

TOWN PLANNING REPORT

Development Permit for Reconfiguration of Lot (1 into 2) and
Development Permit for Building Works (Partial Demolition for Relocation)

24 Contay Street, Holland Park QLD 4121

Lot 43 on RP44087

July 2026

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DOCUMENT REGISTER:

Project Reference: PPQ_Contay 2026-051			
Version:	Date	Author	Checked
Draft	30/06/2026	LP	ML
Final Issue	07/07/2026	ML	ML

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1.0 SITE DETAILS

Applicant name	Shannon Kelly, Sarah Henny, Albert Henny and Jared Kilby c/- Mayhill Planning and Architecture Pty Ltd
Property Owner	Shannon Kelly, Sarah Henny, Albert Henny and Jared Kilby (Title Attached as Appendix E)
Report prepared by	Michael Lowe Mayhill Planning and Architecture Pty Ltd
Site address	24 Contay Street, Holland Park QLD 4121
Real Property Description (RPD)	Lot 43 on RP44087
Site area	696m ²
Zone and precinct	Character Residential (Infill Housing)
Neighbourhood plan and precinct	Coorparoo and Districts NP (No sub-precinct)
Relevant overlays	Airport Environs Overlay (OLS, PANS, BBS 3-8km) Bicycle Network Overlay Community Purposes Network Overlay Critical Infrastructure and Movement Network Overlay Dwelling House Character Overlay Road Hierarchy Overlay (Contay Street - Neighbourhood Road, Holland Road – Suburban Road) Streetscape Hierarchy Overlay (Neighbourhood Street Major) Traditional Building Character Overlay (Neighbourhood Character) Transport Air Quality Corridor Overlay
Flooding	The site is not affected by river flooding, creek flooding, or overland flow.
Character/Heritage	The existing house on the site was constructed prior to 1946, and the site is affected by the <i>Traditional Building Character Overlay</i> .
Vegetation	The site is not identified on the Council Significant Landscape Tree Overlay. There is no indication of Significant Urban Vegetation on the site (Council Reference 23527616).

2.0 ASPECTS OF DEVELOPMENT

Type of Development	Development Permit for Reconfiguring a lot (1 into 2) Development Permit for Building Works (Partial Demolition)
Brief Description of Proposal	Reconfiguring the existing lot into 2, rotating and relocating the existing house onto Lot 1. Non-assessable demolition of post-war elements to facilitate relocation of the existing house into a new lot.
Referral Agencies	None
Specialists Reports Provided	Survey Plan (Appendix A) Architectural Plans (Appendix B)
Pre-Lodgement Advice	No
Servicing Requirements	The property has existing service connections suitable for a detached dwelling. New connections will be provided the proposed additional lot.
Access Arrangements / Crossover	One existing crossover to Contay Street exists to a single width carport, which will be retained to service Proposed Lot 2. One additional domestic crossover to Contay Street is proposed to access the proposed double width carport to for Proposed Lot 1. An existing crossover to Holland Road will be removed.
Existing/Proposed Built Improvements	New double carport. Relocation and rotation of the pre-war dwelling.
Lawful Point of Discharge	Existing LPD is to the Holland Road kerb
Removal of Street Trees	One small street is proposed to be removed on Contay Street.
Filling and/or Cutting	No proposed filling/cutting
Minimum Flood levels (if applicable)	Not Applicable. The site is not affected by flooding or overland flow.
Vegetation	The proposed renovation does not require the removal of any existing vegetation. The site is not affected by NALL protections, or the Significant Landscape Tree Overlay.

3.0 SITE DESCRIPTION

The subject site is 24 Contay Street, Holland Park. It is a single corner lot of 696m² with frontages to both Contay Street (from which an existing crossover takes access to a single carport) and Holland Road.

In accordance with the Brisbane City Council definition the primary street frontage is Contay Street and Holland Road is the secondary street frontage. The existing dwelling faces Holland Road

A current property title is attached as Appendix E.

The subject site contains an existing pre-war dwelling, and the site is affected by the *Traditional Building Character Overlay*.

