

DOOLANDELLA CHILDCARE

SITE ADDRESS : 66 Crossacres St, Doolandella, QLD 4077
SITE AREA : 4000.165 sqm
ZONING : Emerging Community
BUILDING USE : Class 9b



BCC DB
 RECEIVED
 21/05/2026
 APPLICATION REF
 A006931357

SHEET SIZE
A1

PRINT DATE
 11-MAY-2026

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REV NO.	DATE	DESCRIPTION
DA-2	24-JUN-2025	GENERAL AMENDMENTS
DA-3	15-JUL-2025	GENERAL AMENDMENTS
DA-4	31-JUL-2025	GENERAL AMENDMENTS
DA-6	13-NOV-2025	GENERAL AMENDMENTS
DA-8	11-MAY-2026	UPDATE ACOUSTIC BARRIERS

PROJECT NAME DOOLANDELLA CHILDCARE 66 Crossacres St, Doolandella, QLD 4077
CLIENT INFORMATION KIDS EARLY LEARNING CENTRE Building 8/107 Miles Platting Rd, Eight Mile Plains QLD 4113

SHEET NAME COVER SHEET	SCALE / A1
DRAWN BY HH	PROJECT NO. P25571
CHECKED BY IA	ISSUE DA-8
	PROJECT STATUS DA

SHEET NO. DA00-00

GENERAL NOTES

1. GENERAL USE & DOCUMENT CONTROL

- Do not scale from drawings. Use written dimensions only. Do not use data or measurements from on any digital CAD file/s.
- These drawings are issued solely for the specified client, site, and use. No responsibility is accepted by ISA for unauthorised use or reliance without written consent.
- These notes are not exhaustive. They do not replace relevant codes, regulations, or statutory requirements. If uncertain, contact the Building Designer or appropriate consultant before proceeding.
- Drawings must be read with all relevant consultant documents, including but not limited to:
 - Structural, Civil, Hydraulic, Mechanical, Electrical, Energy, Landscaping, and Access reports.

2. DRAWING REVISIONS & CONSULTANT COORDINATION

- Only documents signed and dated with a current revision listed in the revision register are valid for use.
- The Head Contractor/Builder and subcontractors must work from the latest issue of all documents.
- No claims will be accepted for works completed using outdated, unauthorised, or conflicting documentation.
- All discrepancies must be clarified in writing by the appropriate consultant before continuing with works.

3. SITE VERIFICATION & SURVEY

- The Head Contractor/Builder is responsible for verifying all dimensions, levels, setbacks, and setouts on site before commencing fabrication or works.
- A licensed land surveyor must undertake full setout. A title survey must be completed and submitted in DWG and PDF formats to the Building Designer before commencing site works.

4. COMPLIANCE WITH NCC 2022 & AUSTRALIAN STANDARDS

All works must comply with:

- NCC 2022 (Volumes 1–3);
- All applicable Australian Standards.

5. FIRE SAFETY & EGRESS

- Exit doors and doors in egress paths must comply with NCC Clause D3D24 – operable from inside, no key required, using a single-handed downward/push action between 900–1100mm above floor, unless otherwise required by a building certifier (eg. for child safety in early childhood centres).
- Emergency lighting and exit signage must comply with NCC Part E4.
- Fire hazard materials must comply with Specification 7 of NCC 2022.
- Fire hydrants and hose reels must comply with AS 2419.1:2021 and AS 2441:2005.
- Portable extinguishers: 2A–20B(E) dry chemical units must be installed at electrical switchboards per NCC Clause E1D14.
- Steel columns requiring FRL must be intumescent-painted to comply with NCC.
- Party walls must be constructed and sealed to comply with NCC fire separation clauses.
- All service risers must achieve NCC-required fire and acoustic ratings.

6. ACCESSIBILITY & INCLUSION

- Ensure compliance with NCC D4, AS 1428.1:2021, and AS/NZS 2890.1:2004 + 2890.6:2009.
- PWD amenities must follow AS 1428.1:2021 Clause 15.5.2 (floor falls).
- Accessible parking, stairs, ramps, amenities, doors and accessways must fully comply with relevant NCC & AS regulations and any other legislative requirements.

7. INTERNAL CONSTRUCTION & WALL SYSTEMS

- Wall types and insulation must meet NCC J1–J4 and project-specific energy reports.
- Where wall type is not shown, provide construction to match adjacent walls.
- Wet areas to be lined with water-resistant Cemintel Cemiseal or equivalent.
- Waterproofing to comply with AS 3740:2021 and NCC Specification 26.
- Junctions between wall types must maintain all fire, acoustic, and thermal ratings.
- All plasterboard walls to be IP5/Level 5 finish unless noted otherwise in writing.
- Wall tiles to align with floor tile joints where applicable (refer to elevations for full extents).
- All systems must be installed to manufacturer specifications and NCC & AS compliance.

8. GENERAL COMPLIANCE

- Finishes and fittings must avoid hazards and meet Department of Education safety standards (where applicable).
- Any non-compliant item must be rectified at the builder's cost without variation.
- All notes and details provided must be adhered to by the Head Contractor/Builder at all times.

9. ROOFING & CLADDING

- Roof sheeting over sarking and safety mesh (excl. awnings/translucent sheeting) must be fixed to manufacturer specs.
- Roof covering and wall cladding must comply with AS 1562.1:1992 and NCC Clause F3D2 and F3D5.

Provide flashings to ensure water tightness (Colorbond finish unless noted).

Penetrations must be flashed with soakers and upstands.

Provide bird wire and vermin protection to all openings and ventilation louvres.

COMPLIANCE NOTES

The Head Contractor/Builder is responsible for ensuring that all building works comply with the most current codes, standards, and regulations in effect at the time of construction. This includes, but is not limited to, the following:

- National Construction Code (NCC) – including all applicable sections of the Building Code of Australia (BCA) across all building classes;
- Australian/New Zealand Standards (AS/NZS) – as relevant to the scope of work;
- All applicable building regulations – local, state, and federal;
- Workplace Health and Safety (WHS) legislation and requirements;
- Local council by-laws and planning conditions;
- Planning permit requirements – including any endorsed plans and conditions of approval;
- Any other relevant construction codes, standards, or regulatory guidelines.

It is the responsibility of the builder to remain up to date with changes to applicable legislation and ensure that all construction practices, materials, and methods are in full compliance throughout the duration of the project.

9. ROOFING & CLADDING (CONTINUED)

- Final roof access safety systems to be in place prior to occupation.
- Install R0.2 thermal breaks between steel frame and cladding (NCC Clause J3D6).

10. GLAZING, DOORS & HARDWARE

- All glazing must comply with AS 1288:2021, AS 2047:2014, and NCC J4D6.
- All door/frame assemblies to comply with AS 2689:1983.
- Confirm all dimensions on site before ordering or fabrication.
- Hardware to be mounted at 950mm to centreline (or 1500mm above finished floor level in childcare facilities), excluding areas designated for people with disability (PWD) and zones not accessible to children.
- All external doors must be weather-sealed and painted appropriately.
- Glazed aluminium doors based on systems with threshold drains as required.
- Keying (master/grand master) must be coordinated with client, unless otherwise noted in writing.
- Confirm door stop locations per door prior to install.

11. STRUCTURAL, CIVIL & DRAINAGE WORKS

- All structural components must be constructed to engineer's specifications.
- Retaining walls, fences, shade structures to follow civil/structural documents.
- Stormwater must discharge to legal point of discharge.
- Tundishes and condensate lines to be vermin-proofed.
- Subterranean walls must be waterproofed and drained to engineer's spec and NCC F2D2.
- External levels, drainage pits, and falls per civil drawings.
- Carpark line marking and pedestrian routes per civil documents.
- Refer to roof plans and hydraulic drawings for downpipes, gutters, and sumps.

12. JOINERY, FIXTURES & FITTINGS

- All cabinetry must be modular and shop-drawn for approval by the Building Designer.
- Wall fixings must be framed before lining installation.
- Refer to Finishes & Fixtures Schedule for all internal and external finishes.
- Tile finishes in wet areas are additional to base wall type finishes (see elevations).
- Any timber used in Childcare cannot be CCA. Alternatives that can be used are LOSP or ACQ - Contractor to check compliance with legislation or regulations. Rework appropriately to protect the Designer and Client. Also, add this general note for all childcare projects - "CCA treated timber are not to be used in childcare centres. There are several timber treatments that form as alternatives to CCA that do not contain arsenic or chromium. These include, but are not limited to, LOSP (suitable only when timber is not in contact with the ground) and ACQ (suitable whether timber is in contact with the ground or not). Selection of the correct product should be made with consideration to how/where the product can be used, including but not limited to, the 'H' hazard class, NCC compliance and Department of Education regulations.

13. SITE CLEANLINESS & RESPONSIBILITIES

- Maintain a clean, hazard-free site throughout works.
- Provide bins and dispose of general waste regularly.
- Clean-up by all trades is mandatory.
- Head Contractor/Builder must make good all damage to surfaces.
- Site must be delivered clean and safe. All weatherproofing must be intact prior to handover.

CONDITIONS OF USE

These drawings form part of a formal agreement between ISA and the Client/Principal. Use of this documentation confirms acceptance of all terms herein and within the signed agreement, including all related disclaimers and obligations. No construction or fabrication may proceed until all relevant approvals are obtained and written authorisation or certification is issued by ISA. ISA is a QBCC registered building design practice and does not provide architectural services as defined under the Architects Act 2002 (QLD). Reliance on these documents requires certification by a registered building certifier and town planner confirming full regulatory and planning compliance. All users jointly and severally indemnify and release ISA against any claims, costs, damages, or liabilities arising from unauthorised use, non-compliance, errors, or misinterpretation. If any discrepancy, ambiguity, or error is identified, work must cease immediately and written clarification must be obtained from ISA before proceeding. Use is strictly conditional on acceptance of these terms.

