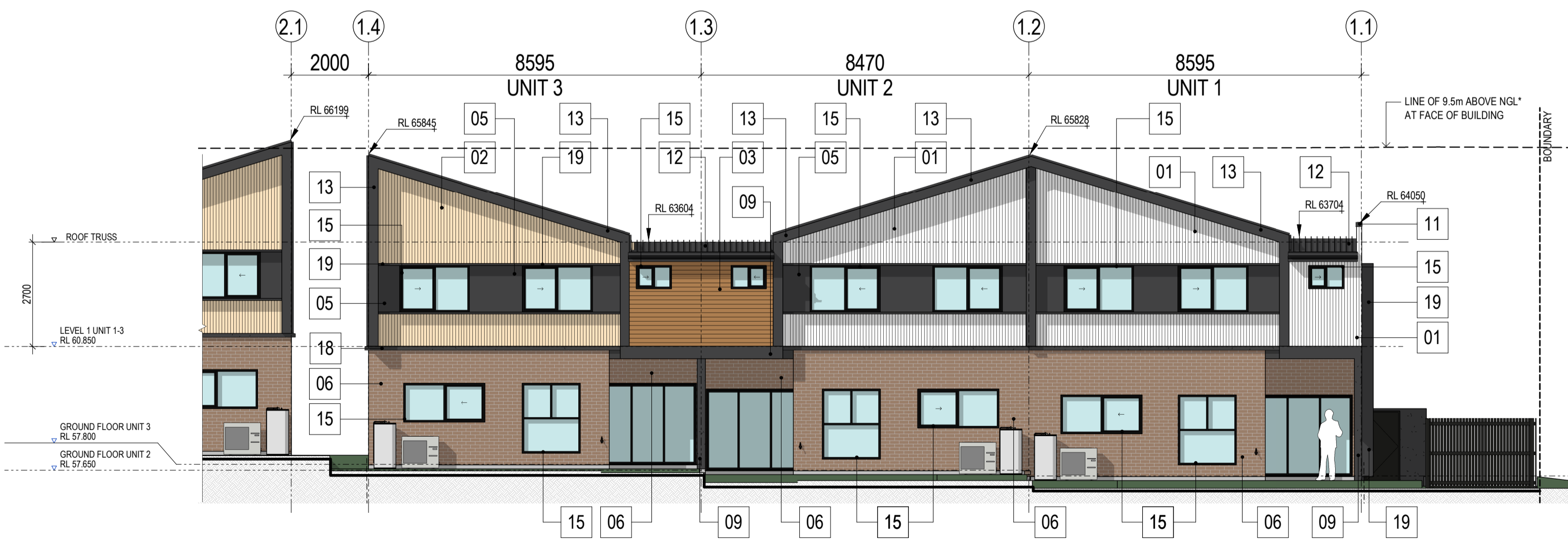
BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496



1 BUILDING 3 - EAST ELEVATION
 DA-10 SCALE 1 : 100



2 BUILDING 2 - EAST ELEVATION
 DA-10 SCALE 1 : 100

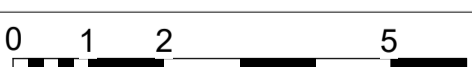


3 BUILDING 1 - EAST ELEVATION
 DA-10 SCALE 1 : 100

idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@ideagroup.com.au

client **TYD GROUP**
 project **PROPOSED MULTI UNIT DEVELOPMENT**
 locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**
 title **BUILDING 1, 2 & 3 - EAST ELEVATION**



scale	1 : 100	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	DA-12
		rev	D