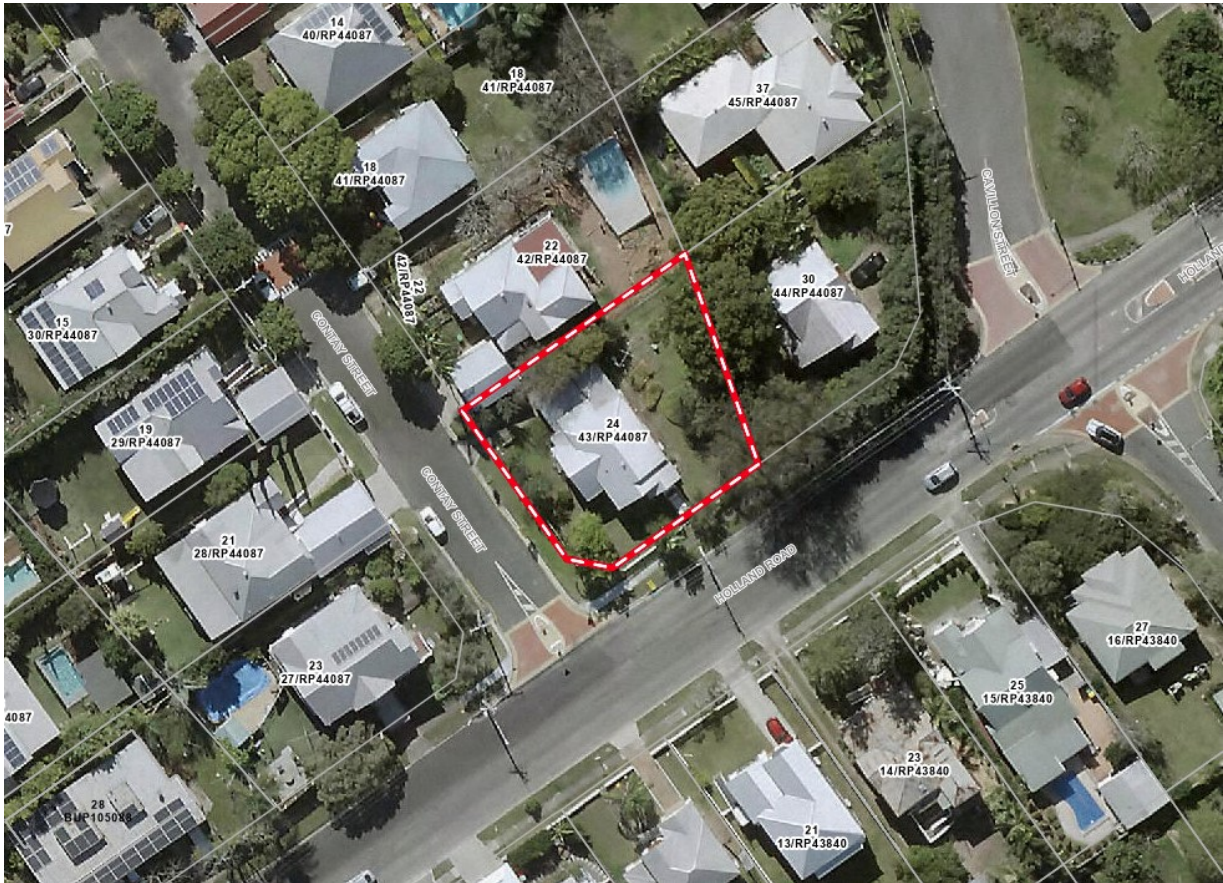


Image 01 – Subject Site (Source: BCC Interactive Mapping 2021 Aerial)

The subject site is zoned CR2 Character (Infill Housing).

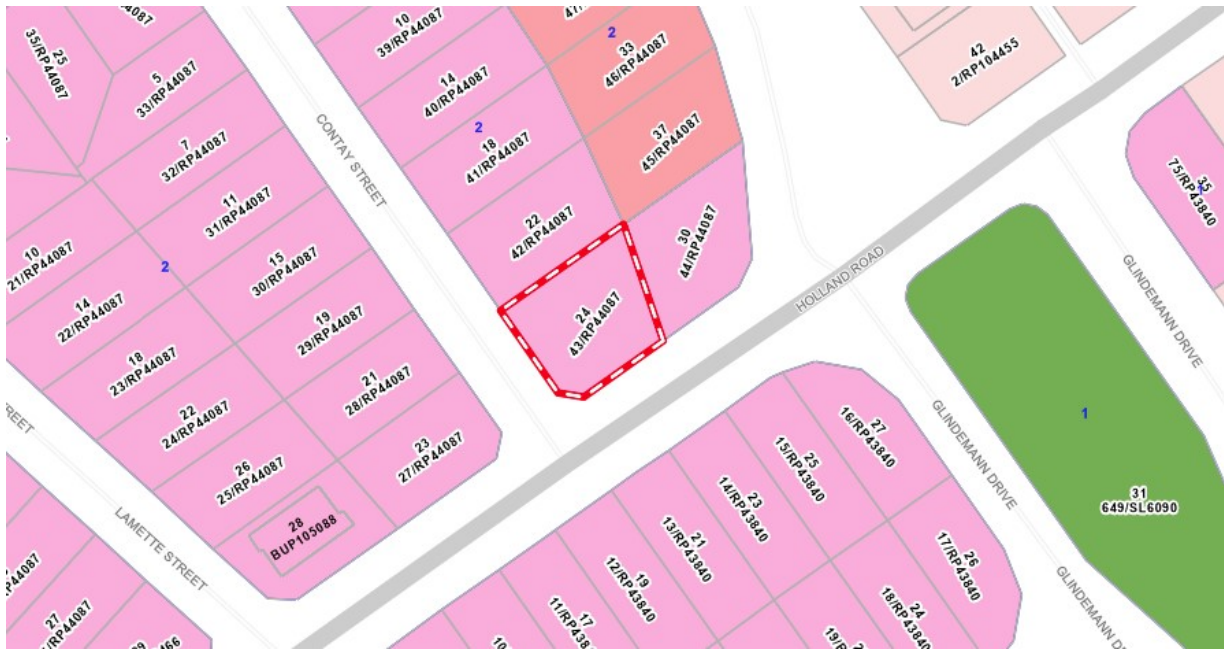


Image 02 – Subject Site Zone (Source: BCC Interactive Mapping)

The site falls approximately 3m from west to east over approximately 31m (making an approximately grade of 1:11).