APPLICABLE CODES

CLASS 1

ACCESS & MOBILITY

- AS 4299:1995 – Adaptable housing (*referenced in Livable Housing Design Guidelines, not NCC directly*)

ACOUSTIC

(*NCC Volume 2 references performance-based criteria, not ISO standards directly. These are typically used in assessments.*)

- AS/NZS ISO 717.1:2004
- AS/NZS ISO 717.2:2004

DEMOLITION & STRUCTURAL

- AS 1684.2 – Timber-framed construction – Non-cyclonic areas
- AS 1684.3 – Timber-framed construction – Cyclonic areas

DOORS, GLAZING & CLADDING

- AS 1288:2021 – Glass in buildings
- AS 2047:2014 – Windows, external glazed doors
- AS 2689:1983 – Installation of door sets
- AS 1562.1:1992 – Metal roof and wall cladding

ENERGY EFFICIENCY

- AS/NZS 4859.1:2018 – Thermal insulation

FIRE SAFETY

- AS 3959:2018 – Bushfire-prone areas
- AS 3786:2014 – Smoke alarms

PARKING

- AS/NZS 2890.1:2004 – Off-street car parking
- AS/NZS 2890.6:2009 – Accessible parking

PLUMBING & DRAINAGE

- AS/NZS 3500.0 – Glossary of terms
- AS/NZS 3500.1 – Water services
- AS/NZS 3500.2 – Sanitary plumbing and drainage
- AS/NZS 3500.3 – Stormwater drainage
- AS/NZS 3500.4 – Heated water services

SERVICES & INSTALLATIONS

- AS 3660.1:2014 – Termite management
- AS 3958.1:2007 – Ceramic tiles – Installation guide

STRUCTURAL DESIGN ACTIONS

- AS/NZS 1170.0
- AS/NZS 1170.1
- AS/NZS 1170.2
- AS/NZS 1170.4

WATERPROOFING

- AS 3740:2021 – Wet area waterproofing

CLASS 2–9

ACCESS & MOBILITY

- AS 1428.1:2021 – Access and mobility (mandatory)
- AS 1428.4.1:2009 – Tactile indicators
- AS 4299:1995 – Adaptable housing (*sometimes referenced in Class 2*)

CLASS 2–9 (CONTINUED)

ACOUSTIC

- AS/NZS ISO 717.1:2004 – Airborne sound insulation
- AS/NZS ISO 717.2:2004 – Impact sound insulation

DEMOLITION & STRUCTURAL

- AS 2601:2001 – Demolition
- AS 3700:2018 – Masonry structures
- AS 3600:2018 – Concrete structures
- AS 4100:2020 – Steel structures
- AS 1720.1:2010 – Timber structures – Design

DOORS, GLAZING & CLADDING

- AS 1288:2021 – Glazing
- AS 2047:2014 – Windows
- AS 1562.1:1992 – Cladding
- AS 3958.1:2007 – Ceramic tiles

ENERGY EFFICIENCY

- AS/NZS 4859.1:2018 – Thermal insulation (*used in JV3 and DTS pathway*)

FIRE SAFETY

- AS 1530.1 – Combustibility
- AS 1530.2 – Flammability
- AS 1530.4 – Fire resistance
- AS 2419.1:2021 – Fire hydrants
- AS 2441:2005 – Hose reels
- AS 2293.1:2018 – Emergency lighting
- AS 3786:2014 – Smoke alarms (*some Class 2 dwellings*)

LIFTS & VERTICAL TRANSPORT

- AS 1735.1 – General
- AS 1735.12 – Access for persons with disabilities

PARKING

- AS/NZS 2890.1:2004 – Off-street car parking
- AS/NZS 2890.6:2009 – Accessible parking

PLUMBING & DRAINAGE

- AS/NZS 3500.0 – Glossary
- AS/NZS 3500.1 – Water services
- AS/NZS 3500.2 – Sanitary drainage
- AS/NZS 3500.3 – Stormwater
- AS/NZS 3500.4 – Heated water

SERVICES & INSTALLATIONS

- AS 5601.1:2022 – Gas installations
- AS 3660.1:2014 – Termite protection
- AS 3958.1:2007 – Tiling
- AS 3786:2014 – Smoke alarms

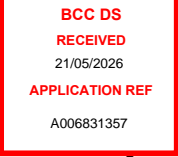
STRUCTURAL DESIGN ACTIONS

- AS/NZS 1170.0 – General principles
- AS/NZS 1170.1 – Dead/live loads
- AS/NZS 1170.2 – Wind actions
- AS/NZS 1170.4 – Earthquake actions

EXTERNAL & SITE ELEMENTS

- AS/NZS 1158 – Lighting for roads and public spaces

SHEET SIZE	DOCUMENT DISCLAIMER	REV NO.	DATE	DESCRIPTION	PROJECT NAME	SHEET NAME	SCALE		
A1	<p>ISA™ acknowledges the Traditional Custodians of Country throughout Australia and their continuing connection to land, waters, and community. We pay our respects to Elders past and present and extend that respect to all First Nations Peoples. All works must comply with the current National Construction Code (including the BCA and NCA) relevant Australian Standards, Local Authority legislation, executed contract documents, technical specifications, consultant documentation, and any other applicable regulations in force at the time of construction. These drawings are to be read in conjunction with all current consultant documentation, authority approvals, authority conditions, and written instructions issued during the course of the works. No construction is to commence until all relevant development and building approvals have been obtained, and a formal written instruction or design certification to proceed has been issued by ISA™. It is the sole responsibility of the Head Contractor to ensure only the most current version of each document is used, as indicated in the relevant Document Transmittal Register. Access to these documents does not constitute permission to begin construction or fabrication. Prior to relying on any documentation or advice provided by ISA™, it is the Client's responsibility to ensure all documentation have been independently reviewed and certified in writing by a registered and suitably qualified building certifier to confirm compliance with applicable building codes and regulations. By using any documentation, drawings, or advice provided by ISA™ in any form, the Client, Consultant's, and Contractor jointly and severally agree to indemnify and release ISA™ from all risks, liabilities, damages, costs, claims, and responsibilities, including those arising from non-compliance, construction errors, unauthorised use, or misrepresentation. All intellectual property, copyright, and moral rights associated with these documents remain the exclusive property of ISA™, unless a written licence has been granted, at outstanding fees have been paid and all contractual obligations have been fulfilled. Should any discrepancy, ambiguity, or error be discovered, all related work must cease immediately. The contractor must seek written clarification or direction from ISA™ before proceeding. Unauthorised use is strictly prohibited. Use of these documents is strictly conditional on acceptance of all terms outlined above.</p>	DA-2	24-JUN-2025	GENERAL AMENDMENTS	DOOLANDELLA CHILDCARE	GENERAL INFORMATION			
		DA-3	15-JUL-2025	GENERAL AMENDMENTS		66 Crosssacres St, Doolandella, QLD 4077	DRAWN BY	PROJECT NO.	ISSUE
		DA-4	31-JUL-2025	GENERAL AMENDMENTS	CLIENT INFORMATION	HH	P25571	DA-8	SHEET NO.
		DA-6	13-NOV-2025	GENERAL AMENDMENTS	KIDS EARLY LEARNING CENTRE	CHECKED BY	PROJECT STATUS	DA	
DA-8	11-MAY-2026	UPDATE ACOUSTIC BARRIERS	Building 8/107 Miles Platting Rd, Eight Mile Plains QLD 4113	IA	DA				



