

# LETTER OF RESPONSE TO BCC INFORMATION REQUEST

BCC Reference No. A006910166

## INFORMATION REQUEST RESPONSE FOR MIXED USE DEVELOPMENT AT 5 ROSEGLEN ST GREENSLOPES QLD 4120

We refer to the BCC information request dated 12 January 2026, which outlines that further information is required to support the assessment of development application A006910166.

### Landscape amenity and deep planting

5. It is acknowledged that performance outcomes are being sought for deep planting and general landscape amenity measures for the development. To further meet the requirements for the provision of 'large subtropical shade trees and to ensure that the subtropical character, amenity, and microclimate can be achieved for development the following amendments are required on amended plans:

- a) The proposed retaining wall along the property frontage does not comply with AO37.3/PO37 and AO29.1-4/PO29 of the Multiple dwelling code. It is advised that the new retaining wall is to be setback approximately 0.75m-1m from the front boundary line and landscape amenity planting in natural ground is to be provided to the front of this wall, noting the wall is to be no higher than 1m.

**Response:**

The proposed retaining wall along the property frontage has been revised. The retaining wall is now setback approximately 0.8m from the front boundary to allow landscape amenity planting in natural ground in front of the wall. The wall height has been limited to a maximum of 1m in accordance with the planning requirements.

Please refer to the **Appendix A – Preliminary Civil Engineering Drawing (Drawing No. P200)** for further detail.

- b) Provide 3m wide deep planting zone after the retaining wall along the entire frontage of the site to facilitate large subtropical shade tree planting and dense landscape screening and then provide the required terracing after the deep planting zone area.

**Response:**

The plans have been amended to incorporate a 3.0m wide deep planting zone located behind the retaining wall along the full site frontage.

Please refer to the Architectural Drawing for further detail.

- c) Remove the proposed front pergola area, to facilitate subtropical shade tree planting along the frontage;

**Response:**

The proposed front pergola structure has been removed from the development.

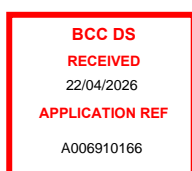
Please refer to the Architectural Drawing for further detail.

- d) Provide cross sections to demonstrate the extent of retaining walls and their footings and drainage to determine the extent of unconstrained landscape areas.

**Response:**

Cross-sections have been included within the amended civil drawings to illustrate the extent of the retaining walls, including indicative footings (subject to final structural design at detailed design) and drainage provisions. The sections demonstrate the available unconstrained landscape areas.

Please refer to the **Appendix A – Preliminary Civil Engineering Drawing (Drawing No. P221)** for detail.



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BCC Reference No. A006910166



- e) Clarify how large subtropical shade trees will be achievable if the retaining wall footings encroach into the deep planting zone; and

**Response:**

We noted that the top of footing is estimated to be approximately 1.5m below finished ground level at the localised footing locations. This depth is considered sufficient to accommodate the required soil depth for large subtropical shade tree planting. In addition, the majority of the deep planting zones are considered unaffected by the retaining wall footings, ensuring adequate planting area is available.

Please refer to the **Appendix A – Preliminary Civil Engineering Drawing (Drawing No. P221)** for detail.

- f) Include details of the proposed underground services required to facilitate the development including stormwater and sewage, ensuring they do not conflict with proposed areas of deep planting.

**Response:**

Planting separation is to be undertaken for the stormwater crossing. Details of the proposed underground services including the vertical clearance of the stormwater and sewer infrastructure have been included in the amended drawings. The alignment of these services has been designed to avoid conflict with the proposed deep planting areas.

- Existing sewer main approx. 2m depth.
- Stormwater pipe approx. 1.5m depth, with 0.5m vertical clearance from the sewer main.

A minimum soil depth of approximately 1.5m has been maintained within the 3m wide deep planting zone along the frontage to facilitate the planting of subtropical shade trees.

Please refer to the **Appendix A – Preliminary Civil Engineering Drawing (Drawing No. P300)** for detail.

## Retaining walls

6. It is noted that the submitted proposed bulk earthworks plan, show retaining walls exceeding 1m in height, retaining fill and presenting outwards on the external property boundaries of the subject site. For retaining walls retaining fill and presenting outwards, the Acceptable outcome AO2.1 of the Filling and excavation code specifies that retaining walls retaining fill at the property boundary are to be no greater in height than 1m above the ground level. All further required retaining of fill from the 1m high boundary retaining wall is to be set back a minimum of 1m and stepped / terraced by one horizontal unit to one vertical unit; and, the distance between each successive retaining wall (back of lower wall to face of higher wall) is to be no less than 1m horizontally to incorporate planting areas.

- a) Demonstrate on the revised plans that the maximum retaining wall retaining fill on the property boundaries presenting outwards is 1m in height and any further retaining of fill is to be stepped / terraced in one horizontal metre and one vertical metre steps in accordance with AO1/PO1 and AO2.1/PO2 of the Filling and excavation code.

**Response:**

The retaining walls located along the property boundaries that retain fill have been amended to a maximum height of 1m above existing ground level. Where additional retaining is required to accommodate site level changes, the design has been stepped/terraced behind the boundary retaining wall, with each successive retaining wall set back a minimum of 1m.

Please refer to the **Appendix A – Preliminary Civil Engineering Drawing (Drawing No. P200)** for further detail.

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BCC Reference No. A006910166



## Front Service Infrastructure

9. The proposed development does not currently indicate any services which may be required for the development and there is a concern that the required services will impact the streetscape and landscaping.

- a) In order to address AO5/PO5 of the Multiple dwelling code, incorporate any proposed front service infrastructure such as water meters, hydrant boosters, electrical metres on the revised plans as required. Ensure that the elements are integrated into the development and soften with landscaping where possible.

### **Response:**

The location of the proposed water meter has been indicated on the amended drawings. The final sizing and detailed specification of the water meter will be determined during the detailed design stage in consultation with the relevant service authority.

Please refer to the **Appendix A – Preliminary Civil Engineering Drawing (Drawing No. P300)** for detail.

## Car parking and access

14. Clearly demonstrate on the plans and sections that the driveway grades across the road verge will not exceed with the maximum grades permitted in Council's Standard Drawing Number BSD-2024.

### **Response:**

The driveway grades across the road verge have been reviewed and updated in the amended drawings to ensure compliance with the maximum grades permitted under Council Standard Drawing BSD-2024. The driveway crossfall and longitudinal grades at the verge interface have been adjusted accordingly.

Please refer to the **Appendix A – Preliminary Civil Engineering Drawing (Drawing No. P300)** for detail.

## Stormwater connection

### **Clarifications:**

15. In order to address PO11 of the Stormwater code provide an upslope stormwater connection to service the future redevelopment of the upslope property Lot 2 on RP186333 (21 Jordan Street, Greenslopes), sized for the ultimate development scenario. The upslope stormwater connection is to be a minimum 225 mm diameter and secured by a minimum 0.9m wide easement in favour of Council.

### **Response:**

An upslope stormwater connection has been incorporated into the amended civil drawings to service the upslope property of Lot 2 on RP186333. The connection is proposed as a 225mm diameter stormwater pipe and is generally secured within a 0.9m wide easement in favour of Council.

Due to building constraints at the north-west corner of the site, the easement width is locally reduced to approximately 0.5m minimum over an extent of approximately 0.8m, before returning to the required 0.9m width for the remainder of the alignment. The stormwater pipe remains structurally protected and accessible for maintenance, with no pits located within the constrained section.

Please refer to the **Appendix A – Preliminary Civil Engineering Drawing (Drawing No. P300)** for detail.