status **FOR APPROVAL**

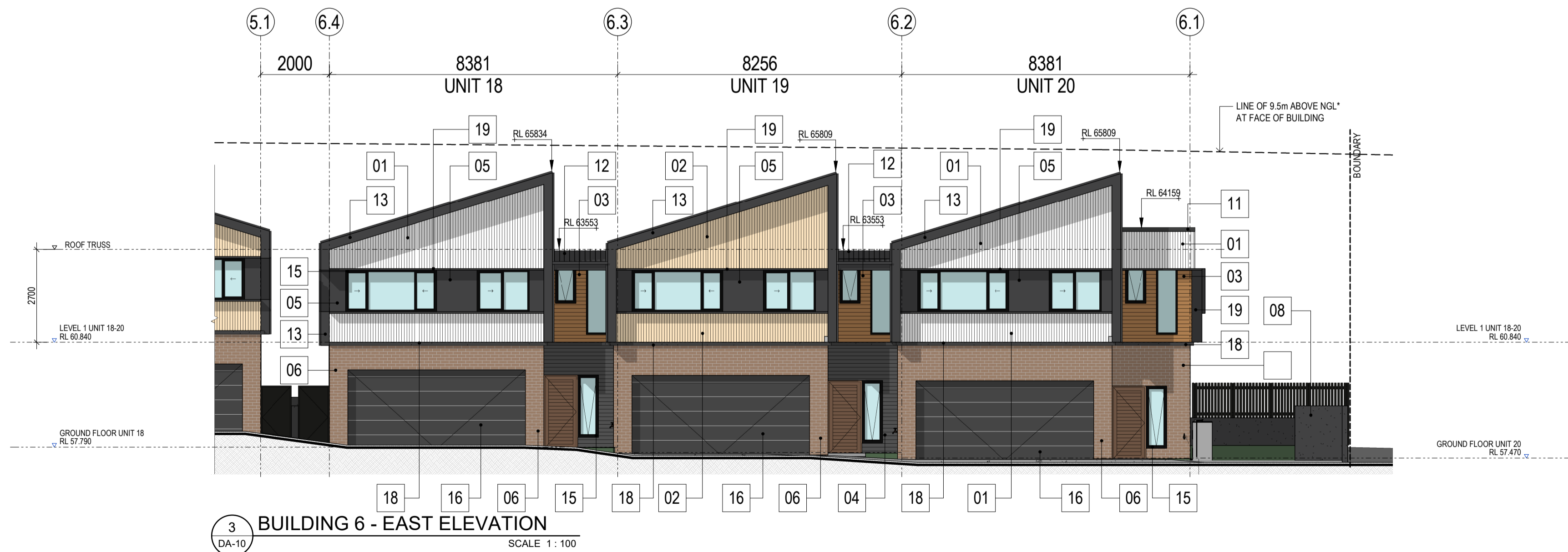
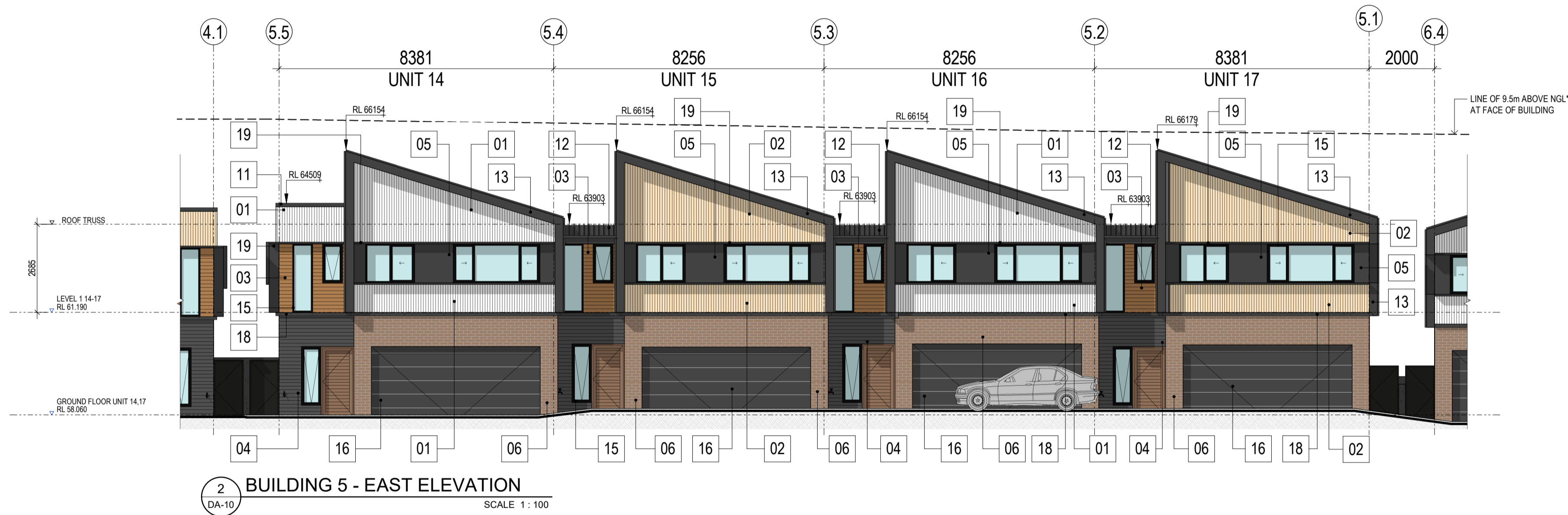
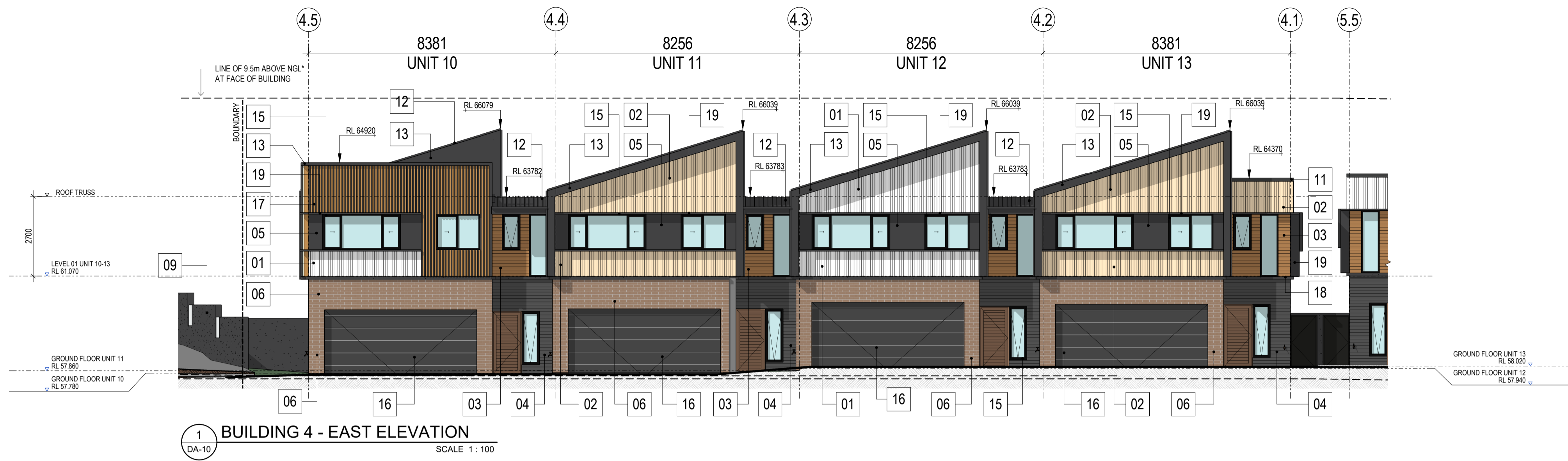
- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service failures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. Idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from Idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS			
rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