Imran Ali | BOAQ Reg. #6428
Huiqi Huo | BOAQ Reg. #5993

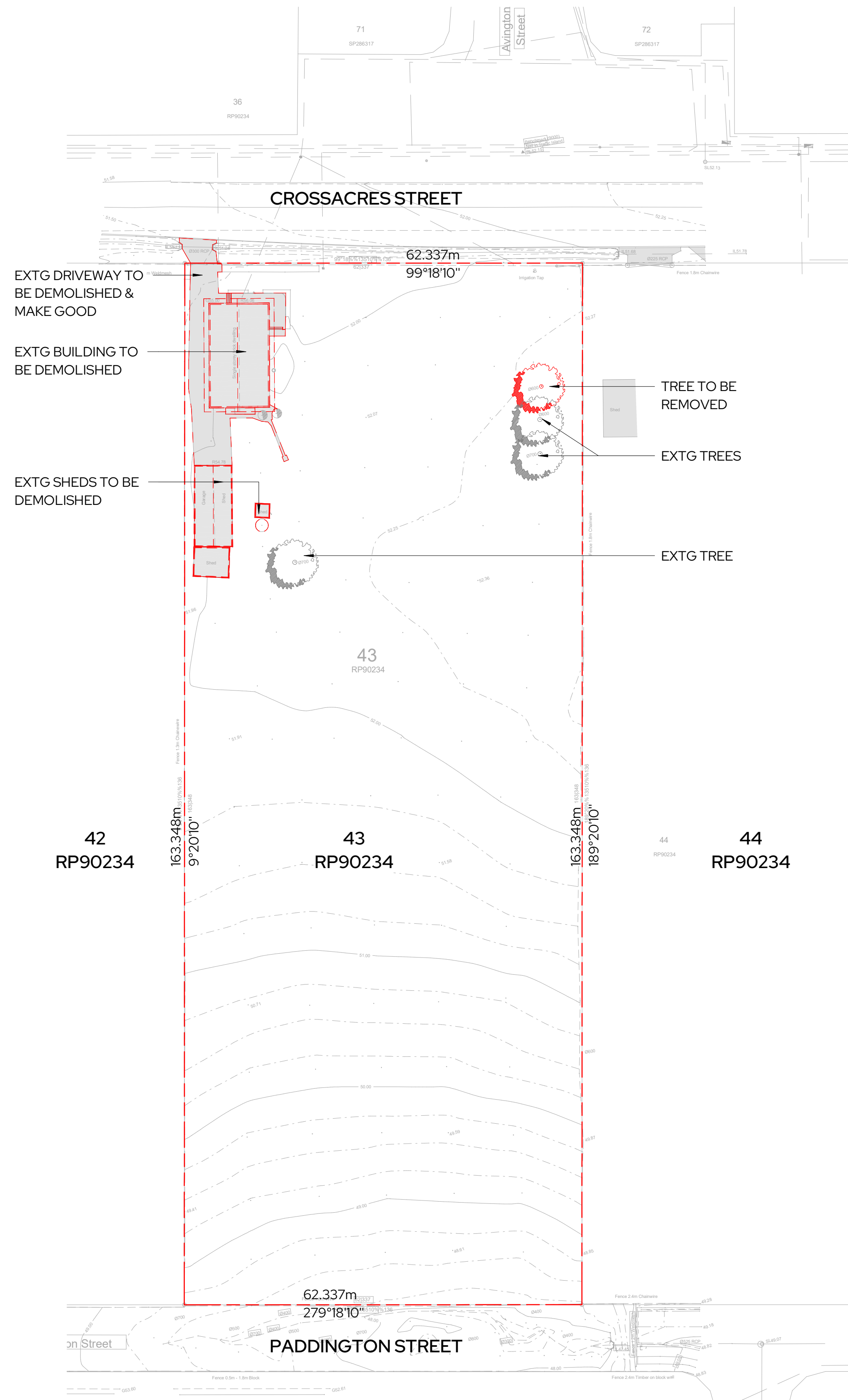
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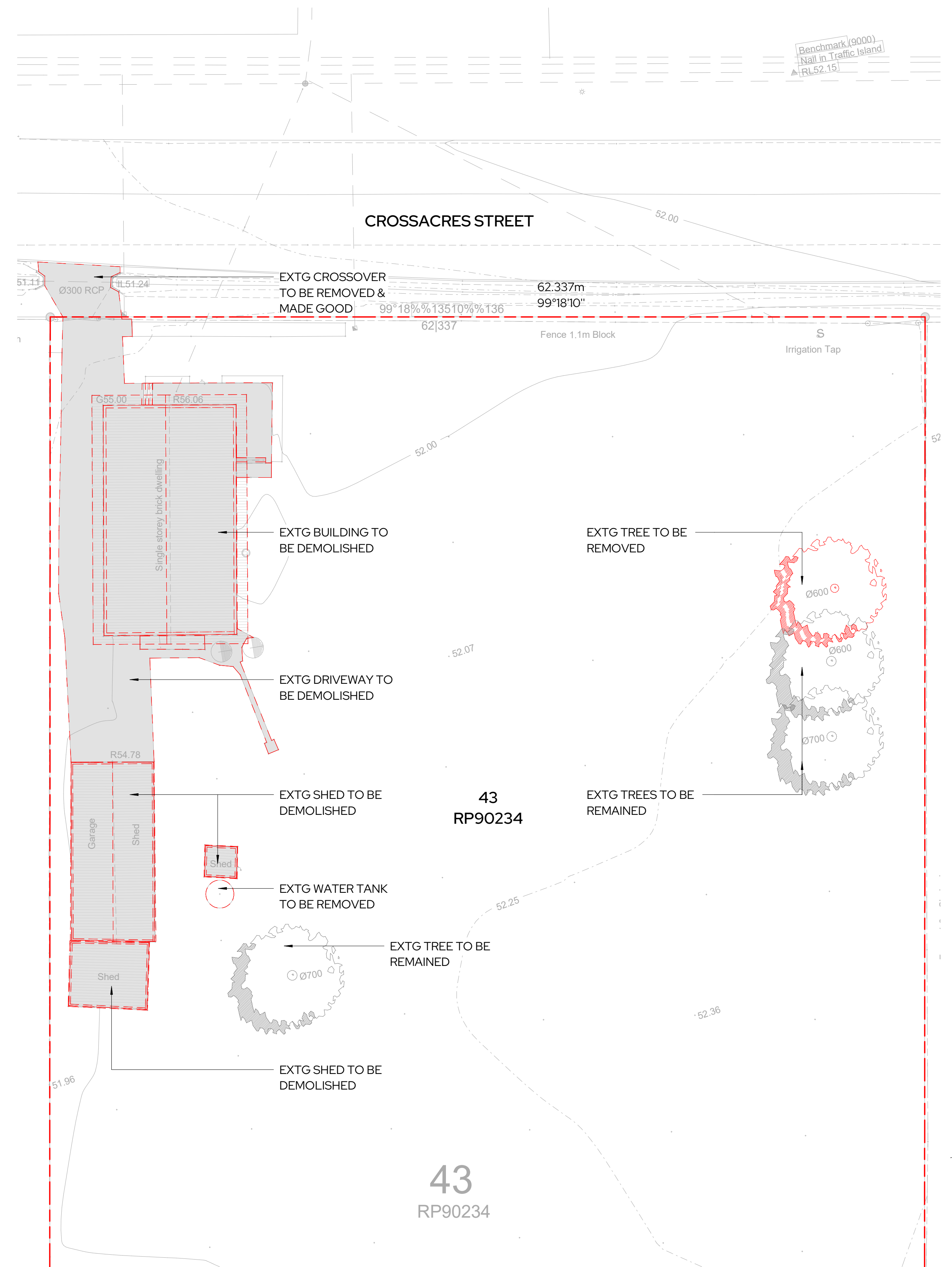
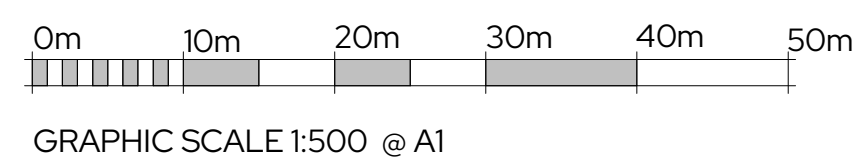


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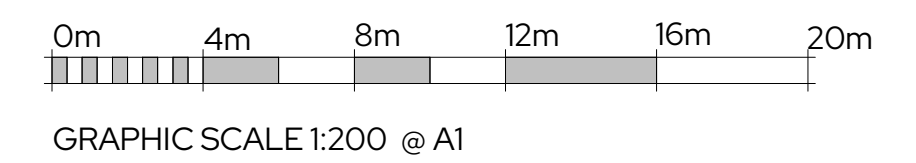
 TO BE DEMOLISHED/
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1 SITE PLAN - OVERALL EXISTING/ DEMO
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2 SITE PLAN - EXISTING/ DEMO
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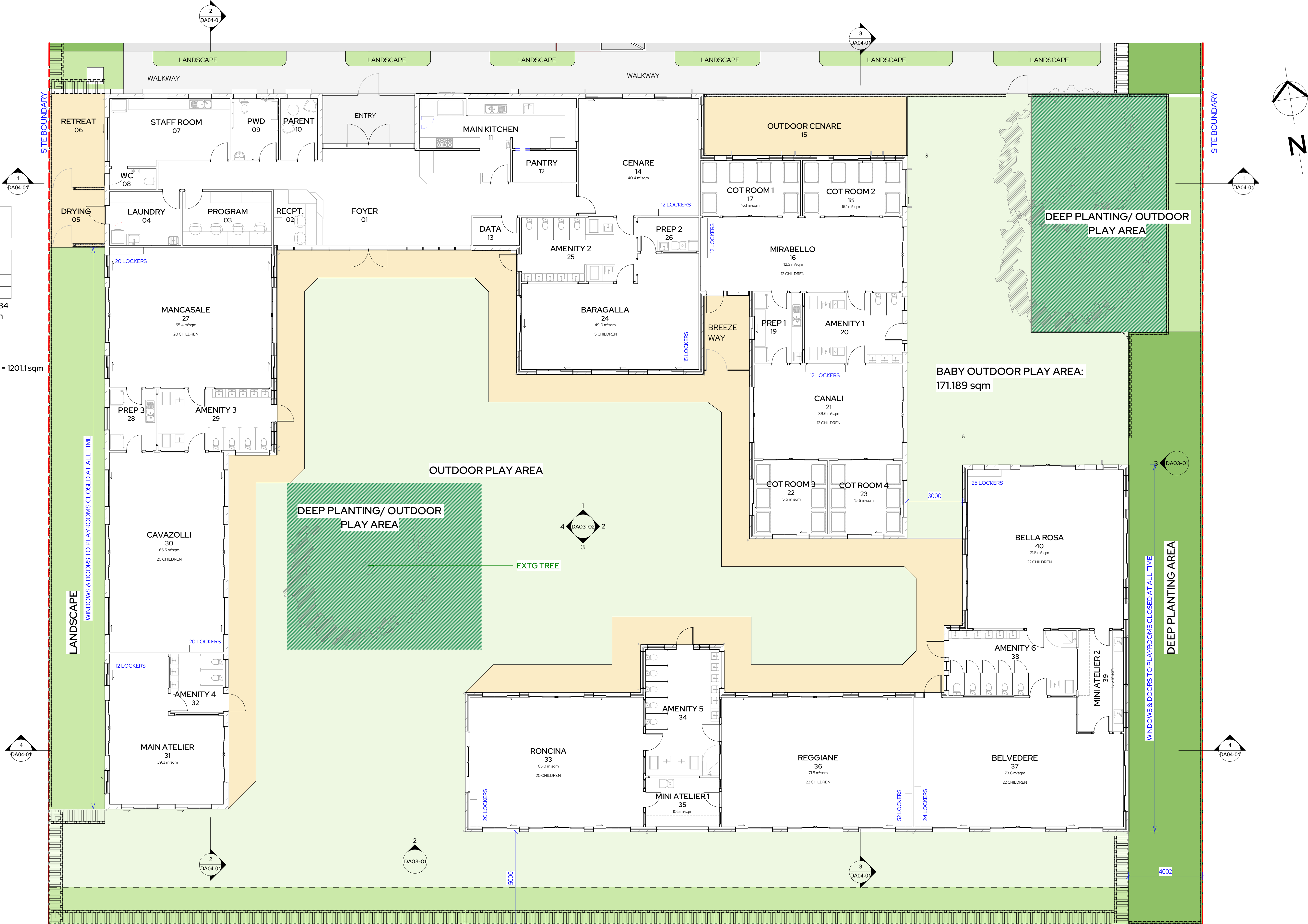
SHEET SIZE A1		Imran Ali BOAQ Reg. #6428 Huiqi Huo BOAQ Reg. #5993 (07) 3096 0472 admin@isacollective.com.au www.isacollective.com.au Architecture & Construction Design to Inspire, Built to Last	<p>DOCUMENT DISCLAIMER</p> <p>ISA™ acknowledges the Traditional Custodians of Country throughout Australia and their continuing connection to land, waters, and community. We pay our respects to Elders past and present and extend that respect to all First Nations Peoples. All works must comply with the current National Construction Code (including the BCA and NCC) relevant Australian Standards, Local Authority legislation, executed contract documents, technical specifications, consultant documentation, and any other applicable regulations in force at the time of construction. These drawings are to be read in conjunction with all current consultant documentation, authority approvals, authority conditions, and written instructions issued during the course of the works. No construction is to commence until all relevant development and building approvals have been obtained, and a formal written instruction or design certification to proceed has been issued by ISA™. It is the sole responsibility of the head contractor to ensure only the most current version of each document is used, as indicated in the relevant Document Transmittal Register. Access to these documents does not constitute permission to begin construction or fabrication. Prior to relying on any documentation or advice provided by ISA™, it is the Client's responsibility to ensure all documentation has been independently reviewed and certified in writing by a registered and suitably qualified building certifier to confirm compliance with applicable building codes and regulations. By using any documentation, drawings, or advice provided by ISA™ in any form, the Client, Consultant's, and Contractor jointly and severally agree to indemnify and release ISA™ from all risks, liabilities, damages, costs, claims, and responsibilities, including those arising from non-compliance, construction errors, unauthorised use, or misrepresentation. All intellectual property, copyright, and moral rights associated with these documents remain the exclusive property of ISA™, unless a written licence has been granted, at outstanding fees have been paid and all contractual obligations have been fulfilled. Should any discrepancy, ambiguity, or error be discovered, all related work must cease immediately. The contractor must seek written clarification or direction from ISA™ before proceeding. Unauthorised use is strictly prohibited. Use of these documents is strictly conditional on acceptance of all terms outlined above.</p>	REV NO. DATE DESCRIPTION DA-2 24-JUN-2025 GENERAL AMENDMENTS DA-3 15-JUL-2025 GENERAL AMENDMENTS DA-4 31-JUL-2025 GENERAL AMENDMENTS DA-6 13-NOV-2025 GENERAL AMENDMENTS DA-8 11-MAY-2026 UPDATE ACOUSTIC BARRIERS	PROJECT NAME DOOLANDELLA CHILDCARE 66 Crossacres St, Doolandella, QLD 4077 CLIENT INFORMATION KIDS EARLY LEARNING CENTRE Building 8/107 Miles Platting Rd, Eight Mile Plains QLD 4113	SHEET NAME EXTG SITE PLANS DRAWN BY: HH PROJECT NO.: P25571 ISSUE: DA-8 CHECKED BY: IA PROJECT STATUS: DA	SCALE As indicated / A1 SHEET NO. DA01-01
				PRINT DATE 11-MAY-2026			

