

'TPA.

10 June 2026

Brisbane City Council
Chief Executive Officer
GPO Box 1434
BRISBANE QLD 4001

Via Email: DSPlanningSupport@brisbane.qld.gov.au

ATTENTION: CHRIS DIXON

Dear Chris,

RE: RESPONSE TO FURTHER ADVICE FOR PROPOSED MATERIAL CHANGE OF USE FOR A MULTIPLE DWELLING UPON LAND LOCATED AT 81 YORK STREET, INDOOROOPILLY QLD 4068 - COUNCIL FILE REFERENCE A006928376.

We write in relation to the abovementioned application in response to Council's Further Advice correspondence dated 5 May 2026.

To assist Council with their assessment, and in conjunction with this written response, we attach for your records a copy of the following documents:

- Amended Architectural Plans prepared by *Ultralinea Architecture*; and
- Revised Landscape Concept Plans prepared by *LAUDink*.

We trust that the information provided is sufficient for your purposes. Should you wish to discuss this matter further, please do not hesitate to contact me at the office on (07) 3361 9999.

Yours faithfully
TOWN PLANNING ALLIANCE PTY LTD

Tom Kedda
PRINCIPAL PLANNER

Enc. *Response to Further Advice*

Landscaping and deep planting

1. Whilst it is noted the required pedestrian and vehicle accesses and services at the front of the site limit opportunities for deep planting and landscaping, there appears to be further opportunities to improve landscaping at the front of the site.

The landscaping between the pad mount transformer and pedestrian entry is currently raised above ground level and separated into two planter areas by a fence which limits the size of planting and results in a 1.5m high retaining wall along the frontage. The provided 'Landscape Concept Plan Sections – Sheet 2' shows that if this planting area was lowered to ground level and consolidated without a dividing fence, it could support a 2.2m wide landscaped area with a minimum depth of 1.6m above the top of the basement carpark slab. It is noted Council may support a small reduction in proposed unit GO1's private open space to allow for this improved landscaping to support a larger tree and improved planting, and a better overall outcome and contribution to the streetscape.

- a. Provide amended architectural and landscape plans showing a consolidated landscaped space between the padmount transformer and pedestrian entry to allow for more significant planting.

Response:

As requested, the landscaping area between the pad mount transformer (PMT) and the pedestrian entry has been reconfigured and rationalised, with the previously proposed dividing fence separating the landscaped area removed and relocated on top of the retaining wall. This outcome will ensure that small feature trees and tropical screening shrubs can be appropriately supported and upon maturity, will significantly contribute to the streetscape. In addition, the retaining wall at the verge has also been stepped and lowered without compromising the soil depths to the basement supporting structure (i.e. capping beam) below. The landscaping area now encompasses 25m² with soil depths ranging from 1.3m to 3m, as shown in cross-section B below.



Figure 1: Frontage landscaping cross-section (B) as per the revised Landscape Concept Plan.

2. *Whilst landscaping is proposed over the dual fire pump and booster, the entry awning also presents an opportunity to provide a better landscaped outcome along the frontage in accordance with PO27, PO28 and PO29 of the Multiple dwelling code.*

- a. *Provide amended architectural and landscape plans showing landscaping atop the entry awning.*

Response:

As requested, additional landscaping is proposed atop the entry awning and booster box to provide an improved landscape outcome in accordance with PO27, PO28 & PO29 of the Multiple dwelling code. Please refer to the Revised Landscape Concept Plan prepared by LAUDink enclosed as part of this response material for specific plant species and planting arrangement details.

Side boundary landscaping

3. *The proposal currently does not sufficiently demonstrate compliance with PO28 of the Multiple dwelling code. While rear setback deep planting and supplementary façade or container planting are noted, these measures do not adequately address the lack of continuous side boundary screen planting nor offset the impacts of reduced side setbacks.*

- a. *Provide amended plans and revised landscape concept plan (LCP), demonstrating the western side boundary landscaping is capable of supporting columnar or narrow canopy screen trees with a mature height of approximately 5–8m, providing functional long-term outcomes in terms of shade, privacy, visual separation, acoustic buffering, microclimate cooling, subtropical character and softening the impacts of the built form. The LCP is to detail the species and size of planting.*
- b. *Noting the absence of side boundary landscaping along much of the eastern boundary, provide amended plans and landscape concept plan showing additional containerised vertical planting along the eastern façade of the building to soften the extent of hardstand area and built form.*

Response:

The proposed landscape strategy for the side boundary has been reviewed and improved based on Council feedback. As per both the Amended Architectural Plans & Revised Landscape Concept Plan, several modifications have been made to enhance the boundary landscaping. These changes aim to provide additional landscaping opportunities throughout the site to assist with balancing hardstand areas, provide shade, soften the proposed built form as well as contribute positively to amenity and the subtropical microclimate of the site. Below is a breakdown of the amendments for each level:

- Western boundary landscaping increased through a new 600mm planter box adjacent to Unit G01's side courtyard. The additional 15m² of planting along the boundary has required a reduction in the western facing POS courtyard space for Unit G01.
- Western boundary planting updated to include buffering hedges are capable of a mature height of 5-8m to screen the boundary and provide privacy.
- A series of containerised planter boxes (minimum 600mm deep) have also been incorporated along the eastern façade above the basement access ramp on Ground Level. As per the Landscape Concept Plan, these planters will extend over the driveway to provide adequate media width inclusive of a carefully considered planting arrangement utilising slender, upright screening and climbing plant species specifically selected to thrive in constrained garden beds. This approach provides vertical greening to help soften the built form and visually screen hard surfaces.