NOTES
 FLOOR LEVELS SHOWN ARE TOP OF STRUCTURAL SLAB OR FLOOR SHEETING AND DO NOT INCLUDE FLOOR FINISHES SUCH AS TILE AND CARPET
 NGL* - GROUND LEVEL AS DEFINED IN CITY PLAN 2014

MATERIAL SCHEDULE	
CODE	DESCRIPTION
01	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
02	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
03	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
04	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
05	PAINTED FC WALL CLADDING OR SIMILAR
06	FACE BRICK OR SIMILAR
07	FACE BRICK OR SIMILAR
08	PAINTED WALL TRIM OR SIMILAR
09	PAINTED AND RENDERED BLOCK WALL OR SIMILAR
10	PAINTED STEEL COLUMN OR SIMILAR
11	COLORBOND PARAPET WALL CAPPING OR SIMILAR
12	COLORBOND LONGLINE 305 ROOF SHEETING OR SIMILAR
13	COLORBOND FLASHING TRIM OR SIMILAR
14	COLORBOND ROOF SHEETING OR SIMILAR
15	POWDERCOATED ALUMINIUM WINDOW FRAME OR SIMILAR
16	POWDERCOATED GARAGE SECTIONAL DOOR OR SIMILAR
17	POWDERCOAT ALUMINIUM BATTEN CLADDING OR SIMILAR
18	PAINTED WALL MOULDING TRIM OR SIMILAR
19	POWDERCOATED SUN SHADING SHROUD OR SIMILAR

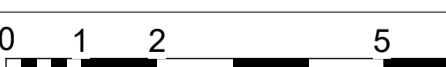
BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496



idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@ideagroup.com.au

client **TYD GROUP**
 project **PROPOSED MULTI UNIT DEVELOPMENT**
 locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**
 title **BUILDING 4, 5 & 6 - EAST ELEVATION**



scale **1 : 100** drawn **BK**
 date **25.05.2017** checked **FI**
 job no **1705_1307** dwg no / cadfile **DA-13** rev **D**

status **FOR APPROVAL**

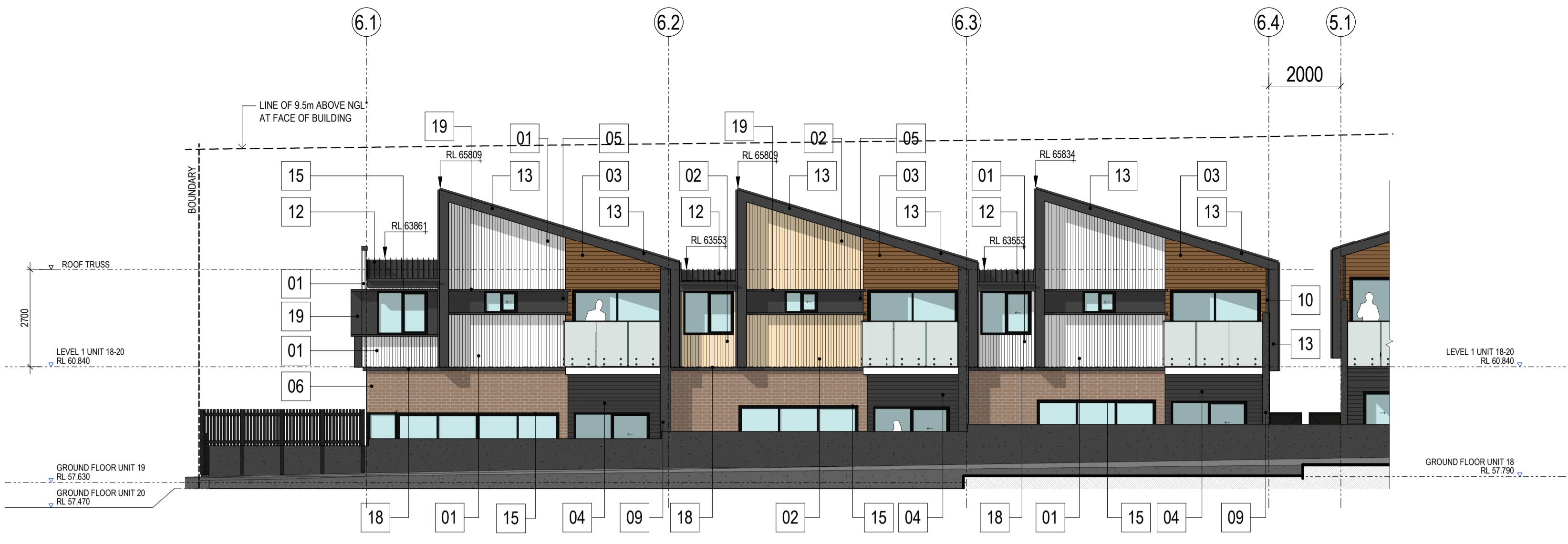
- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS			
rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