LEGEND:

- DRIVEWAY/ CARPARK
- WALKWAY
- PAVED AREA
- OUTDOOR PLAY AREA
- LANDSCAPE
- DEEP PLANTING

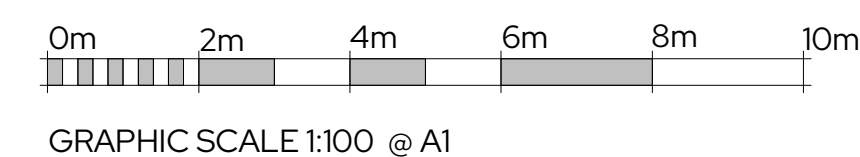
AREA SCHEDULE	
NAME	AREA
BUILDING 1 GFA	876.9 m ²
BUILDING 2 GFA	395.4 m ²
OUTDOOR PLAY 1	922.5 m ²
OUTDOOR PLAY 2	278.6 m ²

- RP DESCRIPTION: LOT 43 ON RP90234
- CHILDCARE SITE AREA: 4124.839 sqm
- CAPACITY: 165 PLACES
- GFA: 764.3 + 395.3 = 1159.6 sqm
- SITE COVERAGE: 28.99%
- INDOOR PLAY AREA: 541.8 sqm
- OUTDOOR PLAY AREA : 922.5+278.6 = 1201.1sqm



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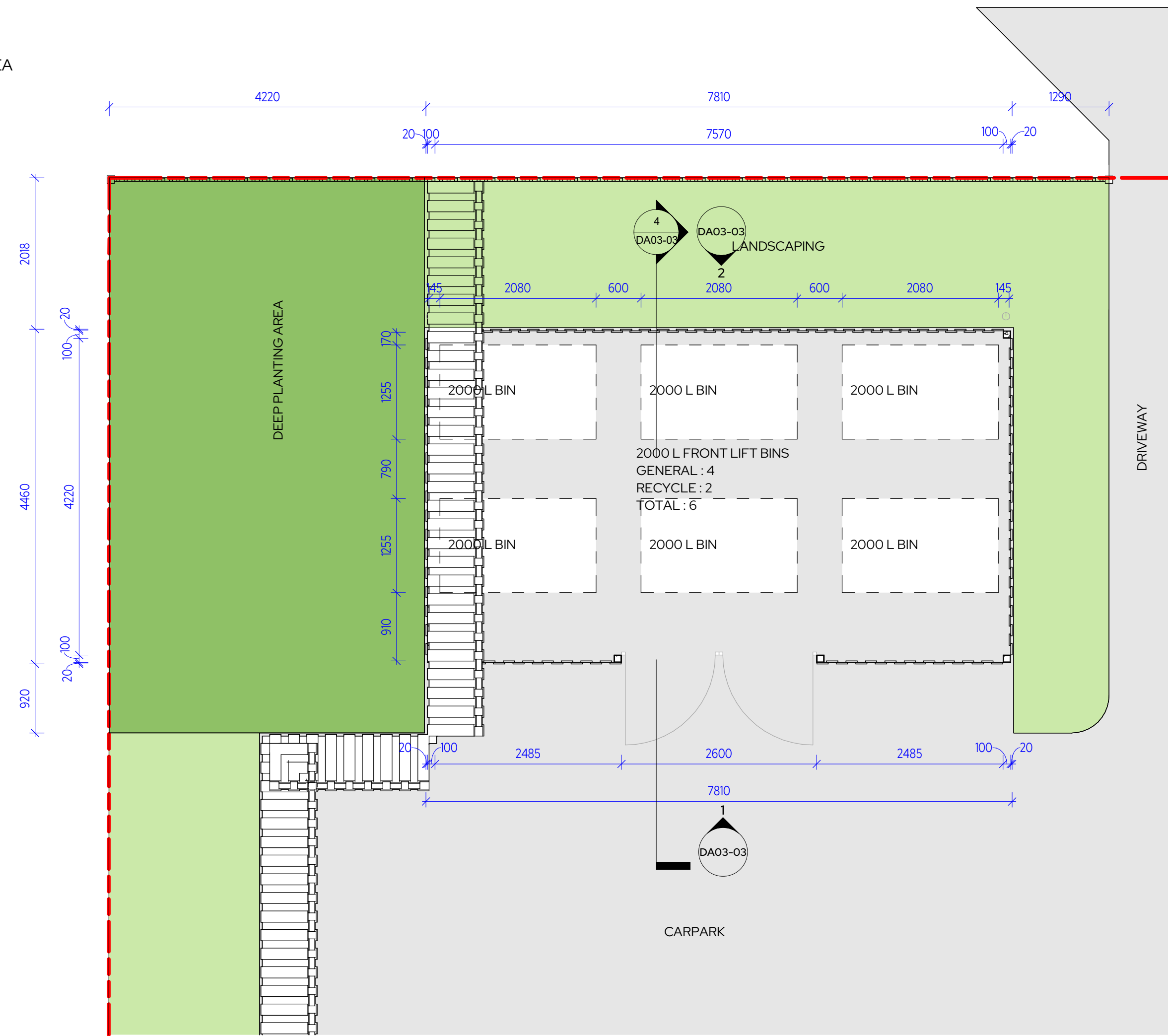
1 PROPOSED GROUND FLOOR PLAN
1:100



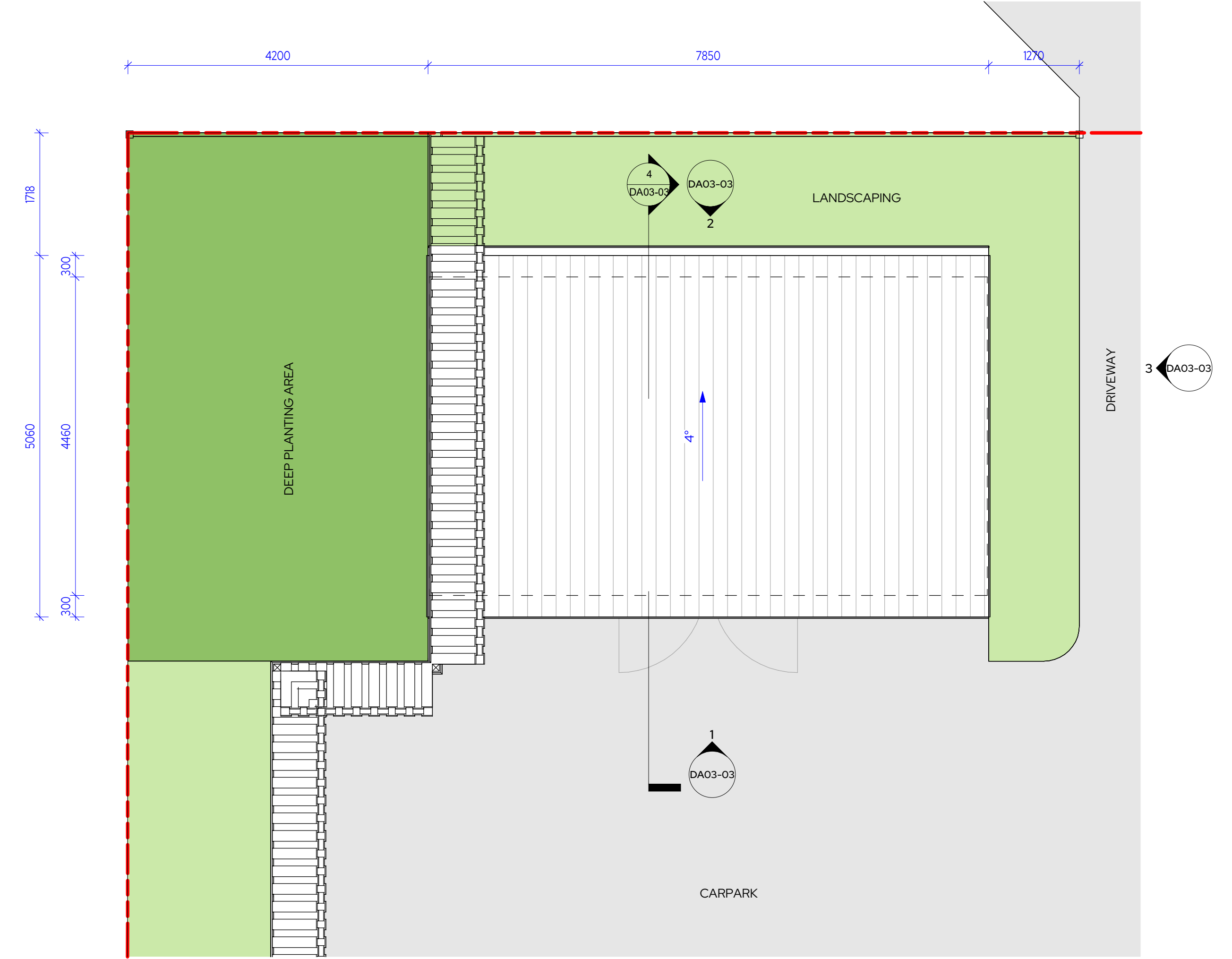
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DA-8	11-MAY-2026	UPDATE ACOUSTIC BARRIERS																							
PRINT DATE 11-MAY-2026																									