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**Next Steps:**

We trust that the revised plans provided address the concerns raised in your request for advice notice. Should you require any additional clarifications, please do not hesitate to contact us.

Best regards,

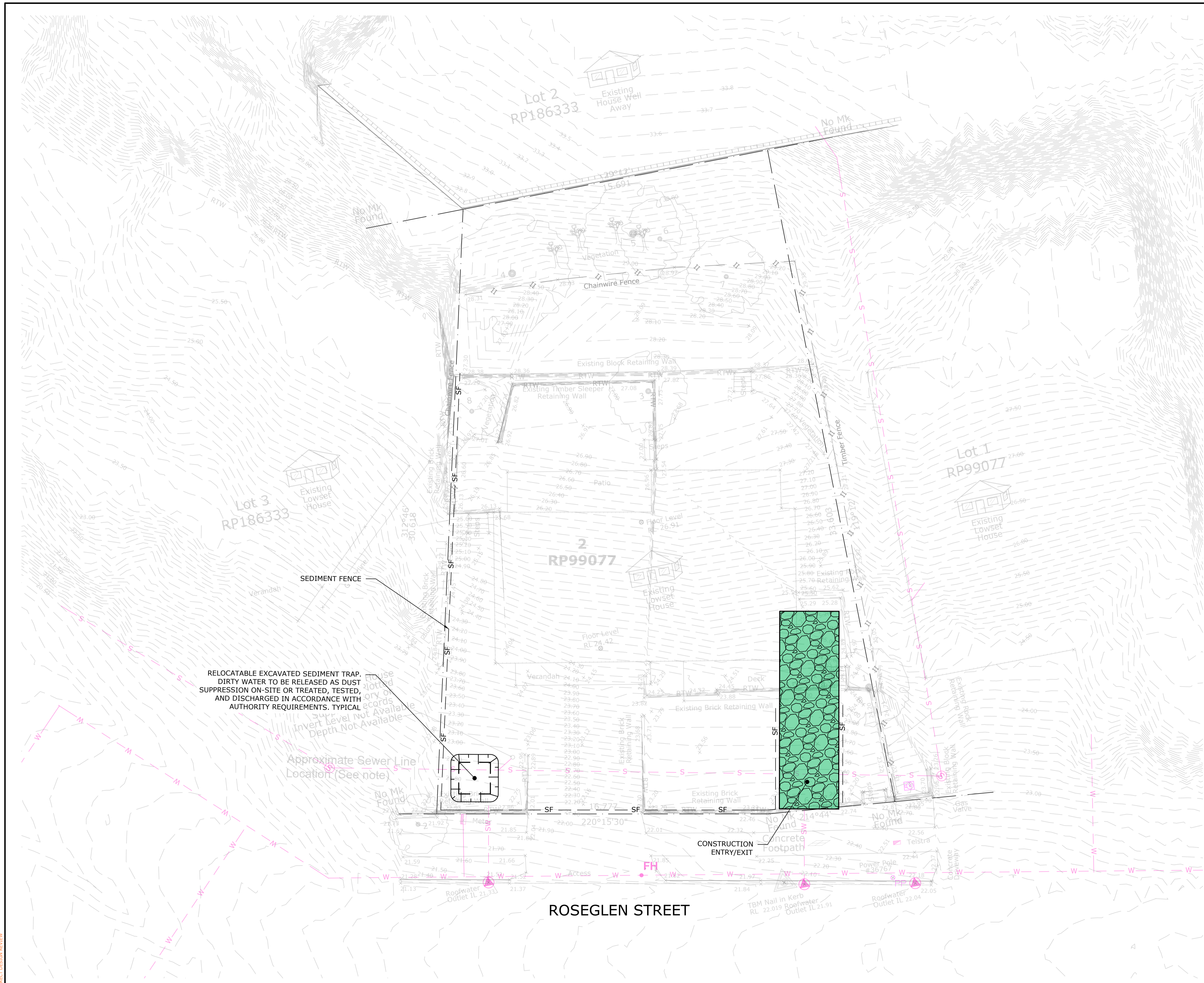
A handwritten signature in black ink, appearing to read "Zac Lemon".

Zac Lemon, RPEQ  
Director (Civil)

**APPENDICES:**

Appendix A – Preliminary Civil Engineering Drawing

# Appendix A – Civil Plans



**DRAWING LEGEND**

GENERAL		
EXISTING	PROPOSED	
---	---	PROPERTY BOUNDARY
---	---	EASEMENT BOUNDARY
-1.00	-1.00	CONTOUR - MAJOR
-1.20	-1.20	CONTOUR - MINOR
---	---	BUILDING
---	---	BUILDING ROOF LINE
---	---	KERB AND CHANNEL
---	---	KERB
RTW	RTW	RETAINING WALL
SW	SW	STORMWATER DRAINAGE
RW	RW	ROOFWATER DRAINAGE
SSD	SSD	SUBSOIL DRAIN
S	S	SEWER
W	W	WATER
E	E	UNDERGROUND ELECTRICAL
OH	OH	OVERHEAD ELECTRICAL
T	T	COMMUNICATIONS
G	G	GAS
---	---	TOP OF BATTER
---	---	BOTTOM OF BATTER
---	---	ABANDON SERVICE
+	+	SURFACE LEVEL (RL)

EROSION & SEDIMENT CONTROL	
---	SEDIMENT FENCE

CONTRACTOR TO ENSURE SURROUNDING ROADS ARE KEPT CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION. TYPICAL

CONTRACTOR TO PROVIDE TRAFFIC CONTROL (AS REQUIRED) AND ENSURE WORK ZONES ARE SAFE DURING CONSTRUCTION. TYPICAL

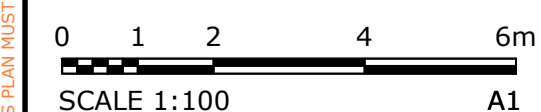
PROVIDE KERB INLET SEDIMENT PROTECTION AT ALL DOWNSTREAM GULLIES UPTO 50m FROM SITE. TYPICAL

SITE TO BE CLEARED IN PREPARATION FOR BUILDING CONSTRUCTION. ALL EXISTING STRUCTURES (INCLUDING ANY PILES) AND SITE IMPROVEMENTS TO BE DEMOLISHED AND REMOVED, UNLESS NOTED OTHERWISE.

RELOCATABLE EXCAVATED SEDIMENT TRAP. DIRTY WATER TO BE RELEASED AS DUST SUPPRESSION ON-SITE OR TREATED, TESTED, AND DISCHARGED IN ACCORDANCE WITH AUTHORITY REQUIREMENTS. TYPICAL

Approximate Sewer Line Location (See note)