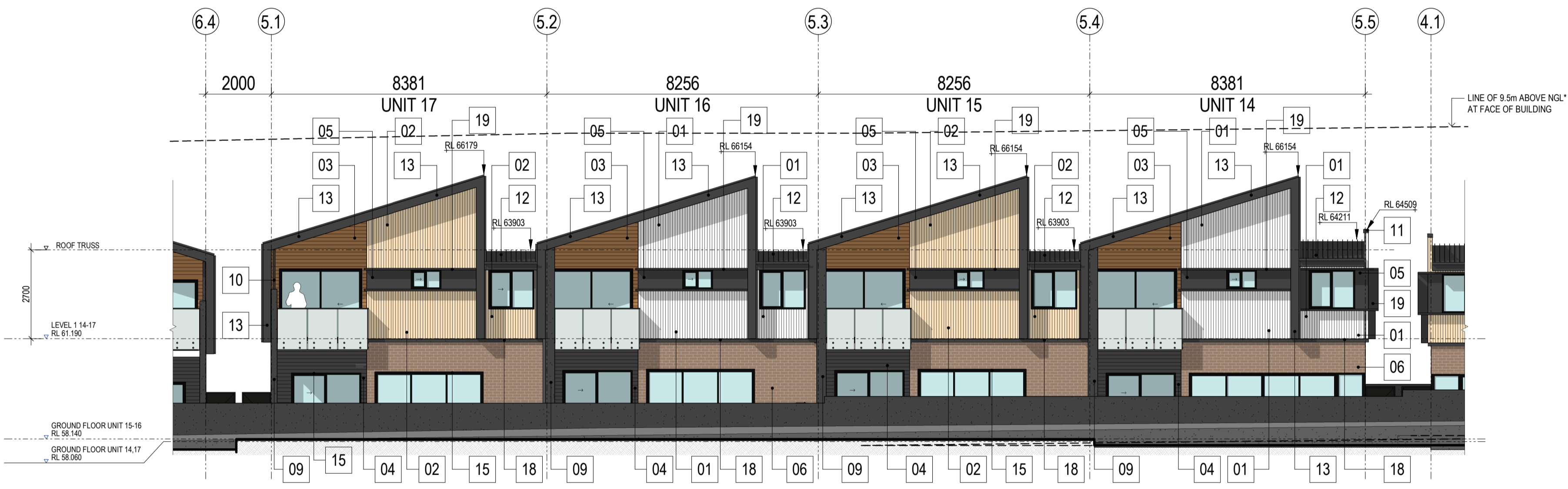
NOTES
 FLOOR LEVELS SHOWN ARE TOP OF STRUCTURAL SLAB OR FLOOR SHEETING AND DO NOT INCLUDE FLOOR FINISHES SUCH AS TILE AND CARPET
 NGL* - GROUND LEVEL AS DEFINED IN CITY PLAN 2014

MATERIAL SCHEDULE	
CODE	DESCRIPTION
01	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
02	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
03	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
04	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
05	PAINTED FC WALL CLADDING OR SIMILAR
06	FACE BRICK OR SIMILAR
07	FACE BRICK OR SIMILAR
08	PAINTED WALL TRIM OR SIMILAR
09	PAINTED AND RENDERED BLOCK WALL OR SIMILAR
10	PAINTED STEEL COLUMN OR SIMILAR
11	COLORBOND PARAPET WALL CAPPING OR SIMILAR
12	COLORBOND LONGLINE 305 ROOF SHEETING OR SIMILAR
13	COLORBOND FLASHING TRIM OR SIMILAR
14	COLORBOND ROOF SHEETING OR SIMILAR
15	POWDERCOATED ALUMINIUM WINDOW FRAME OR SIMILAR
16	POWDERCOATED GARAGE SECTIONAL DOOR OR SIMILAR
17	POWDERCOAT ALUMINIUM BATTEN CLADDING OR SIMILAR
18	PAINTED WALL MOULDING TRIM OR SIMILAR
19	POWDERCOATED SUN SHADING SHROUD OR SIMILAR

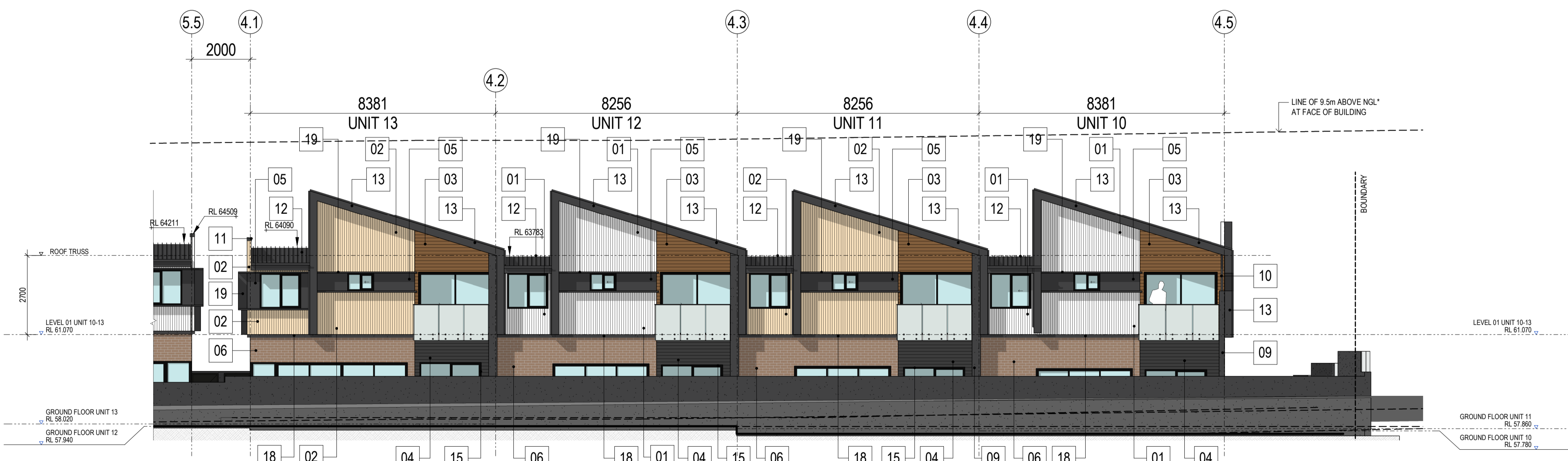
BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496