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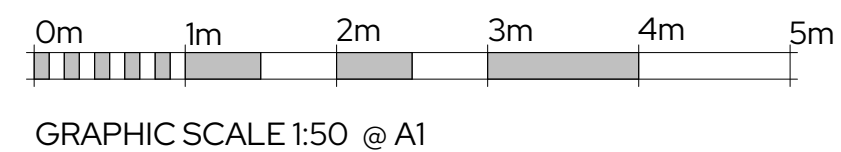
- DRIVEWAY/ CARPARK
- WALKWAY
- PAVED AREA
- OUTDOOR PLAY AREA
- LANDSCAPE
- DEEP PLANTING



1 PROPOSED BIN ENCLOSURE FLOOR PLAN
1:50



2 PROPOSED BIN ENCLOSURE ROOF PLAN
1:50



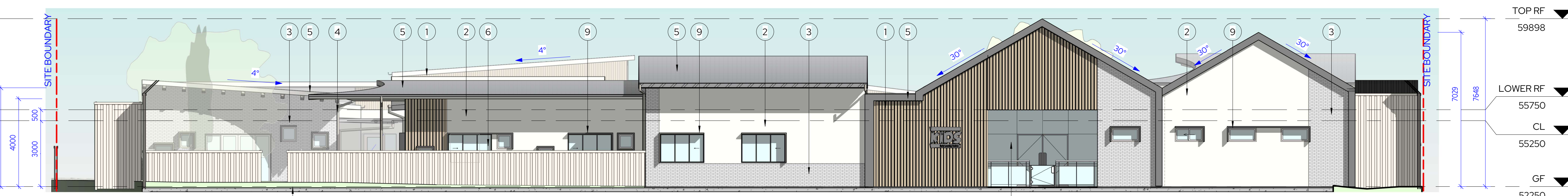
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<p>SHEET SIZE A1</p> <p>PRINT DATE 11-MAY-2026</p>	<p>ISA™ Member Australian Institute of Architects</p> <p>Imran Ali BOAQ Reg. #6428 Huiqi Huo BOAQ Reg. #5993</p> <p>(07) 3096 0472 admin@isacollective.com.au www.isacollective.com.au Architecture & Construction Design to Inspire, Built to Last</p>	<p>DOCUMENT DISCLAIMER</p> <p><small>ISA™ acknowledges the Traditional Custodians of Country throughout Australia and their continuing connection to land, waters, and community. We pay our respects to Elders past and present and extend that respect to all First Nations Peoples. All works must comply with the current National Construction Code (including the BCA and PCA) relevant Australian Standards, Local Authority legislation, executed contract documents, technical specifications, consultant documentation, and any other applicable regulations in force at the time of construction. These drawings are to be read in conjunction with all current consultant documentation, authority approvals, authority conditions, and written instructions issued during the course of the works. No construction is to commence until all relevant development and building approvals have been obtained, and a formal written instruction or design certification to proceed has been issued by ISA™. It is the sole responsibility of the head contractor to ensure only the most current version of each document is used, as indicated in the relevant Document Transmittal Register. Access to these documents does not constitute permission to begin construction or fabrication. Prior to relying on any documentation or advice provided by ISA™, it is the Client's responsibility to ensure all documentation have been independently reviewed and certified in writing by a registered and suitably qualified building certifier to confirm compliance with applicable building codes and regulations. By using any documentation, drawings, or advice provided by ISA™ in any form, the Client, Consultant's, and Contractor jointly and severally agree to indemnify and release ISA™ from all risks, liabilities, damages, costs, claims, and responsibilities, including those arising from non-compliance, construction errors, unauthorised use, or misrepresentation. All intellectual property, copyright, and moral rights associated with these documents remain the exclusive property of ISA™, unless a written licence has been granted, at outstanding fees have been paid and all contractual obligations have been fulfilled. Should any discrepancy, ambiguity, or error be discovered, all related work must cease immediately. The contractor must seek written clarification or direction from ISA™ before proceeding. Unauthorised use is strictly prohibited. Use of these documents is strictly conditional on acceptance of all terms outlined above.</small></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>DA-6</td> <td>13-NOV-2025</td> <td>GENERAL AMENDMENTS</td> </tr> <tr> <td>DA-8</td> <td>11-MAY-2026</td> <td>UPDATE ACOUSTIC BARRIERS</td> </tr> </tbody> </table>	REV NO.	DATE	DESCRIPTION	DA-6	13-NOV-2025	GENERAL AMENDMENTS	DA-8	11-MAY-2026	UPDATE ACOUSTIC BARRIERS	<p>PROJECT NAME DOOLANDELLA CHILDCARE 66 Crossacres St, Doolandella, QLD 4077</p> <p>CLIENT INFORMATION KIDS EARLY LEARNING CENTRE Building 8/107 Miles Platting Rd, Eight Mile Plains QLD 4113</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="3">SHEET NAME BIN ENCLOSURE PLANS</th> </tr> </thead> <tbody> <tr> <td>DRAWN BY HH</td> <td>PROJECT NO. P25571</td> <td>ISSUE DA-8</td> </tr> <tr> <td>CHECKED BY IA</td> <td colspan="2">PROJECT STATUS DA</td> </tr> </tbody> </table>	SHEET NAME BIN ENCLOSURE PLANS			DRAWN BY HH	PROJECT NO. P25571	ISSUE DA-8	CHECKED BY IA	PROJECT STATUS DA		<p>SCALE As indicated / A1</p> <p>SHEET NO. DA02-03</p>
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SHEET NAME BIN ENCLOSURE PLANS																								
DRAWN BY HH	PROJECT NO. P25571	ISSUE DA-8																						
CHECKED BY IA	PROJECT STATUS DA																							

MATERIALS SCHEDULE

- 1 Aluminium Click-on Batten
- 2 Brick veneer rendered & painted
- 3 Brick veneer
- 4 Powdercoated Steel columns & Beams
- 5 Powdercoated Metal Roof Sheetting, Gutter, Roof Fascia
- 6 Clear glass windows & glazing doors
- 7 Clear glass curtain wall
- 8 Polycarbonate corrugated roof sheet
- 9 Window Hood

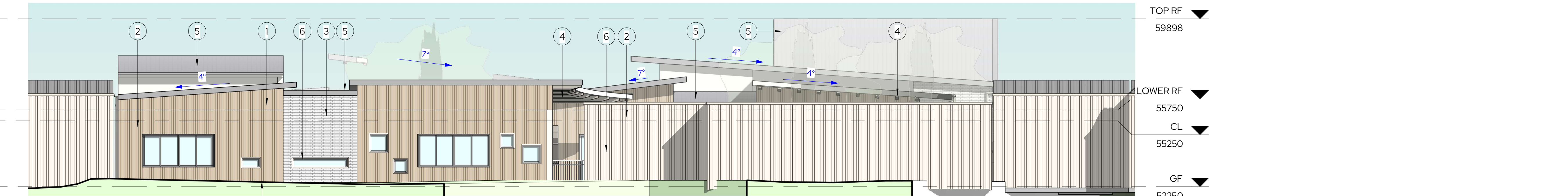
NOTE: ALL WINDOW, WINDOW FRAMES, DOOR, DOOR FRAMES & ROLLER DOORS WHETHER PAINTED OR POWDER COATED ARE TO BE COORDINATED FINISH UNLESS OTHERWISE SPECIFIED. ALL FENCING TO BE SURFMIST COLOUR (OR SIMILAR) UNLESS OTHERWISE SPECIFIED.