LAYOUT PLAN  
SCALE 1:100



ZACHARY LEMON RPEQ Number: 24798



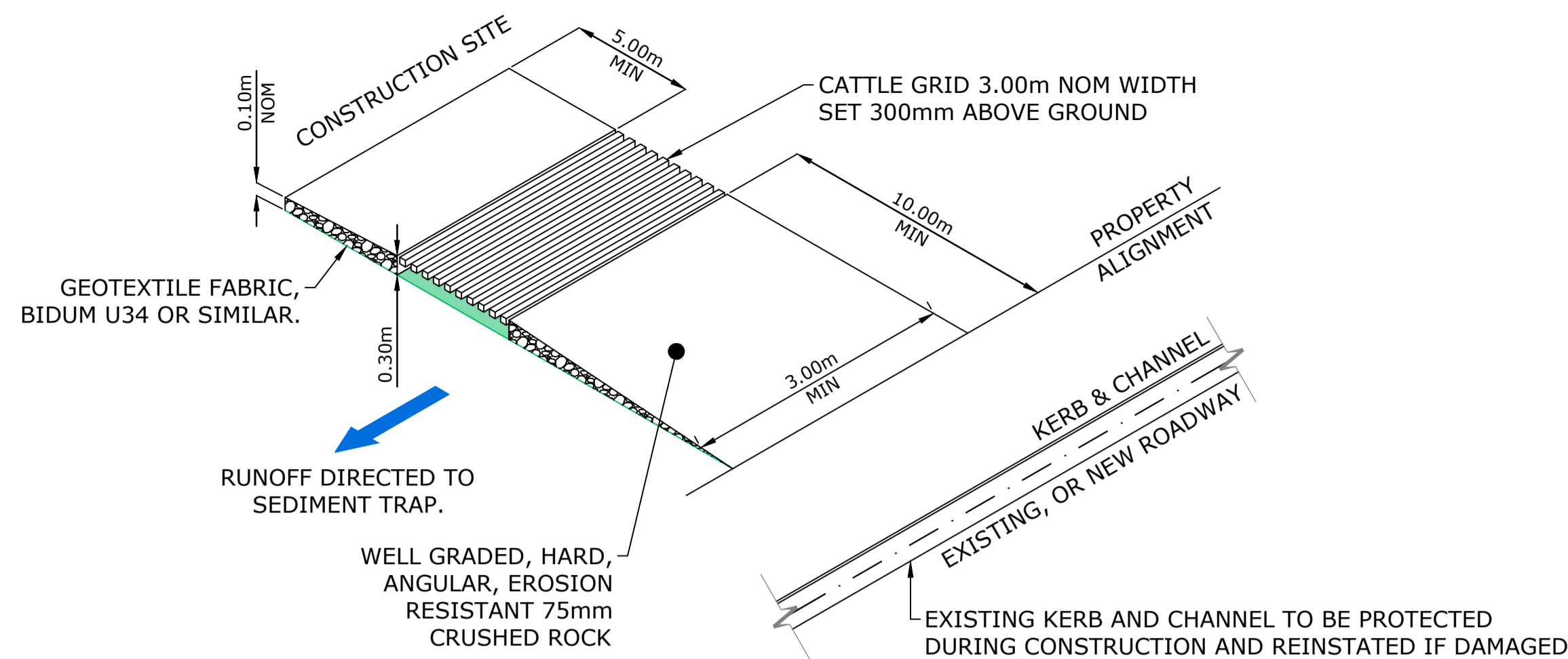
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B	12.03.26	ISSUE FOR APPROVAL	TB	VL	DS	ZL
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PROJECT  
**5 ROSEGLEEN STREET,  
GREENSPLOPES**

DRAWING TITLE  
**EROSION & SEDIMENT CONTROL  
LAYOUT PLAN**

PRELIMINARY		
PROJECT No.	DRAWING No.	REVISION
25096	P100	C

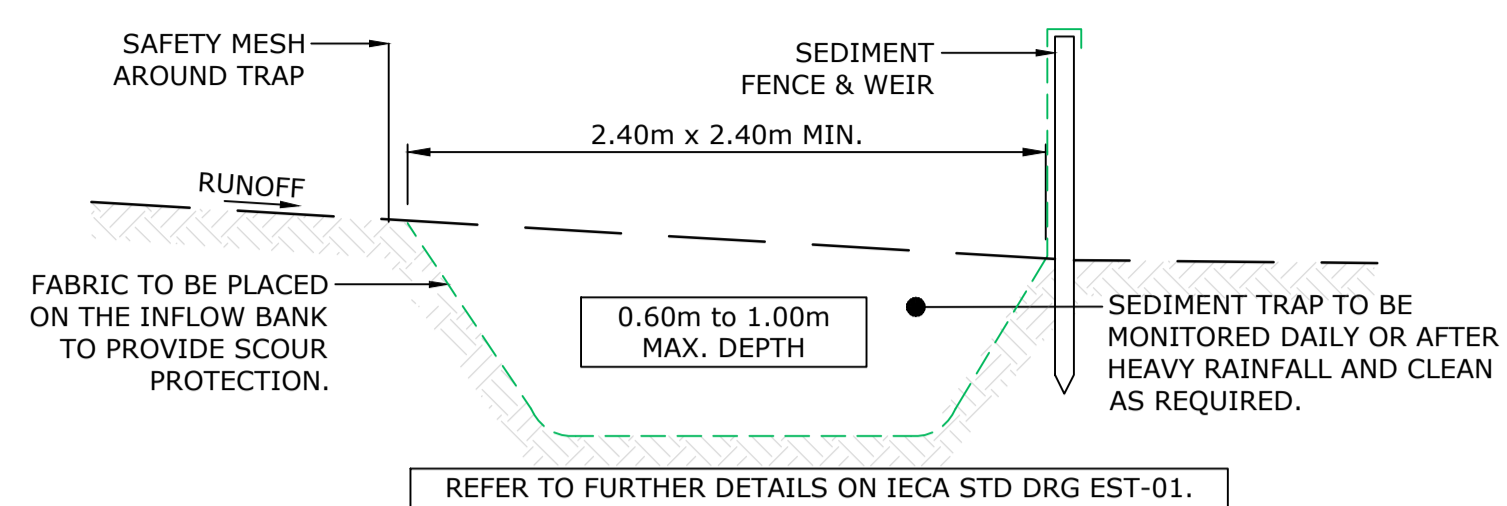


**NOTE:**  
UNBOUND PAVEMENT MATERIAL (GRAVEL) TO GRADING B, TABLE 9 OF TMR SPECIFICATION MRS11.05, EXCLUDE MATERIAL FINER THAN AS SIEVE 2.36mm.

REFER TO FURTHER DETAILS ON IECA STD DRG EXIT-01 TO EXIT 6.