Image 03 – Subject Site contours (Source BCC Interactive Mapping)

The existing dwelling features water, sewer and telecommunications connections, and is serviced by overhead electricity connection from power poles on the Holland Road frontage.

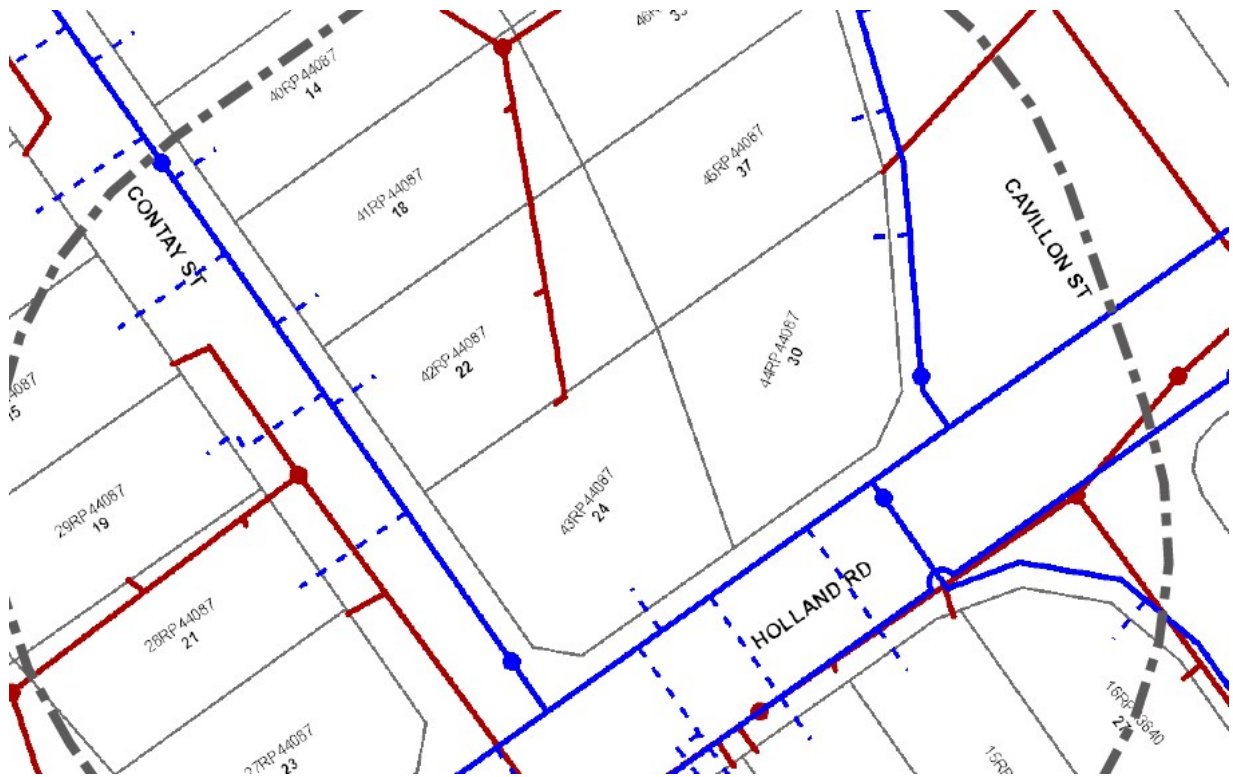


Image 04 – Subject Site infrastructure (Source: BYDA)

4.0 SITE PHOTOS



Image 05 – Existing house – West Elevation to Contay Street frontage (Source: Site Visit)



Image 06 – Existing house – South Elevation to Holland Road frontage (Source: Site Visit)



Image 07 – Existing house – East Elevation (Source: Site Visit)



Image 08 – Existing house – Carport to be removed (Source: Site Visit)

The site is adjoined to the east and to the north by pre-war dwellings.



Image 09 – Adjoining pre-war house on 22 Contay Street (Source: Site Visit)



Image 10 – Adjoining pre-war house on 30 Holland Road (Source: Site Visit)

5.0 PROPOSED DEVELOPMENT

The application seeks a Development Permit for a Reconfiguration of Lot (1 into 2) and Development Permit for Building Works (Partial Demolition to Relocate and Rotate an Existing Pre-War House in a Traditional Building Character Overlay).

The proposed plans are attached as **Appendix B**.