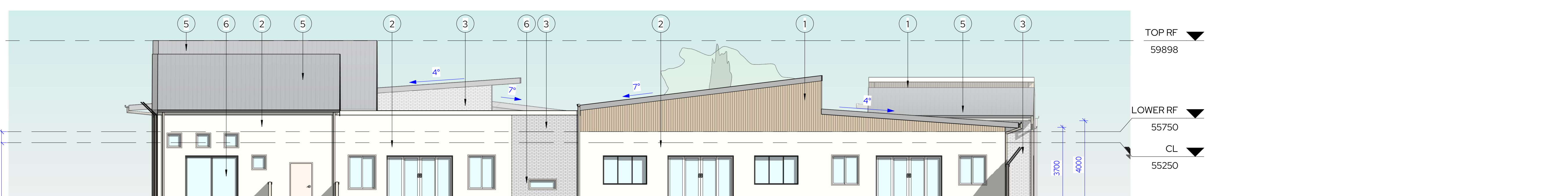
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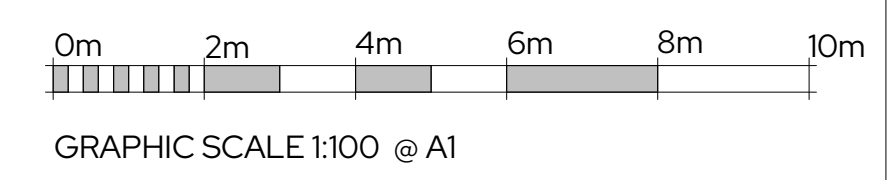
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1:100



3 EAST ELEVATION
1:100



4 WEST ELEVATION
1:100



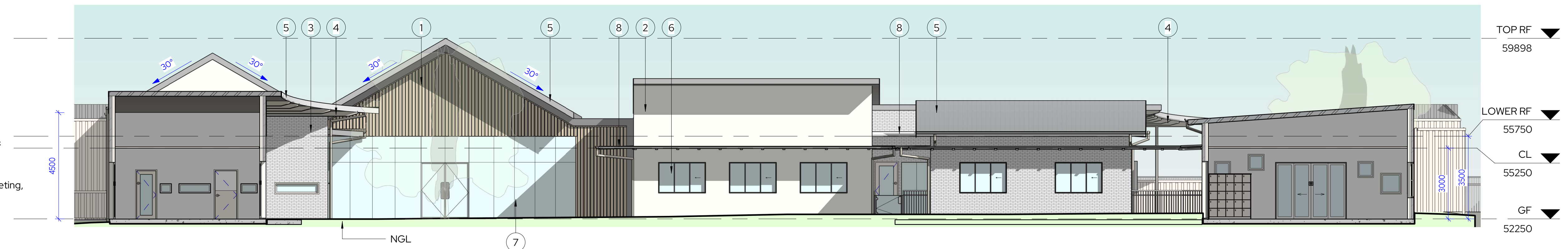
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SHEET SIZE A1		Imran Ali BOAQ Reg. #6428 Huiqi Huo BOAQ Reg. #5993 (07) 3096 0472 admin@isacollective.com.au www.isacollective.com.au Architecture & Construction Design to Inspire, Built to Last	DOCUMENT DISCLAIMER				REV NO.	DATE	DESCRIPTION	PROJECT NAME	SHEET NAME	SCALE
			DA-2	24-JUN-2025	GENERAL AMENDMENTS	DOOLANDELLA CHILDCARE	ELEVATIONS	1:100 / A1				
PRINT DATE 11-MAY-2026			ISA acknowledges the Traditional Custodians of Country throughout Australia and their continuing connection to land, waters, and community. We pay our respects to Elders past and present and extend that respect to all First Nations Peoples. All works must comply with the current National Construction Code (including the BCA and TCA) relevant Australian Standards, Local Authority legislation, executed contract documents, technical specifications, consultant documentation, and any other applicable regulations in force at the time of construction. These drawings are to be read in conjunction with all current consultant documentation, authority approvals, authority conditions, and written instructions issued during the course of the works. No construction is to commence until all relevant development and building approvals have been obtained, and a formal written instruction or design certification to proceed has been issued by ISA. It is the sole responsibility of the head Contractor to ensure only the most current version of each document is used, as indicated in the relevant Document Transmittal Register. Access to these documents does not constitute permission to begin construction or fabrication. Prior to relying on any documentation or advice provided by ISA, it is the Client's responsibility to ensure all documentation have been independently reviewed and certified in writing by a registered and suitably qualified building certifier to confirm compliance with applicable building codes and regulations. By using any documentation, drawings, or advice provided by ISA in any form, the Client, Consultant's, and Contractor jointly and severally agree to indemnify and release ISA from all risks, liabilities, damages, costs, claims, and responsibilities, including those arising from non-compliance, construction errors, unauthorised use, or misrepresentation. All intellectual property, copyright, and moral rights associated with these documents remain the exclusive property of ISA unless a written licence has been granted, all outstanding fees have been paid and all contractual obligations have been fulfilled. Should any discrepancy, ambiguity, or error be discovered, all related work must cease immediately. The contractor must seek written clarification or direction from ISA before proceeding. Unauthorised use is strictly prohibited. Use of these documents is strictly conditional on acceptance of all terms outlined above.				DA-3	15-JUL-2025	GENERAL AMENDMENTS	66 Crossacres St, Doolandella, QLD 4077	PROJECT NO.	ISSUE
			DA-4	31-JUL-2025	GENERAL AMENDMENTS	CLIENT INFORMATION						
			DA-6	13-NOV-2025	GENERAL AMENDMENTS	KIDS EARLY LEARNING CENTRE						
			DA-8	11-MAY-2026	UPDATE ACOUSTIC BARRIERS	Building 8/107 Miles Platting Rd, Eight Mile Plains QLD 4113	PROJECT STATUS					

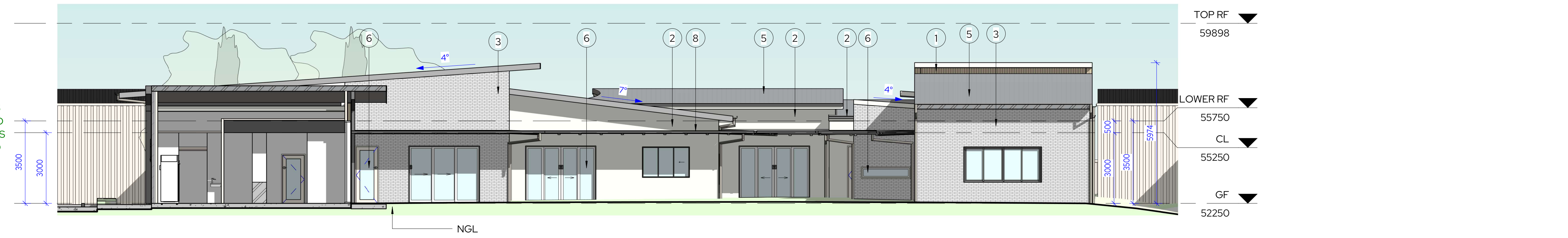
MATERIALS SCHEDULE

- 1 Aluminium Click-on Batten
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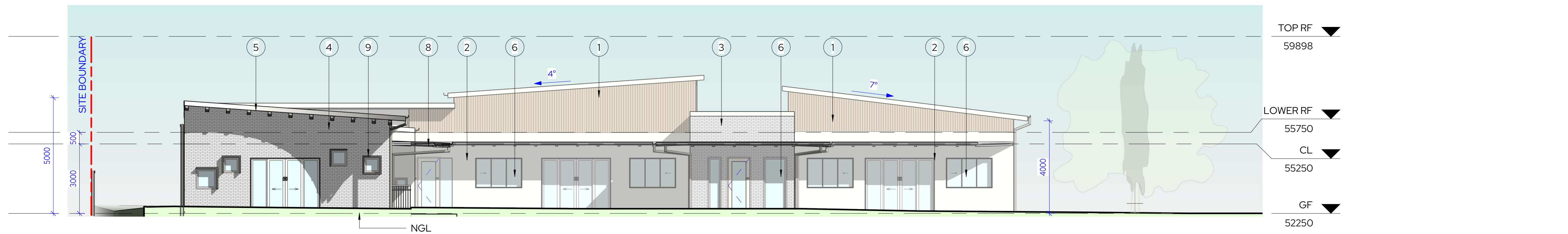
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1 COURTYARD ELEVATION 1
1:100



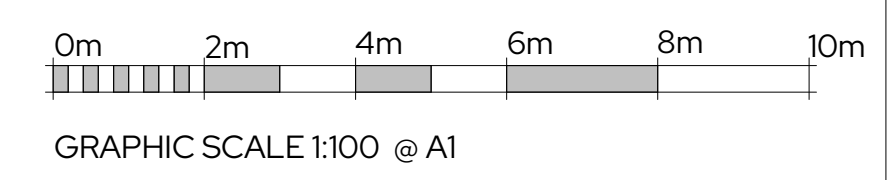
2 COURTYARD ELEVATION 2
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3 COURTYARD ELEVATION 3
1:100