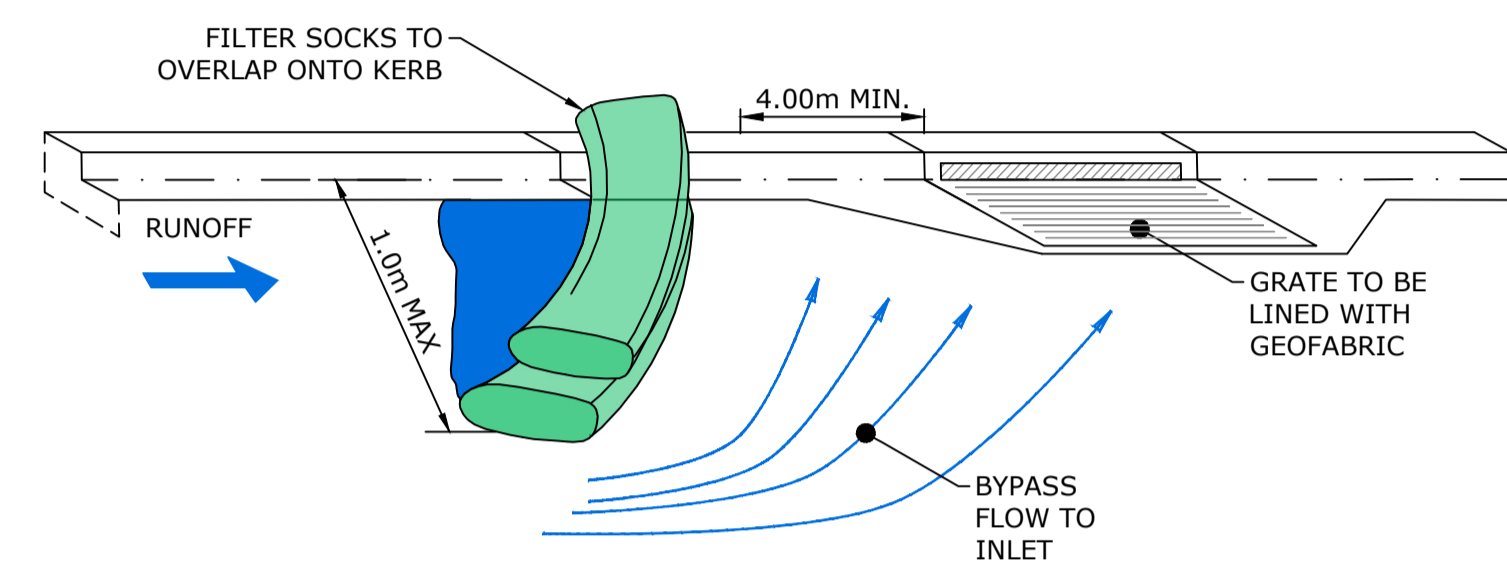
**TEMPORARY CONSTRUCTION ENTRY / EXIT**

N.T.S



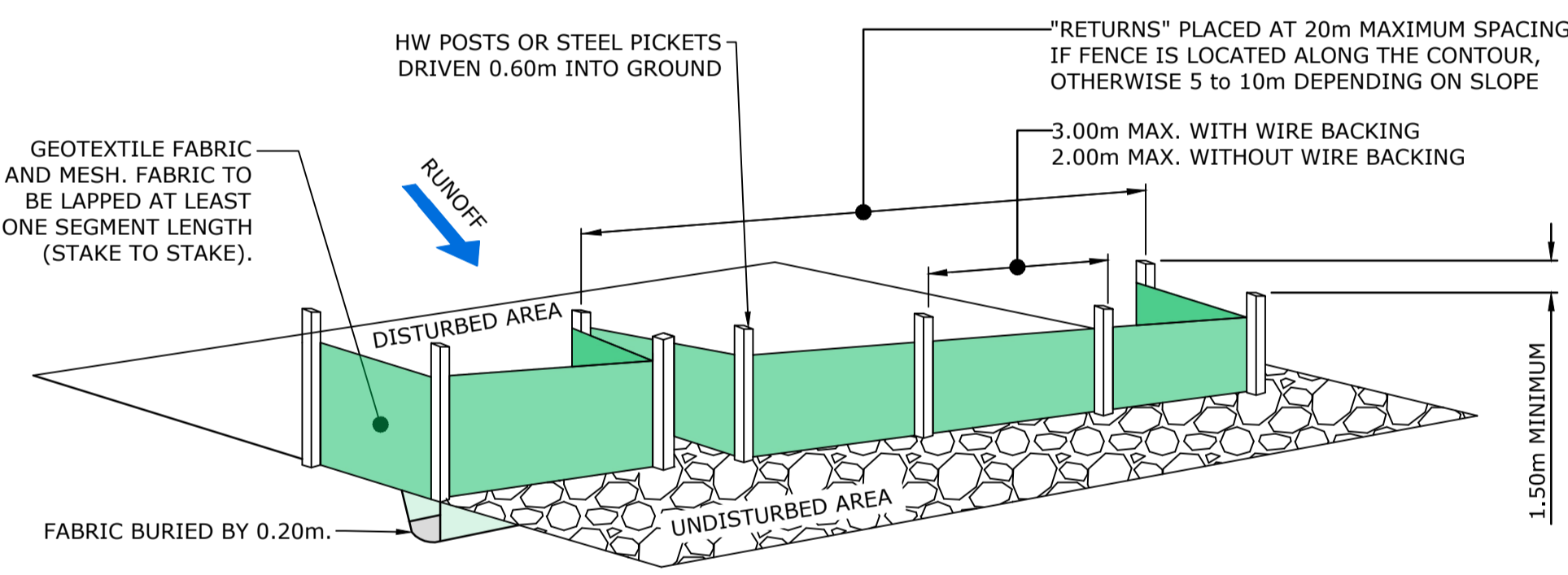
**TYPICAL EXCAVATED SEDIMENT TRAP SECTION**

NOT TO SCALE



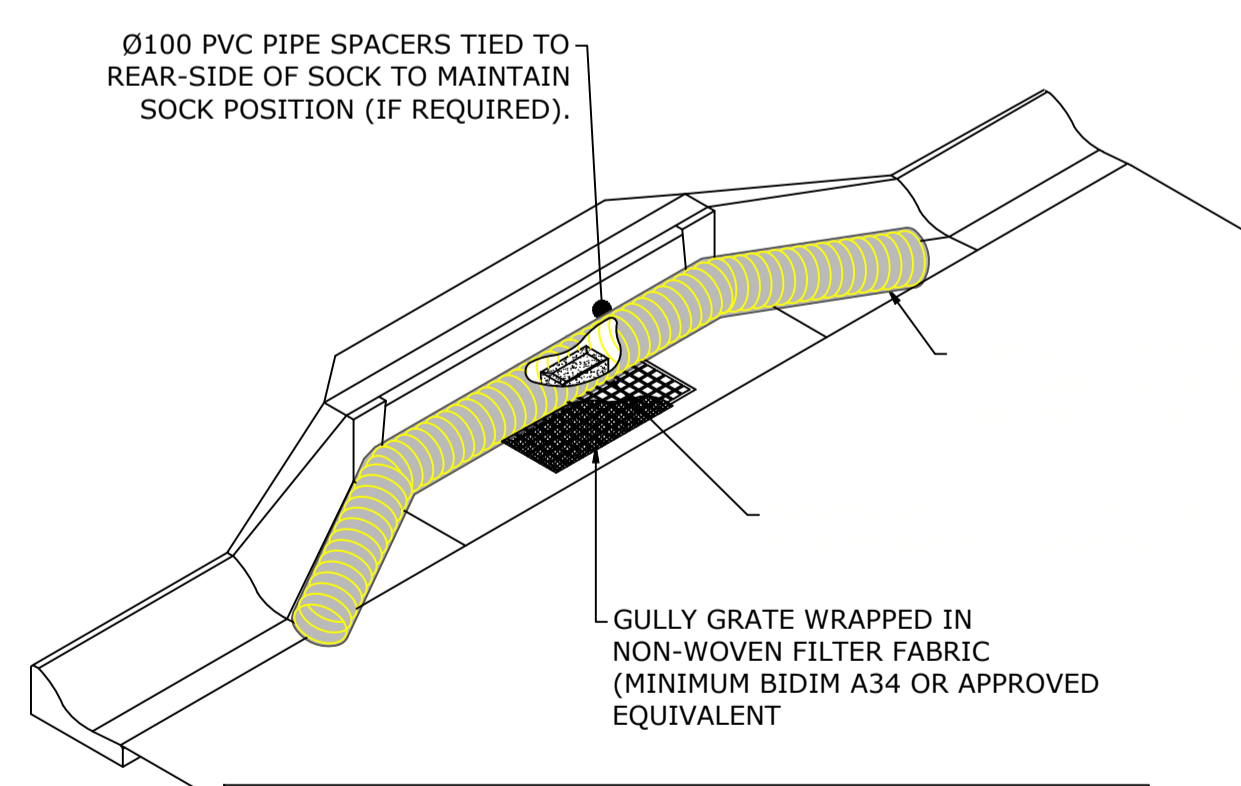
**TYPICAL ON GRADE KERB INLET SEDIMENT TRAP**