1 BUILDING 6 - WEST ELEVATION
 SCALE 1 : 100



2 BUILDING 5 - WEST ELEVATION
 SCALE 1 : 100



3 BUILDING 4 - WEST ELEVATION
 SCALE 1 : 100

client **TYD GROUP**
 project **PROPOSED MULTI UNIT DEVELOPMENT**
 locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**
 title **BUILDING 4, 5 & 6 - WEST ELEVATION**

scale	1 : 100	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	DA-14
		rev	D

status **FOR APPROVAL**

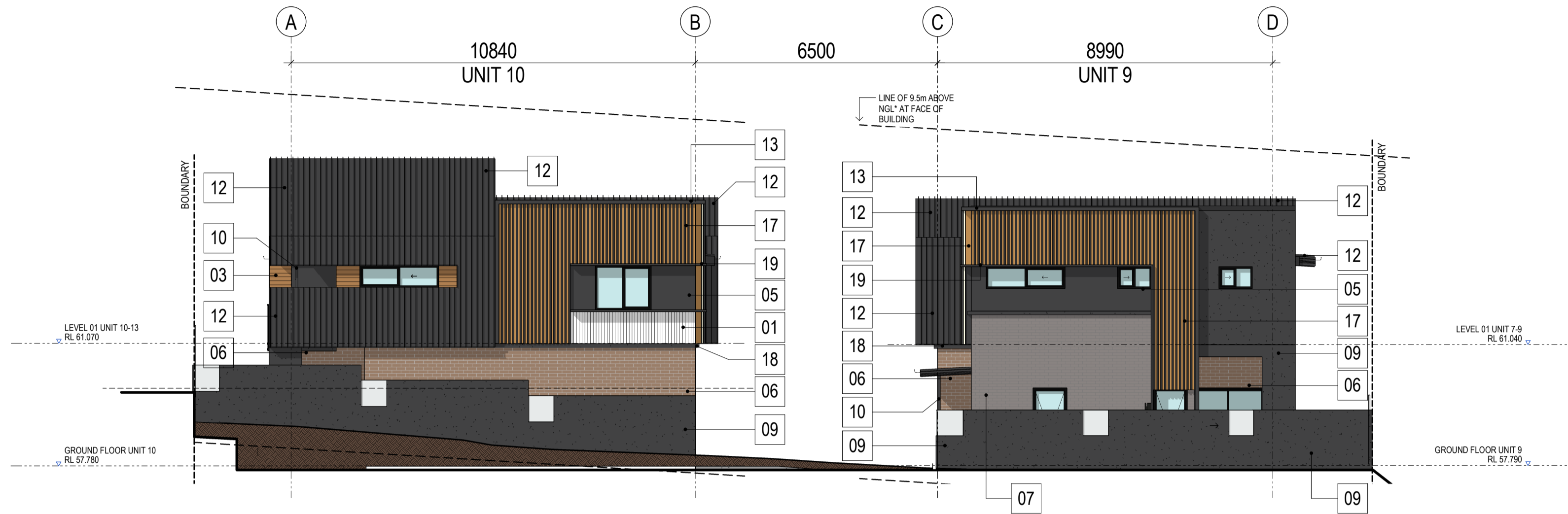
- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

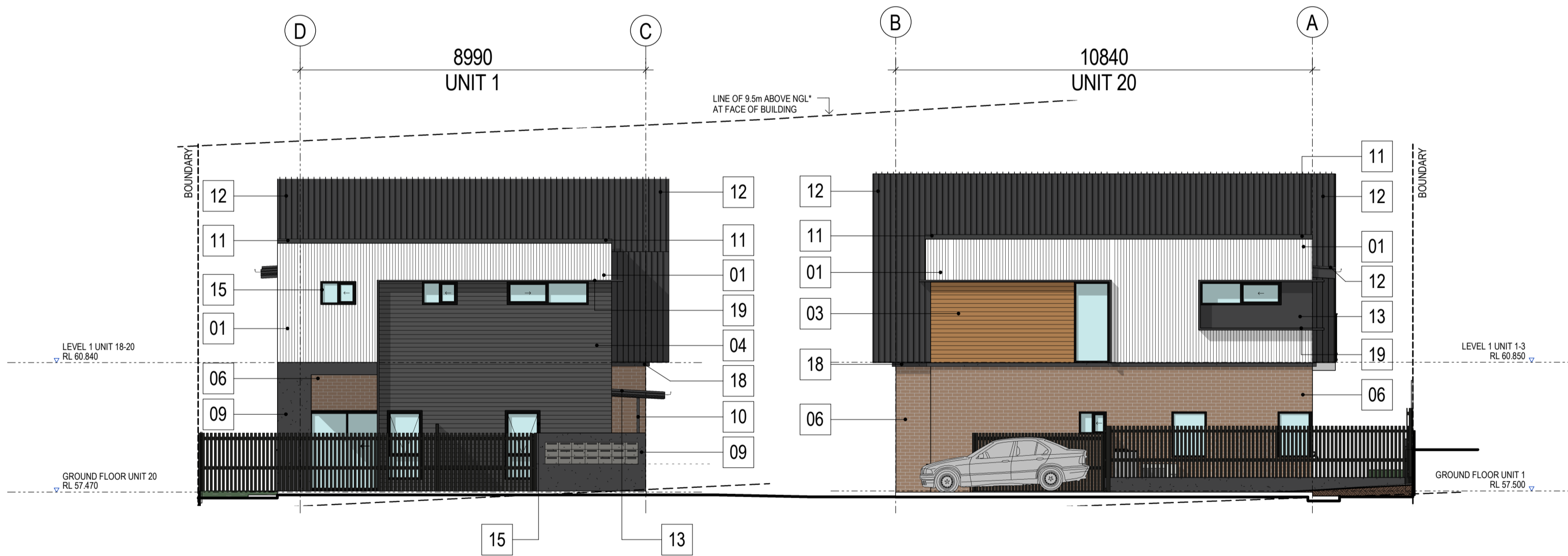
NOTES

FLOOR LEVELS SHOWN ARE TOP OF STRUCTURAL SLAB OR FLOOR SHEETING AND DO NOT INCLUDE FLOOR FINISHES SUCH AS TILE AND CARPET
 NGL* - GROUND LEVEL AS DEFINED IN CITY PLAN 2014