Reconfiguring a Lot (1 into 2)

The subject site is a single lot of 696m² in area. It is proposed to split the existing lot into Proposed Lot 1 (390m²) and Proposed Lot 2 (300m²).

The proposed reconfiguration complies with the requirements of Table 9.4.10.3.B Part 2 for land in a Character Residential (Infill Housing Zone Precinct) with a minimum area of 300m², average lot width and minimum frontage of over 7m, and accommodating a minimum rectangle of 6m x 15m.

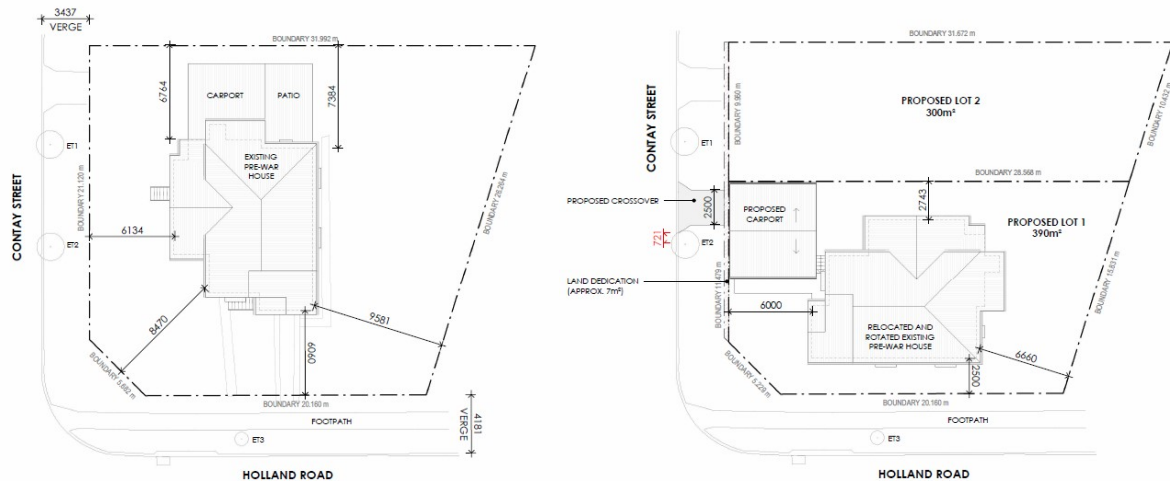


Image 11 – Existing and proposed site plans (Source: Appendix B)

Building Works (Relocation and rotation of the existing pre-war dwelling)

To facilitate the reconfiguration of lot it is proposed to retain the pre-war house but rotated to address Contay Street instead of Holland Road.

Rotating the dwelling is a performance outcome to A010.1 / PO10 of the Traditional Building Character (Demolition) Overlay Code. Acceptable Outcome A010.1 states that *Development involving a residential*

building remains orientated to face its existing street frontage in a manner consistent with a dwelling house constructed in 1946 or earlier on adjoining lots. The intent behind A010.1 captures the acknowledged relationship between the front elevation of a character dwelling and the streetscape in which it sits. The performance outcome (PO10) proposed in this application is fully addressed in Section 6.9 of this report, however in summary the key elements of the justification are:

- (1) Rotating the house to front Contay Street facilitates retention of the entire pre-war structure within the most appropriate reconfiguration (which orients both proposed lot frontages to Contay Street, which is a minor road, versus Holland Road which is a major road);
- (2) The existing frontage (Holland Road) has a low level of character streetscape value. This section of road frontage is small, fronted by only two dwellings (the subject site, and the adjoining 30 Holland Road), whereas Contay Street is an established character streetscape with six pre-war dwellings on the eastern side of the street (and seven on the opposite side);
- (3) Contay Street is both the current street address of the subject site, and as per BCC definition the primary frontage (the street frontage that is most commonly addressed by other buildings in the block).
- (4) That adjoining property (30 Holland Road) has been subject to a development approval (A006691599 issued in May 2025) which includes demolition of a large portion of the pre-war dwelling in order to facilitate the reconfiguration of lot, including a side of the building which impacts the roof form. In the context of the limited character value of the Holland Road frontage, rotating the house to face the primary frontage which also facilitates retention of the entire pre-war structure and roof form is considered a more favourable option.

As noted above, a full response to PO10 of the TBC (Demolition) Overlay Code is provided in Section 6.9 of this report, but the proposed rotation complies with performance outcome by way of:

PO10(a): The Contay Street streetscape is significantly more characterful, and having the dwelling front his streetscape is complementary to the traditional setting of the house

PO10(b): The primary view of the house is the approach eastbound along Holland Road, and the rotation of the house to front Contay Street will still present the main elevation of the dwelling to that approach. To that extent, the effective presentation of the house to Holland Road is less important than it would be if there were more than two dwellings fronting that section of road. The rotated house will present a side elevation to Holland Road which still features the traditional roof form, character materials and the original windows and hoods.