NOT TO SCALE



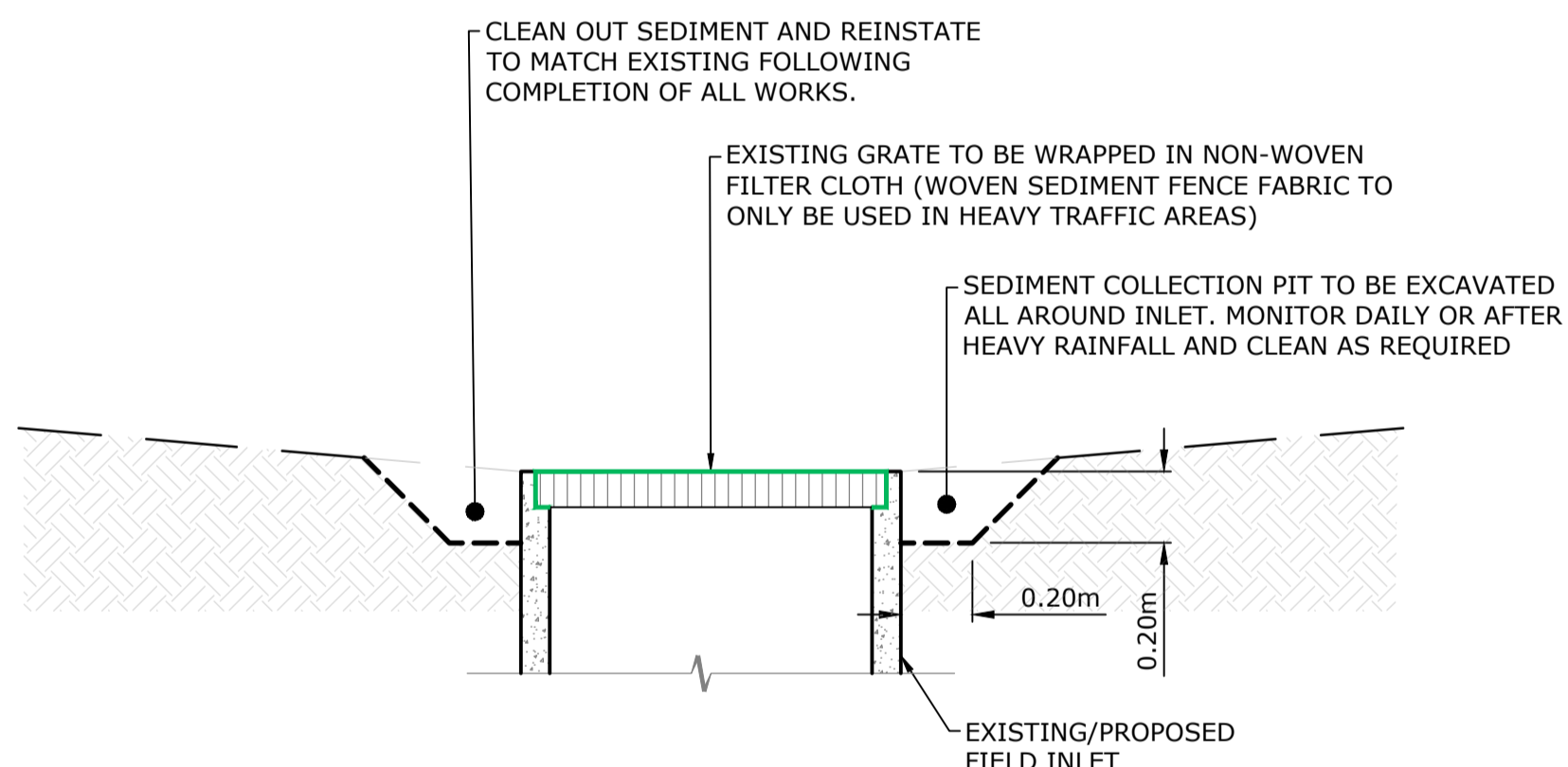
**TYPICAL SEDIMENT FENCE ELEVATION**

NOT TO SCALE



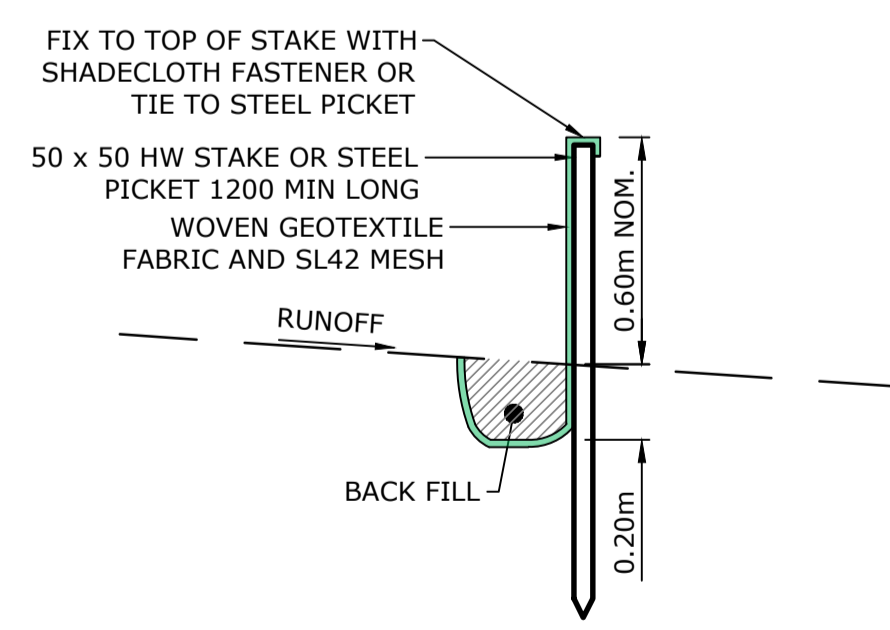
**TYPICAL SAG KERB INLET SEDIMENT TRAP**