1 BUILDING SOUTH ELEVATION
 SCALE 1 : 100

MATERIAL SCHEDULE	
CODE	DESCRIPTION
01	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
02	PREFINISHED VERTICAL JOINT WALL FC CLADDING OR SIMILAR
03	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
04	PREFINISHED HORIZONTAL JOINT WALL FC CLADDING OR SIMILAR
05	PAINTED FC WALL CLADDING OR SIMILAR
06	FACE BRICK OR SIMILAR
07	FACE BRICK OR SIMILAR
08	PAINTED WALL TRIM OR SIMILAR
09	PAINTED AND RENDERED BLOCK WALL OR SIMILAR
10	PAINTED STEEL COLUMN OR SIMILAR
11	COLORBOND PARAPET WALL CAPPING OR SIMILAR
12	COLORBOND LONGLINE 305 ROOF SHEETING OR SIMILAR
13	COLORBOND FLASHING TRIM OR SIMILAR
14	COLORBOND ROOF SHEETING OR SIMILAR
15	POWDERCOATED ALUMINIUM WINDOW FRAME OR SIMILAR
16	POWDERCOATED GARAGE SECTIONAL DOOR OR SIMILAR
17	POWDERCOAT ALUMINIUM BATTEN CLADDING OR SIMILAR
18	PAINTED WALL MOULDING TRIM OR SIMILAR
19	POWDERCOATED SUN SHADING SHROUD OR SIMILAR



2 BUILDING NORTH ELEVATION
 SCALE 1 : 100

BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496

idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@deagroup.com.au

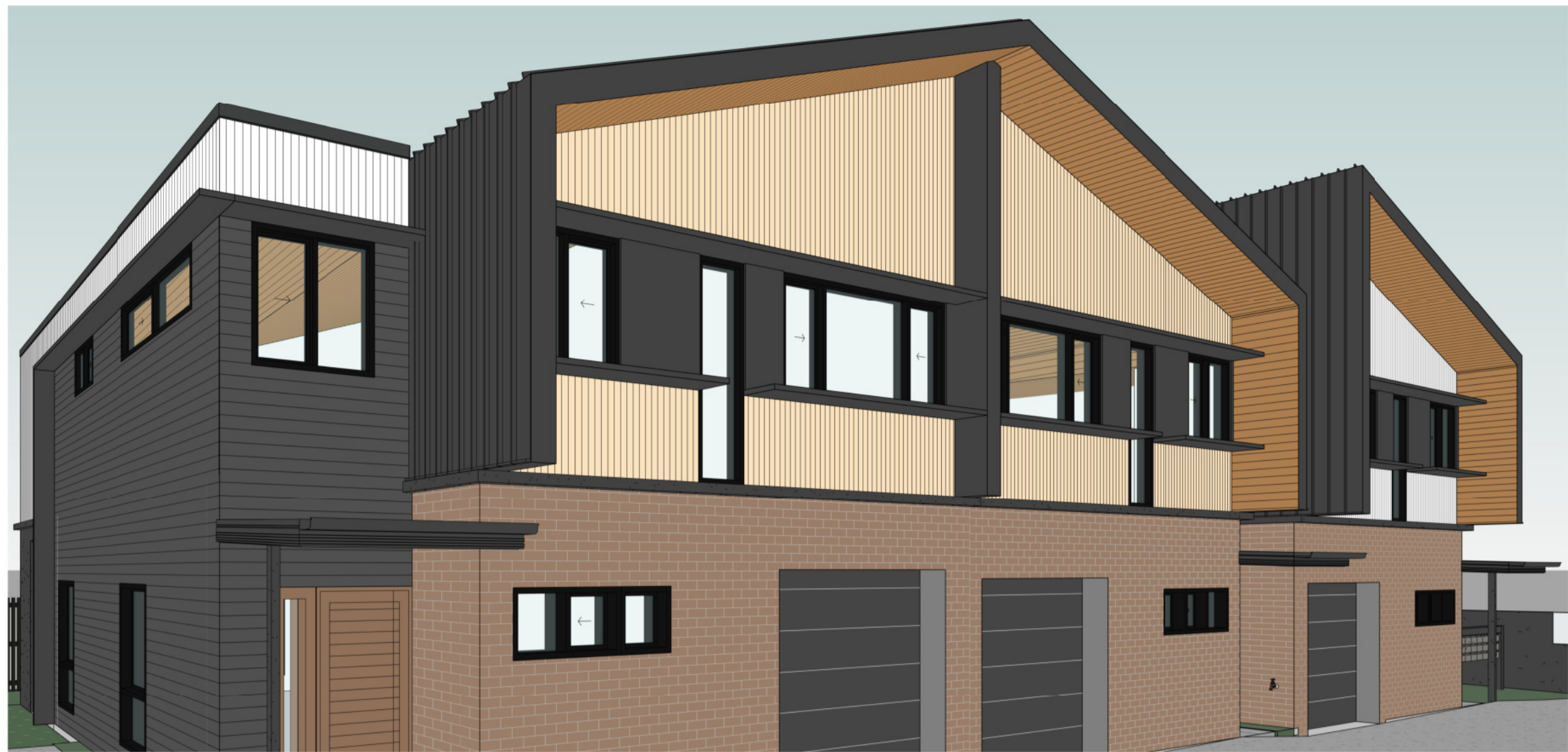
client **TYD GROUP**
 project **PROPOSED MULTI UNIT DEVELOPMENT**
 locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**
 title **SOUTH AND NORTH ELEVATIONS**