4 COURTYARD ELEVATION 4
1:100

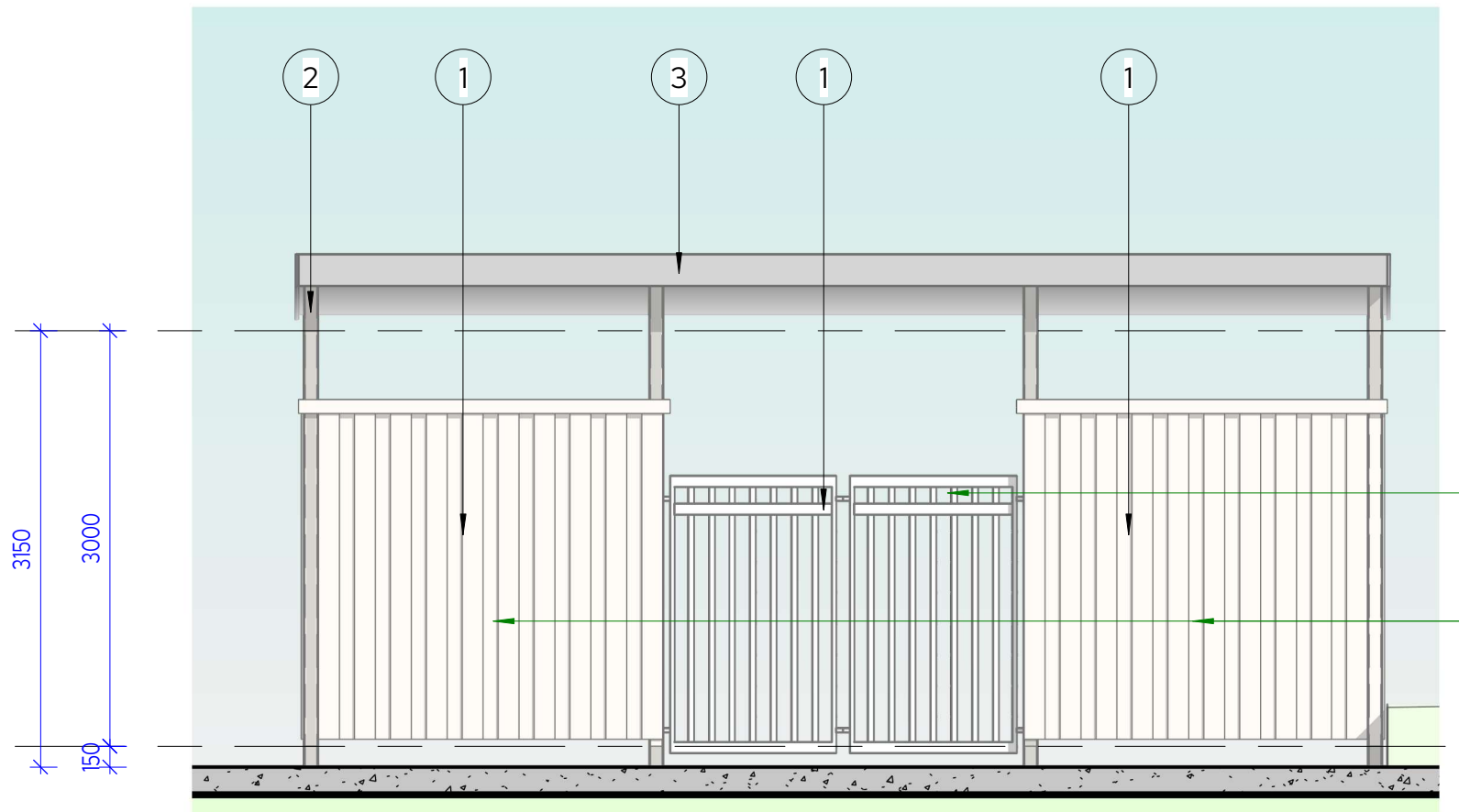


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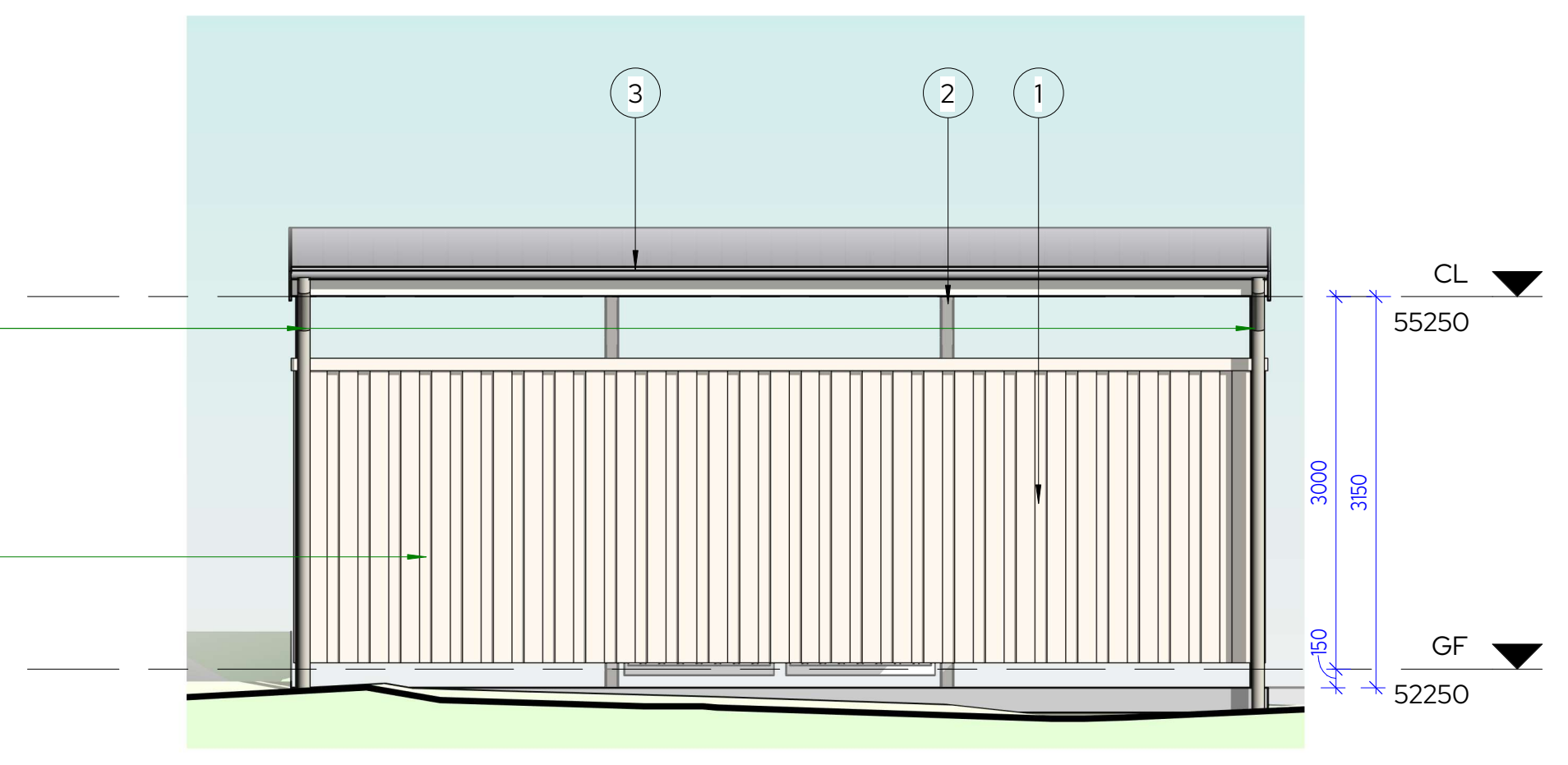
SHEET SIZE A1	<p>Imran Ali BOAQ Reg. #6428 Huiqi Huo BOAQ Reg. #5993</p> <p>(07) 3096 0472 admin@isacollective.com.au www.isacollective.com.au Architecture & Construction Design to Inspire, Built to Last</p>	<p>DOCUMENT DISCLAIMER</p> <p>ISA acknowledges the Traditional Custodians of Country throughout Australia and their continuing connection to land, waters, and community. We pay our respects to Elders past and present and extend that respect to all First Nations Peoples. All works must comply with the current National Construction Code (including the BCA and TGA) relevant Australian Standards, Local Authority legislation, awarded contract documents, technical specifications, consultant documentation, and any other applicable regulations in force at the time of construction. These drawings are to be read in conjunction with all current consultant documentation, authority approvals, authority conditions, and written instructions issued during the course of the works. No construction is to commence until all relevant development and building approvals have been obtained, and a formal written instruction or design certification to proceed has been issued by ISA. It is the sole responsibility of the head Contractor to ensure only the most current version of each document is used, as indicated in the relevant Document Transmittal Register. Access to these documents does not constitute permission to begin construction or fabrication. Prior to relying on any documentation or advice provided by ISA, it is the Client's responsibility to ensure all documentation have been independently reviewed and certified in writing by a registered and suitably qualified building certifier to confirm compliance with applicable building codes and regulations. By using any documentation, drawings, or advice provided by ISA in any form, the Client, Consultant's, and Contractor jointly and severally agree to indemnify and release ISA from all risks, liabilities, damages, costs, claims, and responsibilities, including those arising from non-compliance, construction errors, unauthorised use, or misrepresentation. All intellectual property, copyright, and moral rights associated with these documents remain the exclusive property of ISA unless a written licence has been granted, all outstanding fees have been paid and all contractual obligations have been fulfilled. Should any discrepancy, ambiguity, or error be discovered, all related work must cease immediately. The contractor must seek written clarification or direction from ISA before proceeding. Unauthorised use is strictly prohibited. Use of these documents is strictly conditional on acceptance of the terms outlined above.</p>	<p>REV NO. DATE DESCRIPTION</p> <p>DA-2 24-JUN-2025 GENERAL AMENDMENTS</p> <p>DA-3 15-JUL-2025 GENERAL AMENDMENTS</p> <p>DA-4 31-JUL-2025 GENERAL AMENDMENTS</p> <p>DA-6 13-NOV-2025 GENERAL AMENDMENTS</p> <p>DA-8 11-MAY-2026 UPDATE ACOUSTIC BARRIERS</p>	<p>PROJECT NAME</p> <p>DOOLANDELLA CHILDCARE 66 Crossacres St, Doolandella, QLD 4077</p> <p>CLIENT INFORMATION</p> <p>KIDS EARLY LEARNING CENTRE Building 8/107 Miles Platting Rd, Eight Mile Plains QLD 4113</p>	<p>SHEET NAME</p> <p>ELEVATIONS</p> <p>DRAWN BY: HH PROJECT NO: P25571 ISSUE: DA-8</p> <p>CHECKED BY: IA PROJECT STATUS: DA</p>	<p>SCALE</p> <p>1:100 / A1</p> <p>SHEET NO.</p> <p>DA03-02</p>
			<p>PRINT DATE</p> <p>11-MAY-2026</p>	<p>© COPYRIGHT OF ISA. ALL RIGHTS RESERVED. UNAUTHORISED USE OR REPRODUCTION PROHIBITED. INTELLECTUAL PROPERTY REMAINS THE EXCLUSIVE PROPERTY OF ISA UNLESS OTHERWISE AGREED IN WRITING.</p>		