NOT TO SCALE



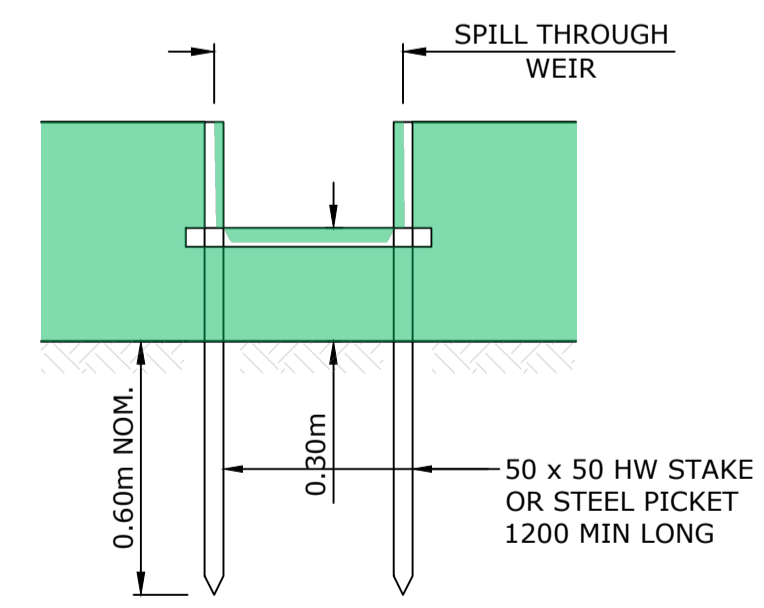
**TYPICAL DROP INLET PROTECTION**

NOT TO SCALE



**TYPICAL SEDIMENT FENCE SECTION**

NOT TO SCALE

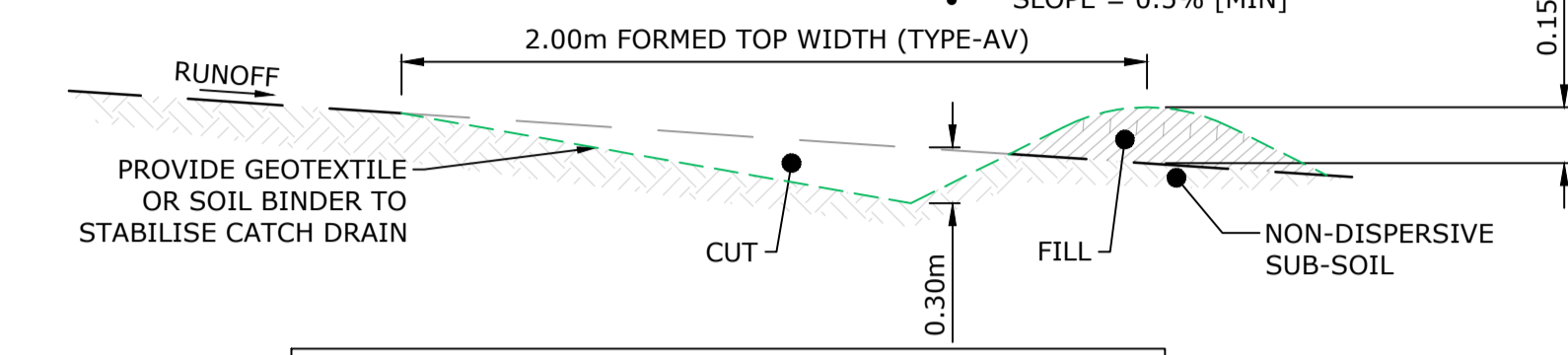


**TYPICAL SEDIMENT WEIR ELEVATION**

NOT TO SCALE

**CHANNEL CALCULATIONS**

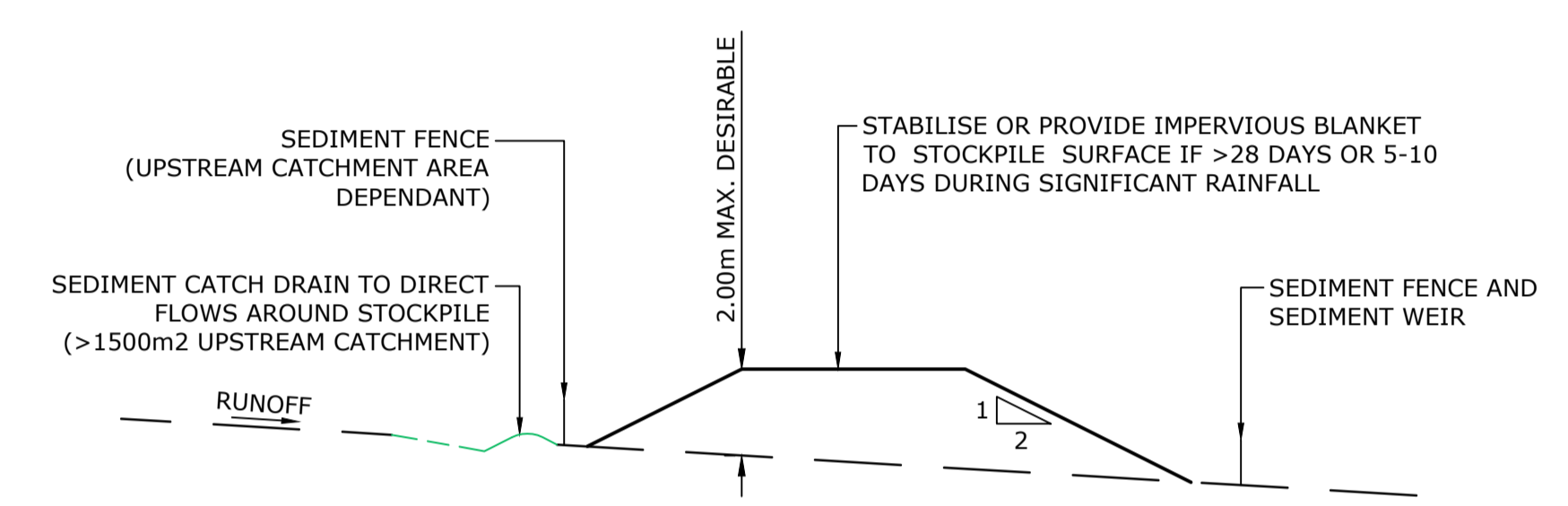
- CATCHMENT AREA = <1.5 Ha
- TIME OF CONCENTRATION = 5 mins
- 2 YR ARI DESIGN STANDARD
- 5MIN I<sup>2</sup> = 128mm/hr
- C2 X FF = 0.595
- Q2 = 0.32 CUMECs
- FREEBOARD = 120 mm
- CAPACITY = 0.34 CUMECs
- n = 0.022
- VELOCITY = 0.59 m/s
- dV = 0.047
- SLOPE = 0.5% [MIN]



REFER TO FURTHER DETAILS ON IECA STD DRG CD-01 TO CD-5.

**TYPICAL SEDIMENT CATCH DRAIN**

NOT TO SCALE



REFER TO FURTHER DETAILS ON IECA FIELD GUIDE FOR CONSTRUCTION SITE MANAGERS.

**TYPICAL STOCKPILE**

NOT TO SCALE

**IECA DRAWING LIST**

CODE	TITLE
ECM-1	EROSION CONTROL MATS
EXIT-1	CONSTRUCTION EXIT- ROCK PAD
EXIT-2	ROCK PADS FOR BUILDING SITES
EXIT-3	ROCK PADS FOR BUILDING SITES
EXIT-4	CONSTRUCTION EXIT- VIBRATION GRID
EXIT-5	CONSTRUCTION EXIT- VIBRATION GRID
EXIT-6	CONSTRUCTION EXIT- WASH BAY
FF-1	FILTER FENCE
SF-1	SEDIMENT FENCE
SF-2	SEDIMENT FENCE
ESC-3	KERB INLET SEDIMENT TRAPS
ESC-4	SEDIMENT FENCE
FS-01	SEDIMENT FENCE
CD1	CATCH DRAINS
CD2	CATCH DRAINS- EARTH LINED
CD3	CATCH DRAINS- GRASS LINED
CD4	CATCH DRAINS- GEOTEXTILE LINED
CD5	CATCH DRAINS- ROCK LINED
EST-01	EXCAVATED SEDIMENT TRAP
BOOK 5	A FIELD GUIDE FOR CONSTRUCTION SITE MANAGERS
UST-1	U-SHAPED SEDIMENT TRAP
FW-1	FABRIC WRAP DROP INLET PROTECTION

THIS PLAN MUST BE CHECKED IN COLOUR FOR CORRECT DESIGN REVIEW

ZACHARY LEMON RPEQ Number: 24798

**concept ENGINEERS**  
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REV	DATE	DESCRIPTION	DWN	DES	CHK	APP
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ARCHITECT  
**CASTLEWORTH**  
ARCHITECTURE & INTERIOR DESIGN

PROJECT  
**5 ROSEGLLEN STREET, GREENSPLOPES**

DRAWING TITLE  
**EROSION & SEDIMENT CONTROL DETAILS**

PRELIMINARY		
PROJECT No.	DRAWING No.	REVISION
25096	P101	C

### DRAWING LEGEND

GENERAL		
EXISTING	PROPOSED	
---	---	PROPERTY BOUNDARY
---	---	EASEMENT BOUNDARY
---	---	CONTOUR - MAJOR
---	---	CONTOUR - MINOR
---	---	BUILDING
---	---	BUILDING ROOF LINE
---	---	KERB AND CHANNEL
---	---	KERB
---	---	RETAINING WALL
---	---	STORMWATER DRAINAGE
---	---	ROOFWATER DRAINAGE
---	---	SUBSOIL DRAIN
---	---	SEWER
---	---	WATER
---	---	UNDERGROUND ELECTRICAL
---	---	OVERHEAD ELECTRICAL
---	---	COMMUNICATIONS
---	---	GAS
---	---	TOP OF BATTER
---	---	BOTTOM OF BATTER
---	---	ABANDON SERVICE
---	---	SURFACE LEVEL (RL)