scale	1 : 100	drawn	BK
date	25.05.2017	checked	FI
job no	1705_ 1307	dwg no / cadfile	DA-15
		rev	D

status

FOR APPROVAL



1 BUILDING 3 - ENTRANCE VIEW 01
SCALE



3 BUILDING 3 - ENTRANCE VIEW 02
SCALE



2 BUILDING 1, 2 & 3 - REAR VIEW
SCALE



4 BUILDING 3 - SIDE VIEW 01
SCALE



5 BUILDING 3 - SIDE VIEW 02
SCALE



6 BUILDING 3 - REAR VIEW 01
SCALE



7 BUILDING 3 - REAR VIEW 02
SCALE

COPYRIGHT
All rights in relation to these drawings are reserved as the copyright of idearchitecture Pty Ltd. and are to be used only to produce the project for the client and in the location detailed hereon and are not to be copied or retained without written notice.

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496

idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@deagroup.com.au

client	TYD GROUP
project	PROPOSED MULTI UNIT DEVELOPMENT
locale	268 PADSTOW ROAD, EIGHT MILE PLAINS 4113
title	BUILDING 1, 2 & 3 - 3D VIEWS - SHEET 1

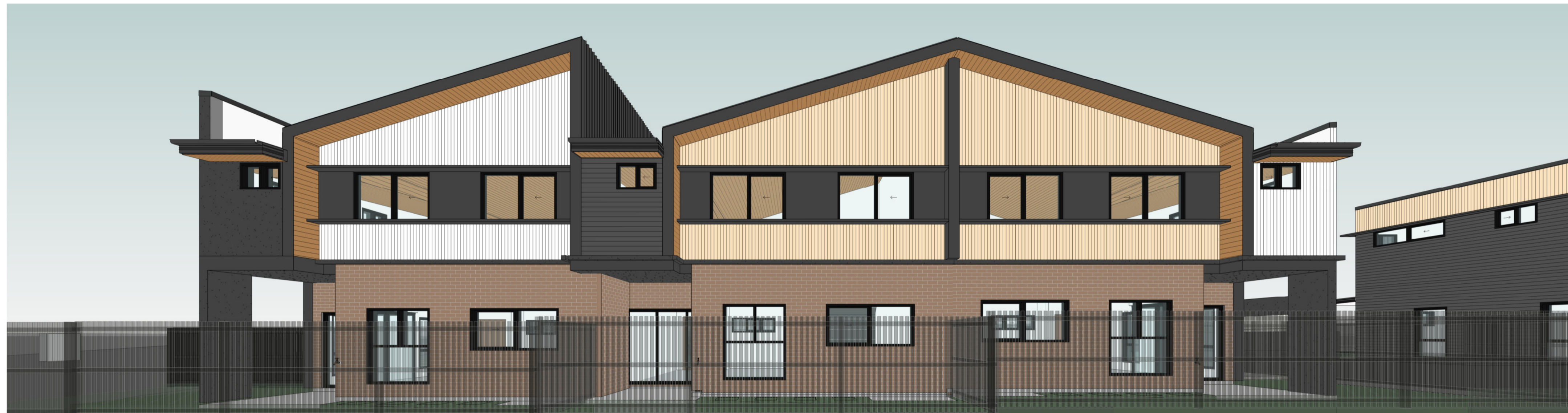
scale	NTS	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	rev
		DA-16	D

status

FOR APPROVAL



5 OVERALL 3D VIEW FROM FRONT
SCALE



6 OVERALL 3D VIEW FROM REAR
SCALE



7 OVERALL 3D VIEW FROM ENTRANCE
SCALE



8 3D VIEW FROM DRIVEWAY ENTRANCE
SCALE

COPYRIGHT
All rights in relation to these drawings are reserved as the copyright of idearchitecture Pty Ltd. and are to be used only to produce the project for the client and in the location detailed hereon and are not to be copied or retained without written notice.

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS

rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496

idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@deagroup.com.au

client	TYD GROUP
project	PROPOSED MULTI UNIT DEVELOPMENT
locale	268 PADSTOW ROAD, EIGHT MILE PLAINS 4113
title	BUILDING 1, 2 & 3 - 3D VIEWS - SHEET 2

scale	NTS	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	rev
		DA-17	D

status

FOR APPROVAL



1 BUILDING 4 - ENTRANCE VIEW 01
SCALE



3 BUILDING 4 - ENTRANCE VIEW 02
SCALE



2 BUILDING 4, 5 & 6 - REAR VIEW
SCALE



4 BUILDING 4 - SIDE VIEW 01
SCALE



5 BUILDING 4 - SIDE VIEW 02
SCALE



6 BUILDING 4 - REAR VIEW 01
SCALE



7 BUILDING 4 - REAR VIEW 02
SCALE

COPYRIGHT
All rights in relation to these drawings are reserved as the copyright of idearchitecture Pty Ltd. and are to be used only to produce the project for the client and in the location detailed hereon and are not to be copied or retained without written notice.