PO10(c): Rather than being isolated, the building will form a more consistent part of the Contay Street streetscape which features six other pre-war dwellings.



Image 12: Contay Street is the primary frontage for the subject site, and features a consistent line of pre-war dwellings with a more characterful streetscape.

The reconfiguration of lot component of this proposal is consistent with the density allowed in the Infill Housing Precinct and the proposed lot areas, widths and minimum rectangles comply with the acceptable outcomes of the Subdivision Code (Table 9.3.4.10.B). It is also consistent with the expectations for the area, noting the approval over 30 Holland Road. However, in contrast to 30 Holland Road this application submits that rotation of the house, but retaining the entire pre-war structure (including the full roof form), is a preferable character outcome to its partial demolition, given the limited character value of the Holland Road streetscape.

6.0 ASSESSMENT BENCHMARKS AND COMPLIANCE

6.1 South East Queensland Regional Plan

The entire subject site is located within the Urban Footprint of the SEQRP Mapping, and no further provisions of the plan are relevant to this development.

6.2 State Planning Policy

Part 2 of *City Plan 2014* states that all State Interests in the State Planning Policy have been integrated into the planning scheme. Accordingly, the assessment benchmarks for each state interest under Part E under the SPP are not applicable in the assessment of the application.

6.3 Temporary Local Planning Instruments

There is no TLPI that has effect on this application.

6.4 Referral Agencies

The application does not trigger referral.

6.5 Brisbane Planning Scheme

The current planning scheme is City Plan 2014 v.36 (effective 12th June 2026).

A response to the Strategic Framework (Part 3) of City Plan 2014 is attached as Appendix C.

The following Brisbane City Plan 2014 codes are identified as relevant assessment benchmarks for this application, and have been addressed in Section 6.6 and 6.7 of this report and in Appendix D:

- Character Residential Zone Code;
- Coorparoo and District Neighbourhood Plan Code;
- Dwelling House (Small Lot) Code;
- Traditional Building Character (Demolition) Overlay Code;
- Traditional Building Character (Design) Overlay Code;
- Road Hierarchy Overlay Code;
- Streetscape Hierarchy Overlay Code;

- Transport Air Quality Overlay Code; and
- Transport air quality Corridor Overlay Code.

The following Brisbane City Plan 2014 codes are not relevant to the assessment of the proposed Building Works:

- Airport Environs Overlay Code;
- Bicycle Network Overlay Code;
- Community Purposes Network Overlay Code;
- Critical Infrastructure and Movement Network Overlay Code; and
- Potential and Actual Acid Sulfate Soils Overlay Code.

6.6 Level of Assessment

As per Table 5.6.1, a reconfiguration of lot in Character Residential Zone is Impact Assessable where a reconfigured lot is less than 450m².

6.7 Character Residential (Infill) Zone Code

The proposed renovation complies with the identified in Section 6.2.1.5(4) of the Character Residential Zone Code.

The development form overall outcomes in Section 6.2.1.5(5) are addressed below:

<i>a. Development occurs on an appropriately sized and configured lot and is of a form and scale that reinforces a distinctive subtropical character of low rise buildings set in green landscaped areas.</i>	Complies. The renovation retains the existing scale and form of the dwelling.
<i>b. Development for a residential building is of a height, bulk, scale and form, materials and detailing which is compatible with the traditional building character of the Character residential zone and consists of buildings of 1 or 2 storeys in height.</i>	Complies. The proposal retains the existing bulk, scale, form and character materials.
<i>c. Development protects and retains buildings built in 1946 or before on land within the Traditional</i>	Complies. The existing dwelling retained in the corner

<i>building character overlay in accordance with the Traditional building character (demolition) overlay code.</i>	location of the subject site. The performance outcome associated with rotation is addressed in Section 5.0 and 6.9 of this report.
<i>d. Development provides that a new building or extension of a building reflects and complements the city's traditional building character of housing built in 1946 or before prevalent within the Traditional building character overlay in accordance with the Traditional building character (design) overlay code.</i>	Complies. The new carport features a gable roof form which is consistent with both pre-war character, and other carports constructed in the street.
<i>e. Development supports a subtropical character by ensuring that a dwelling house on a small lot is of a size and scale that minimises negative impacts on amenity and private open space of other dwellings, by maintaining access to sunlight, daylight and privacy.</i>	Complies. The retained dwelling meets the acceptable outcomes of the Dwelling House (Small Lot) Code.
<i>f. Development of a dwelling house on a small lot comprising a new premises or an increase in gross floor area of an existing premises is located within a defined building envelope that:</i> <i>i. maximises the retention of backyard spaces as private landscaped space;</i> <i>ii. avoids overbearing development involving bulk or setbacks which are inconsistent with the character of a dwelling house on adjoining lots.</i>	Not Applicable. The dwelling is not new and does not propose an increase to GFA.
<i>g. Development responds to land constraints, mitigates any adverse impacts on environmental values and addresses other specific characteristics, as identified by overlays affecting the site or in codes applicable to the development.</i>	Complies. The existing house relocation is not affected by land constraints.