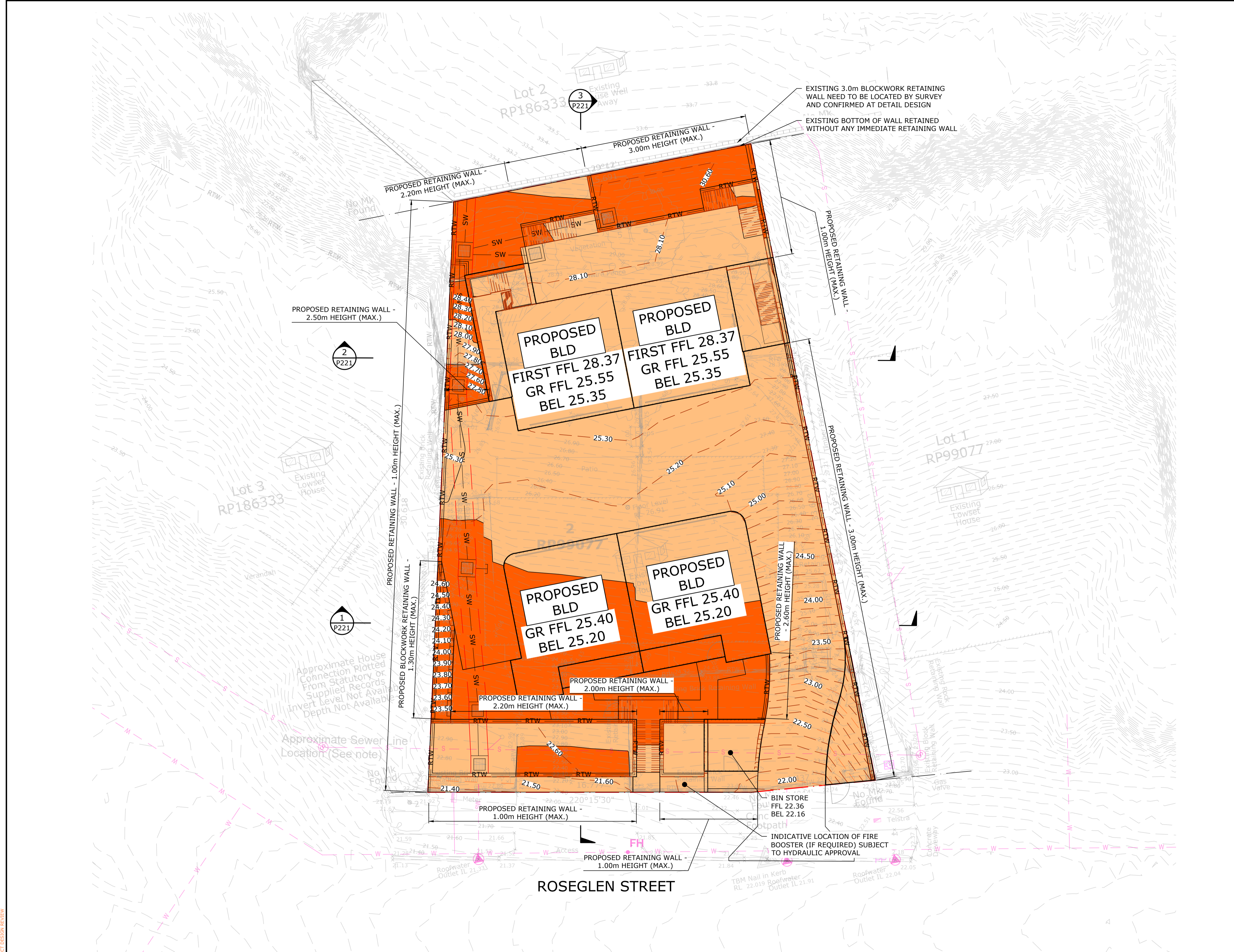
### BULK EARTHWORKS VOLUMES

CUT (m <sup>3</sup> )	FILL (m <sup>3</sup> )	BALANCE (FILL/CUT)
564	157	407

**TOP SOIL CONSIDERATIONS: 69m<sup>3</sup>**  
 AN ALLOWANCE OF 150mm FOR VEGETATION TOP SOIL REMOVAL HAS BEEN ACCOUNTED FOR IN LOCALISED AREAS WITH MAJORITY OF THE SITE BEING PREDOMINATELY SURFACED (I.E. COMPACTED GRAVELS, SEALED SURFACES, STRUCTURE). APPROXIMATE INSITU EARTHWORKS VOLUMES FROM LOCALISED STRIPPED SURFACE LEVEL TO BULK EARTHWORKS LEVEL CALCULATED.

### CUT & FILL RANGE

CUT	FILL	0.00m - 3.50m
[Light Orange Box]	[Dark Orange Box]	