Overall, the combined changes to each side boundary's landscaping arrangement introduce a significantly improved planting area directly adjoining the property boundary. The resultant landscape outcome, therefore, provides sufficient greenery and depth to meaningfully reduce the perceived impact of side boundary setback relaxations.

4. The plans show a 15m² hatched blue area within the rear deep planting area. It is unclear what this area is.
 - a. Provide amended plans removing any proposed structures or services from deep planting areas.

Response:

Please be advised that the blue hatched area as indicated on the on the Architectural Proposal Plans (drawing number SK101) is a stormwater soakage trench, as detailed within the Stormwater Management Plan prepared by MPN Consulting and submitted as part of the original application material. Importantly, the soakage trench acts as the emergency overflow discharge point for the eastern roof catchment stormwater detention tank. Please see the Stormwater Layout & Catchment Plan (drawing numbers DA.03 & DA.04) prepared by MPN Consulting for further detail.

It is also noted that the Landscape Concept Plan (Section AA – DWG# SK020) identifies the soakage trench. While the primary function of the trench is for stormwater overflow, the soakage pit will also improve irrigation for trees surrounding the pits and is not considered to be significant infrastructure.

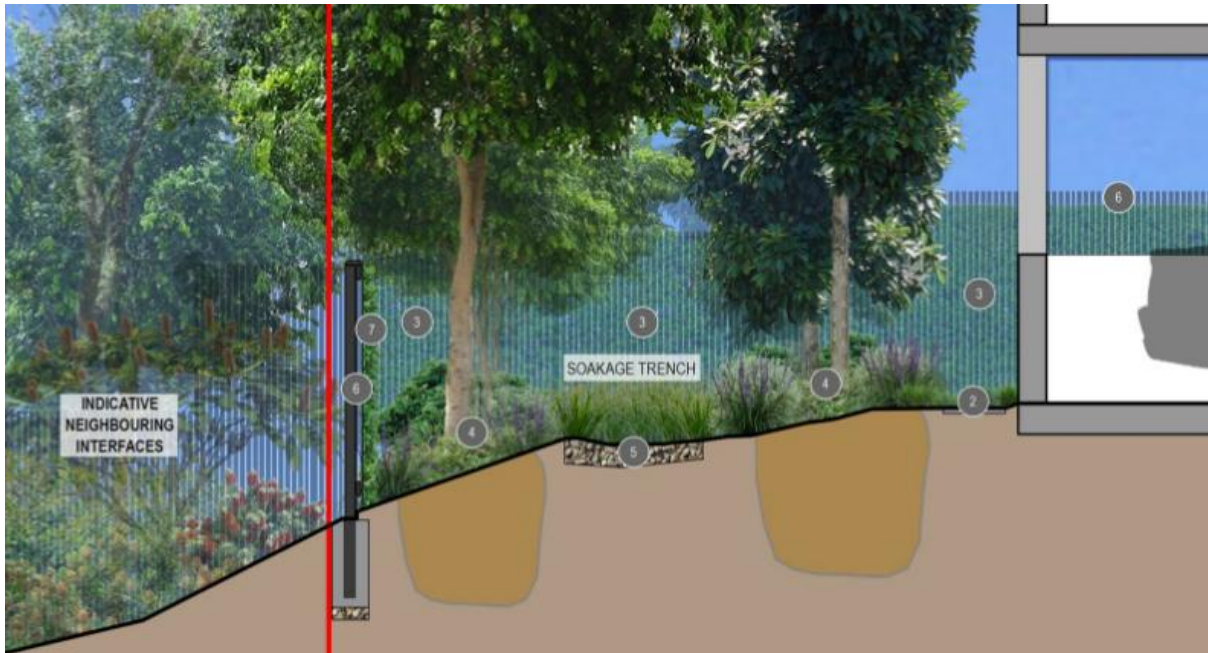


Figure 2: Rear deep planting cross-section.

Refuse collection bay

5. The revised 'Elevation 2 (York Street)' on the 'Elevation 2 & 4' plan, DWG No. SK301 shows the vertical clearance to be less than 3.6m. The plan is not consistent with 'Section 3 – Refuse Collection Bay' on the 'Sections' plan, DWG No. SK401.
 - a. In accordance with PO32 of the Multiple dwelling code and PO18 and PO19 of the Transport, access, parking and services code, provide amended plans which demonstrate a minimum vertical clearance of 3.6m is provided across the entire aisle. Ensure all plans are consistent.

Response:

A minimum vertical clearance of 3.7m is provided within the designated Refuse Collection Vehicle (RCV) standing and manoeuvring area. To demonstrate compliance that the required vehicle clearances are achieved, a dimensioned 3D model is included in the response package. Please see RCV Clearance Sections (drawing number SK402) for detail. Further compliance can be appropriately conditioned by Council.

**