The Infill Housing Zone Precinct overall outcomes in Section 6.2.1.5(7) are addressed below:

<i>a. Development retains a dwelling house built in 1946</i>	Complies.
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<i>or before.</i>	The dwelling is retained.
<i>b. Development provides that a new dwelling house, dual occupancy or multiple dwelling:</i> <i>i. is no more than 2 storeys in height;</i> <i>ii. is located between or behind dwelling houses built in 1946 or before on an appropriately sized and configured vacant lot;</i> <i>iii. is compatible in scale and design with existing dwellings built in 1946 or before;</i> <i>iv. reinforces the traditional building character of the Infill housing zone precinct.</i>	Not Applicable. The proposal is not a new dwelling.
<i>c. Development achieves a maximum dwelling yield of one dwelling per 300m² of site area.</i>	Complies. The maximum density is 1 dwelling per 300m² of site area, and the overall density is 1 dwelling per 348m².
<i>d. Development for alternative housing types, such as rooming accommodation, a residential care facility or a retirement facility, which provide housing diversity and enable people to find suitable accommodation throughout their life cycle:</i> <i>i. is consistent with the predominant traditional building character and amenity expectations of residents in the Infill housing zone precinct;</i> <i>ii. meets the bulk and building height requirements of the Multiple dwelling code or any applicable neighbourhood plan.</i>	Not Applicable.
<i>e. Development for a new residential use other than a dwelling house, such as a multiple dwelling or dual occupancy, has a built form and design that is: consistent with the character of a low density residential environment comprising 1 or 2 storey dwelling houses; and suited to smaller lot sizes.</i>	Not Applicable.
<i>f. Development is compatible in scale with adjoining dwelling houses, both within or adjoining</i>	Complies. The existing dwelling is retained as a single storey

<i>the Infill housing zone precinct, in order to maintain an appropriate level of amenity and privacy to an adjoining dwelling.</i>	dwelling (less than 7.5m).
<i>g. Development supports a subtropical character by ensuring that:</i> <i>i. the building form, spacing, orientation and design ensure dwellings are well designed and sensitive to the city's climate;</i> <i>ii. residents on the site, as well as residents of existing or future dwellings on adjoining sites, have sufficient privacy and good access to daylight, sunlight and breezes to enable the intended use of indoor and outdoor spaces.</i>	Complies. The relocated dwelling meets the acceptable outcomes of the Dwelling House (Small Lot) Code.
<i>h. Development provides quality private and communal open spaces and landscaping, including deep planting, that reinforce the house-compatible scale of buildings, provide breathing spaces and outdoor activity areas and encourage outdoor living.</i>	Complies. The renovation will provide additional private outdoor space that does not interface with an adjoining property.
<i>i. Development provides for a building to address and interface with the street and other adjoining public space, including via habitable uses at ground level (with parking not forming a dominant element in the streetscape) in order to reinforce the traditional setting and provide surveillance and encourage activation of parks and streets.</i>	Complies. The house will address Contay Street, which the majority of immediately adjoining dwelling face, and is the more characterful streetscape.
<i>j. Development provides for setbacks which suitably buffer a residential use from an activity in an adjoining non-residential zone.</i>	Not Applicable. There is no adjoining non-residential zone.
<i>k. Development provides for a residential dwelling on a site which fronts a heavily trafficked road or other noise source to be:</i> <i>i. suitably located and orientated on the site;</i> <i>ii. designed and finished to minimise noise intrusion while maintaining some opportunities</i>	Complies. Rotation of the house will provide a better interface to Holland Road which is heavily trafficked.

<i>for interface with and surveillance of the street.</i>	
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6.8 Coorparoo and Districts Neighbourhood Plan

The proposal complies with the overall outcomes for the Coorparoo and District Neighbourhood Plan outlined in Section 7.2.4.3.2

- a. A mix of housing densities and types serves the needs of the community, including the neighbourhood plan area's young adult and elderly populations, as well as key workers, particularly in proximity to major employment nodes, centres and major public transport nodes and corridors.*

Complies. The relocation of the existing dwelling will require significantly less building work than partial demolition

- b. Identified character housing and traditional character streetscapes are retained and protected.*

Complies. Although the existing dwelling is being rotated and relocated, it retains the existing bulk, scale, form and character materials. It will front Contay Street is the primary frontage, street address, and the more characterful streetscape.

- c. Development reinforces the development of discrete centres along the Logan Road corridor with a diverse mix of land uses.*

Not Applicable.

- d. Higher-intensity residential uses cluster in and around each centre, contributing to their vitality and viability.*

Not Applicable.

- e. Development demonstrates high-quality built form and public realm outcomes that contribute to a strong sense of place and the creation of high quality streetscapes.*

Complies.

- f. The ecological, landscape and visual values of Stephens Mountain are retained.*

Not Applicable.

g. Remnant vegetation on Stephens Mountain is protected.