BIN ENCLOSURE MATERIALS SCHEDULE

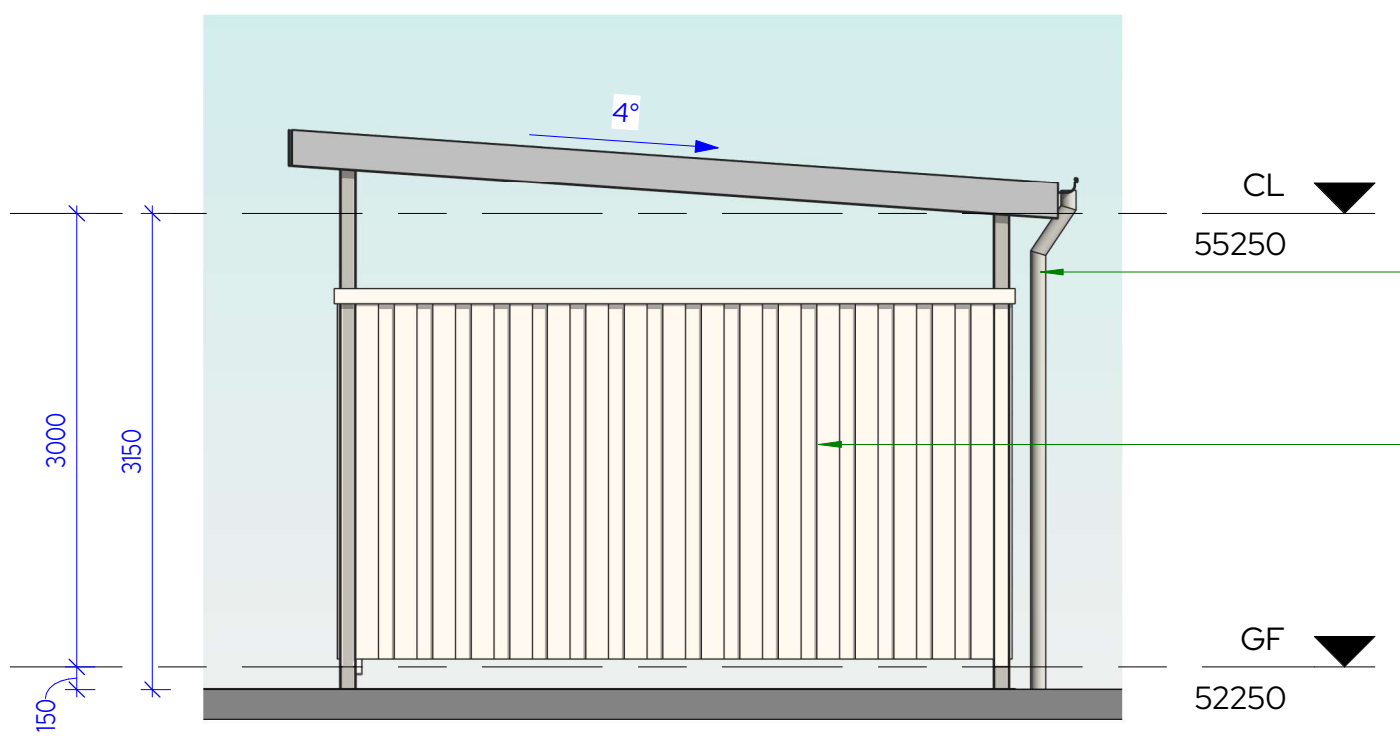
- ① Timber fence & Gate painted
- ② Powdercoated Steel columns and Beams
- ③ Powdercoated Metal Roof Sheetting, Gutter, Roof Fascia



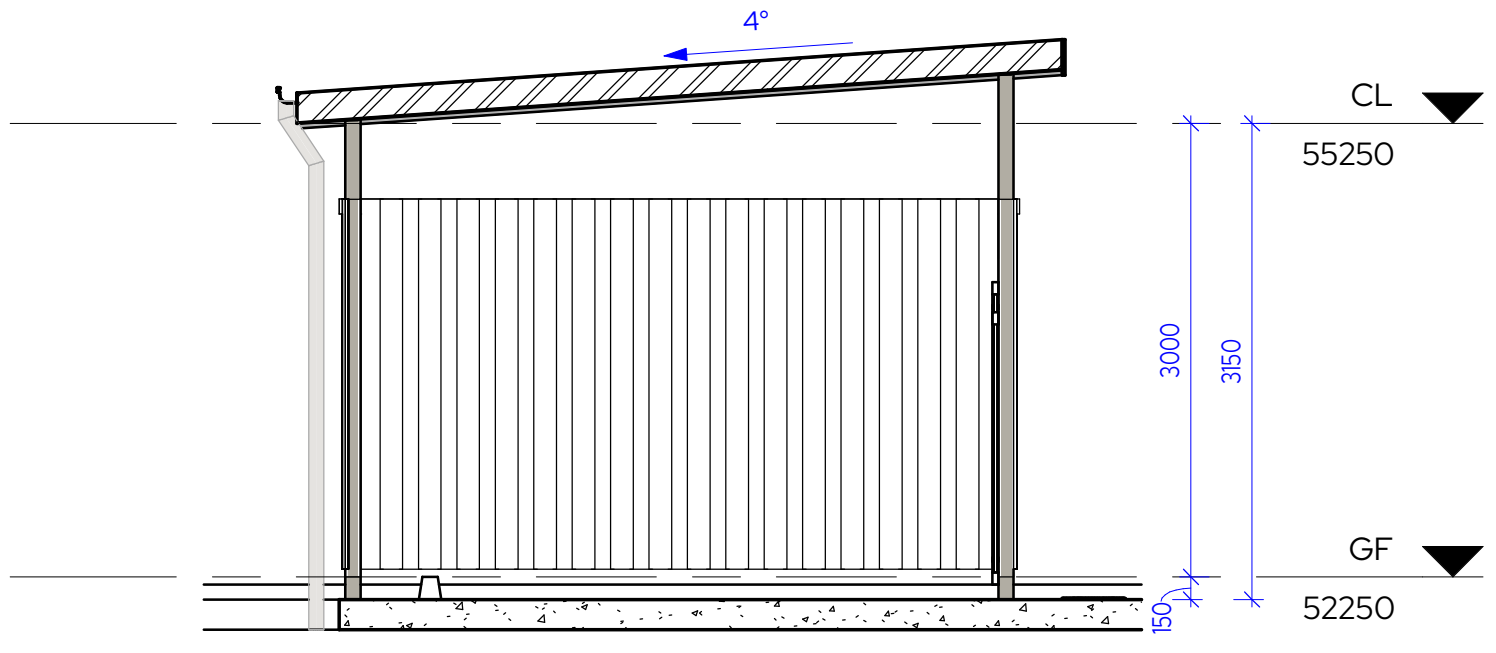
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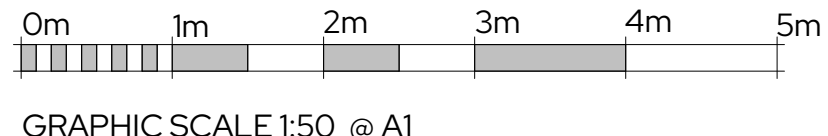
2 BIN ENCLOSURE REAR ELEVATION
1: 50



3 BIN ENCLOSURE SIDE ELEVATION
1: 50



4 BIN ENCLOSURE SECTION
1: 50



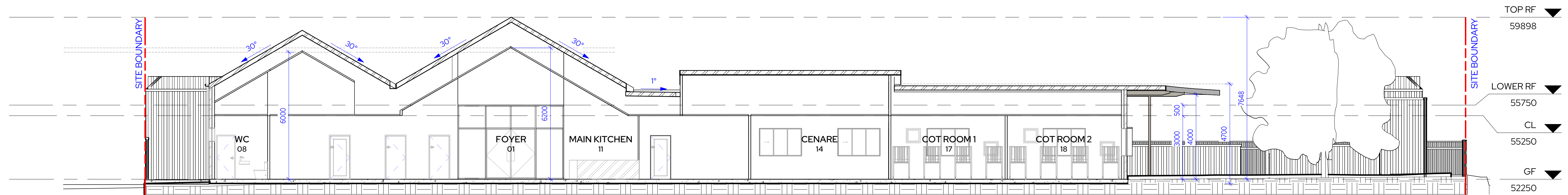
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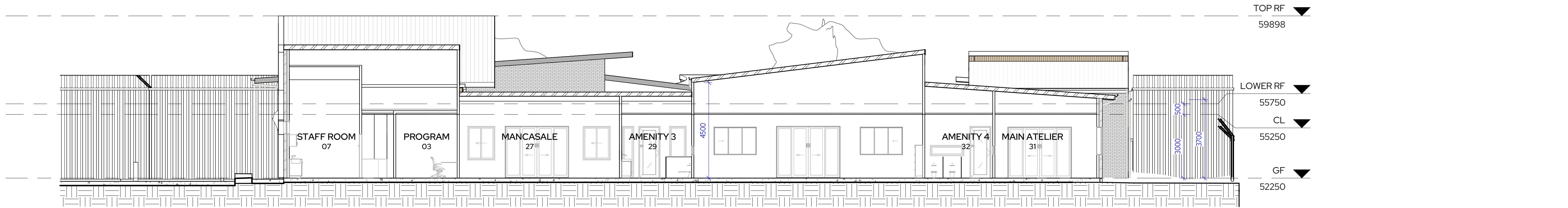
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DA-8	11-MAY-2026	UPDATE ACOUSTIC BARRIERS

PROJECT NAME DOOLANDELLA CHILDCARE 66 Crossacres St, Doolandella, QLD 4077
CLIENT INFORMATION KIDS EARLY LEARNING CENTRE Building 8/107 Miles Platting Rd, Eight Mile Plains QLD 4113

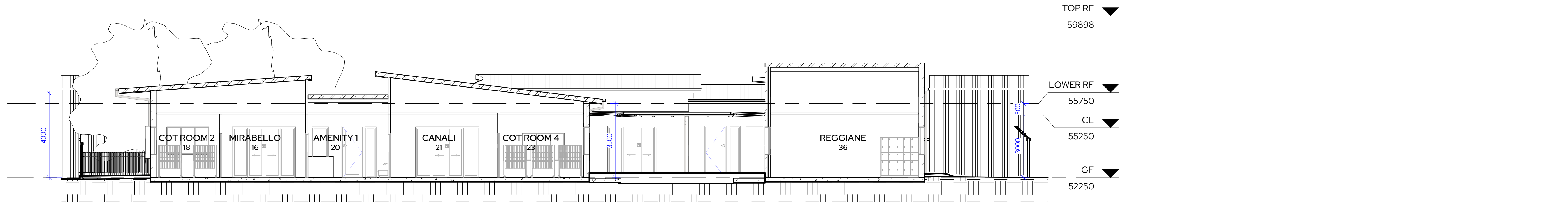
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CHECKED BY IA	PROJECT STATUS DA		



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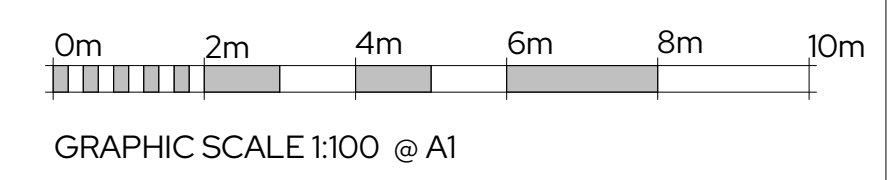
2 SECTION 2
1:100



3 SECTION 3
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4 SECTION 4
1:100



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