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS			
rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496

idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@ideagroup.com.au

client **TYD GROUP**

project **PROPOSED MULTI UNIT DEVELOPMENT**

locale **268 PADSTOW ROAD, EIGHT MILE PLAINS 4113**

title **BUILDING 4, 5 & 6 - 3D VIEWS - SHEET 1**

scale	NTS	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	rev
		DA-18	D

status **FOR APPROVAL**



5 BUILDING 4 - VIEW FROM ENTRANCE
SCALE



6 BUILDING 4 - VIEW FROM REAR
SCALE



7 BUILDING 4 - VIEW FROM DRIVEWAY
SCALE



8 BUILDING 3 & 4 - VIEW FROM DRIVEWAY
SCALE

COPYRIGHT
All rights in relation to these drawings are reserved as the copyright of idearchitecture Pty Ltd. and are to be used only to produce the project for the client and in the location detailed hereon and are not to be copied or retained without written notice.

- All construction, materials and building work is to comply with the Queensland Building Act, the National Construction Code and applicable Australian Standards.
- Main Contractor and/or subcontractor to confirm setbacks, levels, setbacks, and critical dimensions on site, including all building services and service fixtures before commencing work on site and during construction.
- Do not scale from this drawing - use figured dimensions only. Dimensions generally relate to structure only, and do not include linings or claddings unless otherwise noted in detail information.
- Any conflicts or discrepancies identified by the building or subcontractor need to be notified to the architect for clarification prior to proceeding with the work.
- The client is to review design and documentation detailed within this document. idearchitecture will assume the design and documentation satisfies the Client's Principal Project Requirements unless written notice is provided within 20 working days from its last issue.
- Main Contractor to provide a finished sample or prototype of each selected item, finish, furniture and fixture, and to obtain approval from idearchitecture and other consultants where relevant, prior to commencing work. Verify lead times for all products and orders placed to ensure procurement times of all selections meet the agreed building program.
- Information noted in the drawing revisions may not be indicative of all changes made.

AMENDMENTS			
rev	date	detail	checked
A	15.08.25	PRELIMINARY ISSUE	FI
B	26.08.25	PRELIMINARY ISSUE	FI
C	23.09.25	ISSUE FOR DA APPROVAL	FI
D	09.10.25	ISSUE FOR DA APPROVAL	FI

BCC DS
RECEIVED
 11/11/2025
APPLICATION REF
 A006902496

idearchitecture

T4 / 125 Wellington Rd, East Brisbane, 4169 Australia
 p +617 3392 4534 e idea@deagroup.com.au

client	TYD GROUP
project	PROPOSED MULTI UNIT DEVELOPMENT
locale	268 PADSTOW ROAD, EIGHT MILE PLAINS 4113
title	BUILDING 4, 5 & 6 - 3D VIEWS - SHEET 2

scale	NTS	drawn	BK
date	25.05.2017	checked	FI
job no	1705_1307	dwg no / cadfile	rev
		DA-19	D

status **FOR APPROVAL**

DRAWING TRANSMITTAL REGISTER

Enclosed are copies of drawings listed below

Date of Issue:

Project:	MULTI UNIT DEVELOPMENT	D:	15	26	23	09								
		M:	08	08	09	10								
Job No:	1705-1307	Y:	25	25	25	25								

Drawing Register:

Dwg No:

Revision:

Drawing Description	Dwg No	D	A	B	C	D								
PLANNING DATA, LOCATION PLAN & DRAWING REGISTER	DA-00	D	A	B	C	D								
SUBDIVISION PLAN	DA-01	D	A	B	C	D								
SITE PLAN (INTERIM)	DA-02	D	A	B	C	D								
SITE PLAN (ULTIMATE)	DA-03	D	A	B	C	D								
COMMUNAL OPEN SPACE & PRIVATE OPEN SPACE	DA-04	D	A	B	C	D								
DEEP PLANTING & COVERED AREA CALCULATION	DA-05	D	A	B	C	D								
GROUND FLOOR PLAN - PART 1	DA-06	D	A	B	C	D								
GROUND FLOOR PLAN - PART 2	DA-07	D	A	B	C	D								
LEVEL 1 FLOOR PLAN - PART 1	DA-08	D	A	B	C	D								
LEVEL 1 FLOOR PLAN - PART 2	DA-09	D	A	B	C	D								
OVERALL BUILDING ELEVATIONS	DA-10	D		B	C	D								
BUILDING 1, 2 & 3 - WEST ELEVATION	DA-11	D	A	B	C	D								
BUILDING 1, 2 & 3 - EAST ELEVATION	DA-12	D	A	B	C	D								
BUILDING 4, 5 & 6 - EAST ELEVATION	DA-13	D	A	B	C	D								
BUILDING 4, 5 & 6 - WEST ELEVATION	DA-14	D	A	B	C	D								
SOUTH AND NORTH ELEVATIONS	DA-15	D	A	B	C	D								
BUILDING 1, 2 & 3 - 3D VIEWS - SHEET 1	DA-16	D		B	C	D								
BUILDING 1, 2 & 3 - 3D VIEWS - SHEET 2	DA-17	D		B	C	D								
BUILDING 4, 5 & 6 - 3D VIEWS - SHEET 1	DA-18	D	A	B	C	D								
BUILDING 4, 5 & 6 - 3D VIEWS - SHEET 2	DA-19	D	A	B	C	D								

Distribution:

Attention:

D = DWG, P = PDF, "No." = Hard Copies

Distribution	Attention	D	P	P	P	P								
DEVELOPMENT	JIN XIA	P	P	P	P									
BESPOKE	DAVID THOMSON	P	P	P	P									

Documents Issued for:

A = Approval C = Construction R = Review														
U = Update X = Information	X	X	X	X										