Not Applicable.

h. Development of the Greenslopes Private Hospital respects the setting of a predominantly residential locality and maximises accessibility between the hospital and the Greenslopes Busway station.

Not Applicable.

i. Development on Newdegate Street between Denman Street and Headfort Street provides a mix of centre and community activities that is complementary to the Greenslopes Private Hospital.

Not Applicable.

j. Development is of a height, scale and form which is consistent with the amenity, character and infrastructure assumptions intended for the relevant precinct, sub-precinct or site.

Complies. The proposed reconfiguration meets the acceptable outcomes of Table 9.4.10.3.B of the Subdivision Code, and the relocated dwelling on Proposed Lot 1 meets the acceptable outcomes of the Dwelling House (Small Lot) Code. The retained dwelling retains the existing bulk, scale, form and character materials.

k. Development adjacent to public spaces is designed to increase casual surveillance and activation of the public space.

Not Applicable.

6.9 Performance Outcomes

6.9.1 A010.1/P010 Traditional Building Character (Demolition) Overlay Code

A010.1 of the Traditional Building Character (Demolition) Overlay Code states: *Development involving a residential building remains orientated to face its existing street frontage in a manner consistent with a dwelling house constructed in 1946 or earlier on adjoining lots.*

The proposal includes relocating the existing pre-war dwelling (including rotation of the house to front the Contay Street streetscape).

The intent behind A010.1 acknowledges relationship between the front elevation of a character dwelling and the streetscape in which it sits. However, this application submits that the circumstances and context of the subject site be taken into account when determining the most appropriate outcome.

The ROL component of this proposal is consistent with the density allowed in the Infill Housing Precinct. The proposed lot areas, widths and minimum rectangles comply with the acceptable outcomes of the Subdivision Code (Table 9.3.4.10.B). It is also consistent with the expectations for the area, noting the approval over the adjoining land at 30 Holland Road. This reconfiguration is best served with both lots fronting Contay Street, which is a minor road.

As with 30 Holland Road some building works to the pre-war dwelling are required to facilitate the reconfiguration. The development approval over 30 Holland Road (A006691599 issued in May 2025) included substantial (partial) demolition of side of the house including significant impact on the extent and form of the roof.

In contrast to that approach this application submits that rotation of the house is a preferable outcome. The primary reasons being (a) this facilitates retention of the entire pre-war structure; (b) the Holland Road streetscape is of limited character value (only two dwellings, including the subject site, front this section of road); and (c) Contay Street exhibits significantly more character with six other pre-war dwellings (plus another seven on the opposite side of the street).

It is relevant that:

- Contay Street is the current street address;
- Contay Street is the primary frontage as per the BCC definition (the street frontage that is most commonly addressed by other buildings in the block);
- Contay Street is a minor road, and more appropriate for the orientation of the house and front yard private open space;
- Holland Road is a major road and presenting the side elevation of the house allows a more appropriate screening;
- The Contay Street streetscape features more character value, with a consistent line of pre-war dwellings on both sides of the street.

The below provides the response to PO10 of the Traditional Building Character (Demolition) Overlay Code:

<i>PO10</i> <i>Development ensures that the siting and orientation of a residential building on a lot:</i>		
PO10(a):	<i>is complementary to the traditional setting of a dwelling house constructed in 1946 or earlier nearby in the street</i>	Complies. The Contay Street streetscape is significantly more characterful, and having the dwelling front his streetscape is complementary to the traditional setting of the house.
PO10(b):	<i>does not diminish the streetscape character components of the original street to which the building was orientated within the Traditional building character overlay</i>	Complies. The primary view of the house is the approach eastbound along Holland Road, and the rotation of the house to front Contay Street will still present the main elevation of the dwelling to that approach. To that extent, the effective presentation of the house to Holland Road is less important than it would be if there were more than two dwellings fronting that section of road. The rotated house will present a side elevation to Holland Road which still features the traditional roof form, character materials and the original windows and hoods.
PO10(c):	<i>does not result in a building being isolated from a streetscape within the Traditional building character overlay or a streetscape that exhibits traditional character.</i>	Complies. Rather than being isolated, the building will form a more consistent part of the Contay Street streetscape which features six other pre-war dwellings.

The below provides the response to the Purpose of the Traditional Building Character (Demolition) Overlay Code:

<i>2. The purpose of the code will be achieved through the following overall outcomes:</i>	
<i>(a) Development protects residential buildings constructed in 1946 or earlier that</i>	Complies. The proposal retains and protects the entire pre-war

<i>individually or collectively contribute to giving the areas in the Traditional building character overlay their traditional character and traditional building character.</i>	structure.
<i>(b) Development protects buildings constructed prior to 1911 by limiting demolition or removal to only where a building is structurally unsound</i>	Not Applicable
<i>(c) Non-residential character buildings that provide or have provided in the past, services to the community, are protected where they contribute to the traditional character of the locality and form part of a character streetscape comprising character buildings constructed in 1946 or earlier nearby in the street and within the Traditional building character overlay.</i>	Not Applicable
<i>(d) Development protects a residential building or a part of a building constructed in 1946 or earlier where it forms a part of a character streetscape comprising residential dwellings constructed in 1946 or earlier nearby in the street within the Traditional building character overlay</i>	Complies. The proposal retains the pre-war dwelling on the corner of the site. The character streetscape of Holland Road is limited, within only one adjoining pre-war dwelling which has been subject to a partial demolition approval. The Contay Street streetscape is the primary frontage, street address, and features an unbroken line of six pre-war dwellings.
<i>(e) Development retains a residential building constructed in 1946 or earlier that reflects the traditional building character other than 'timber and tin' architecture</i>	Not Applicable
<i>(f) Development ensures that a dwelling house moved onto, or repositioned within a small lot is consistent with the requirements for houses on a small lot</i>	Complies. The relocated dwelling meets the acceptable outcomes of the Dwelling House (Small Lot) Code.
<i>(g) Development permits demolition or</i>	Not Applicable

<i>removal of post-1946 residential buildings or structurally unsound buildings</i>	
(h) <i>Development ensures that, in conjunction with the Traditional building character (design) overlay code, residential buildings constructed in 1946 or earlier in the Traditional building character overlay are retained and redevelopment complements the traditional building character of buildings constructed in 1946 or earlier</i>	Complies. No part of the pre-war dwelling will be removed. This is achieved by rotating the house. This is considered a preferable outcome requiring partial demolition, in the specific context and circumstances of this site.

For the above reasons the proposed performance outcome to A010(a) complies with PO10 of the Traditional Building Character (Demolition) Overlay Code.

6.9.2 A03.2 / PO3 Subdivision Code

A03.2 of the Subdivision Code states: *Development provides access to each lot in compliance with the standards in the Transport, access, parking and servicing planning scheme policy.*

The development proposes a crossover 9.1m from the intersection of Contay Street and Holland Road.

PO3 states: *Development provides roads, associated pavement and concrete kerb and channel to every road the development has frontage to and lot access, that is designed and constructed:*

- a. *in compliance with the road corridor design standards in the Infrastructure design planning scheme policy;*
- b. *for the type of vehicle, pedestrian and cyclist use appropriate to the site and intended use;*
- c. *to be safe for the vehicles, buses, pedestrians and cyclists expected to be accessing the lot;*
- d. *to maintain the safety and efficiency of the transport network for vehicles, buses, pedestrians and cyclists;*
- e. *at an adequate width, suitable gradient and appropriate construction standard;*
- f. *to avoid unreasonable detriment or nuisance to an adjacent premises;*
- g. *to preserve the amenity and function of the public realm in accommodating:*
 - i. *high levels of pedestrian traffic;*
 - ii. *large subtropical street trees;*
 - iii. *on-street parking.*

The shortfall in separation dimension to the intersection is considered less impactful because the crossover is on the eastern side of Contay Street, and therefore vehicles reversing out of the proposed carport will not conflict with traffic turning left from Holland Road (which are likely to be travelling at higher speed, and queuing in that direction could potentially impact on the higher order road). Over 50m sight distance to the north along Contay Street exists, and a speed limiting device is located approximately 25m to the north in Contay Street which will reduce the speed of approaching traffic. The intersection also features a median which increases separation for traffic entering Contay Street.

6.9.3 A02.1 / PO2 Streetscape Heirarchy Overlay Code

A02.1 of the Streetscape Heirarchy Overlay Code states: *Development ensures that existing street trees are retained and protected.*

It is proposed to remove one small street tree to facilitate location of the crossover for Proposed Lot 1.

PO2 states: *Development must construct verges including street tree planting, street furniture, paving, lighting and verge and kerb treatments that establish a high-quality subtropical streetscape with a strong pedestrian amenity focus.*



Image 13: Proposed Street Tree to be removed.

The tree is a small, immature, columnar tree. Replacement planting can be conditioned as part of any approval and will not compromise the subtropical streetscape outcome. The proposal complies with PO2 of the Streetscape Hierarchy Overlay Code.

7.0 RECOMMENDATION AND CONCLUSION

This town planning report, and attached supporting information, demonstrates that the proposed Reconfiguration of Lot (1 into 2) and Building Works (Relocation of Pre-War Dwelling in the TBC Overlay) is consistent with the Character Residential Zone (CR2) and the Traditional Building Character Overlay Code requirements.

The proposal is generally consistent with the expectations for development in the Infill Housing Precinct, community expectations, surrounding development approvals and the 'More Homes Sooner' policy intent. A response is provided to the Strategic Framework (Appendix C) and the relevant assessment benchmarks (Appendix D) of City Plan 2014.

The performance outcome associated with rotating the pre-war dwelling to front Contay Street is fully addressed in Section 6.9 of this report, as are two minor performance outcomes associated with street tree removal and intersection separation.

We request Council approve the proposed Development Permit for Reconfiguration of Lot and Building Works subject to relevant and reasonable conditions.