ROSEGLLEN STREET

LAYOUT PLAN  
SCALE 1:100

THIS PLAN MUST BE CHECKED IN COLOUR FOR CORRECT DESIGN REVIEW

SCALE 1:100

ZACHARY LEMON RPEQ Number: 24798

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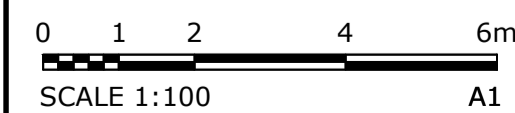
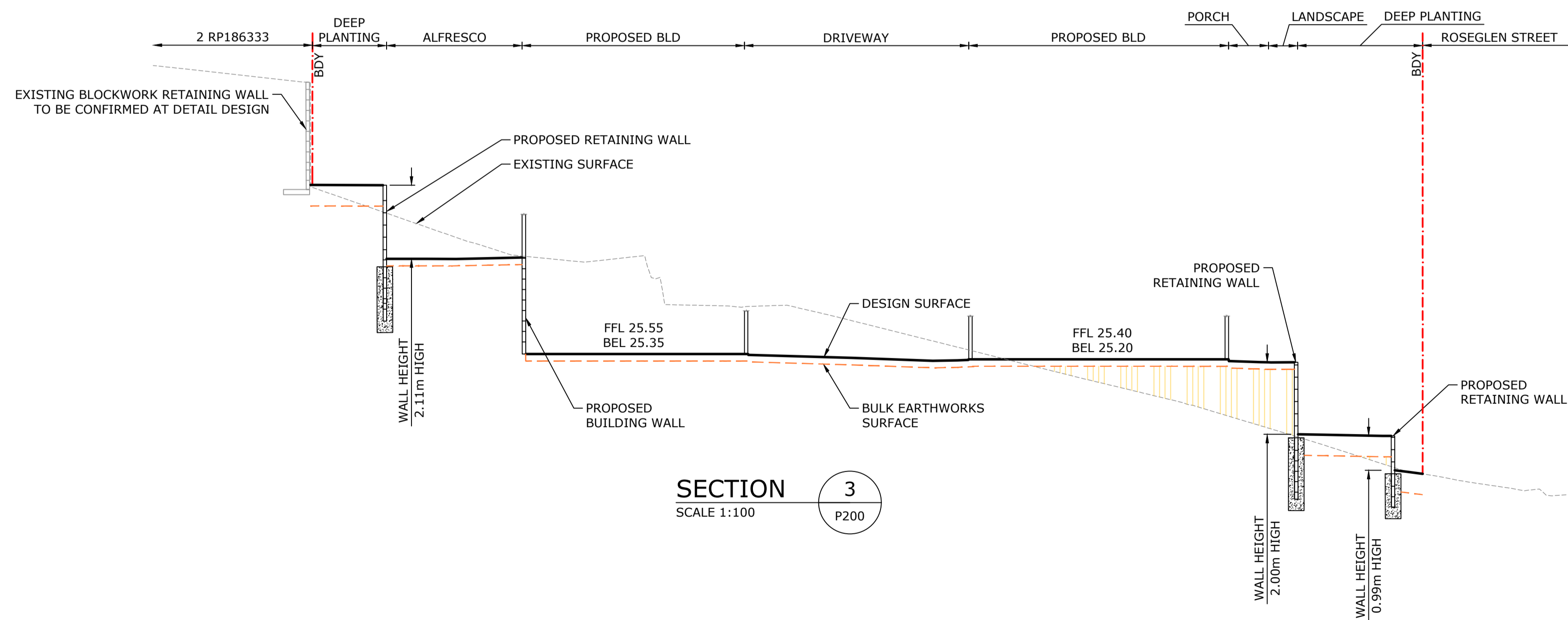
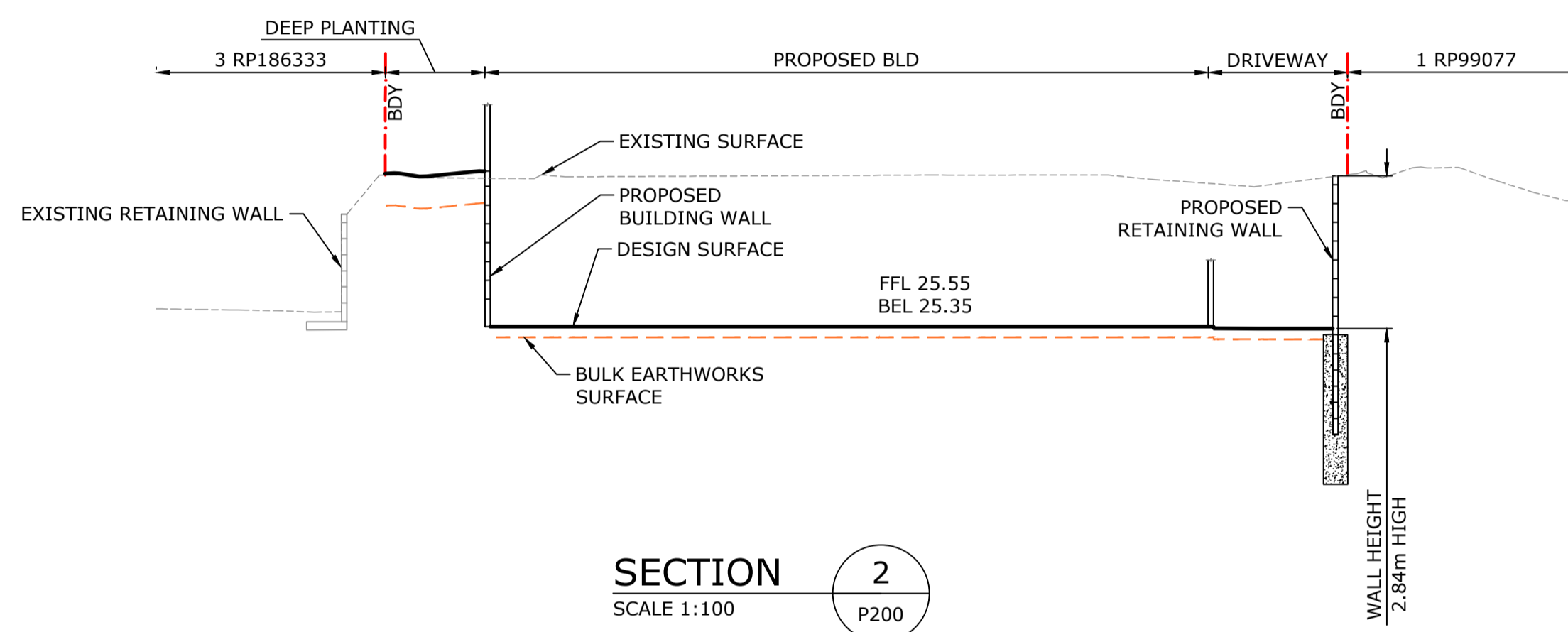
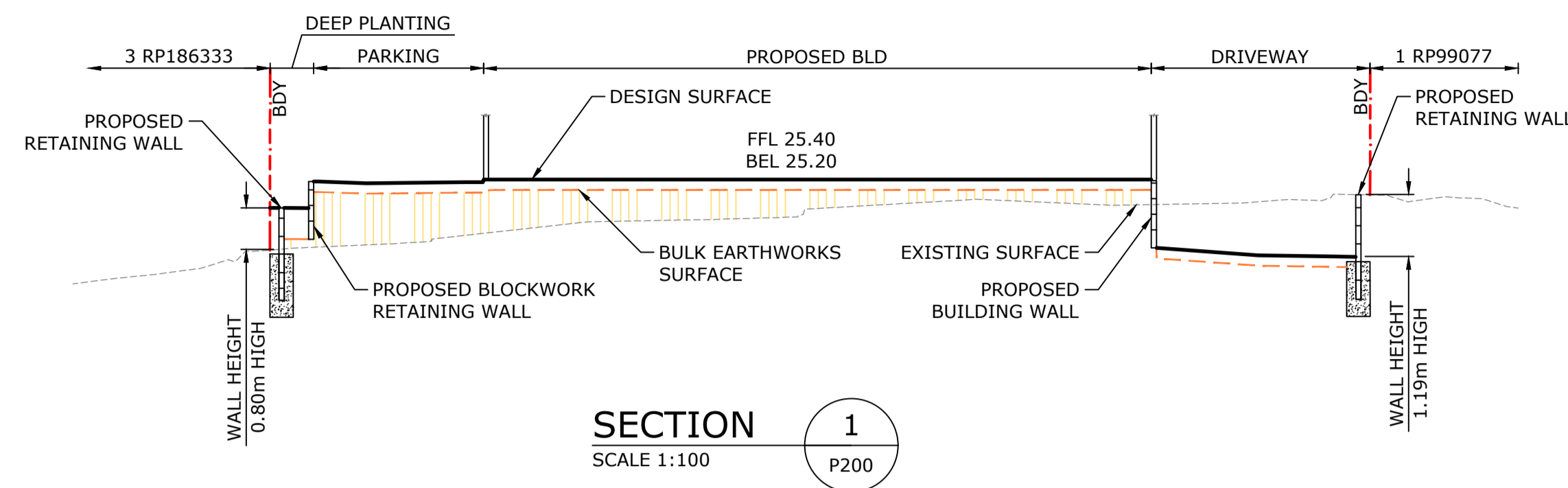
ARCHITECT  
**CASTLEWORTH**  
ARCHITECTURE & INTERIOR DESIGN

PROJECT  
**5 ROSEGLLEN STREET,  
GREENSPLOPES**

DRAWING TITLE  
**BULK EARTHWORKS OVERALL  
LAYOUT PLAN**

**PRELIMINARY**

PROJECT No.	DRAWING No.	REVISION
25096	P200	C



ZACHARY LEMON RPEQ Number: 24798

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ARCHITECT  
**CASTLEWORTH**  
ARCHITECTURE & INTERIOR DESIGN

PROJECT  
**5 ROSEGLEEN STREET,  
GREENSPLOPES**

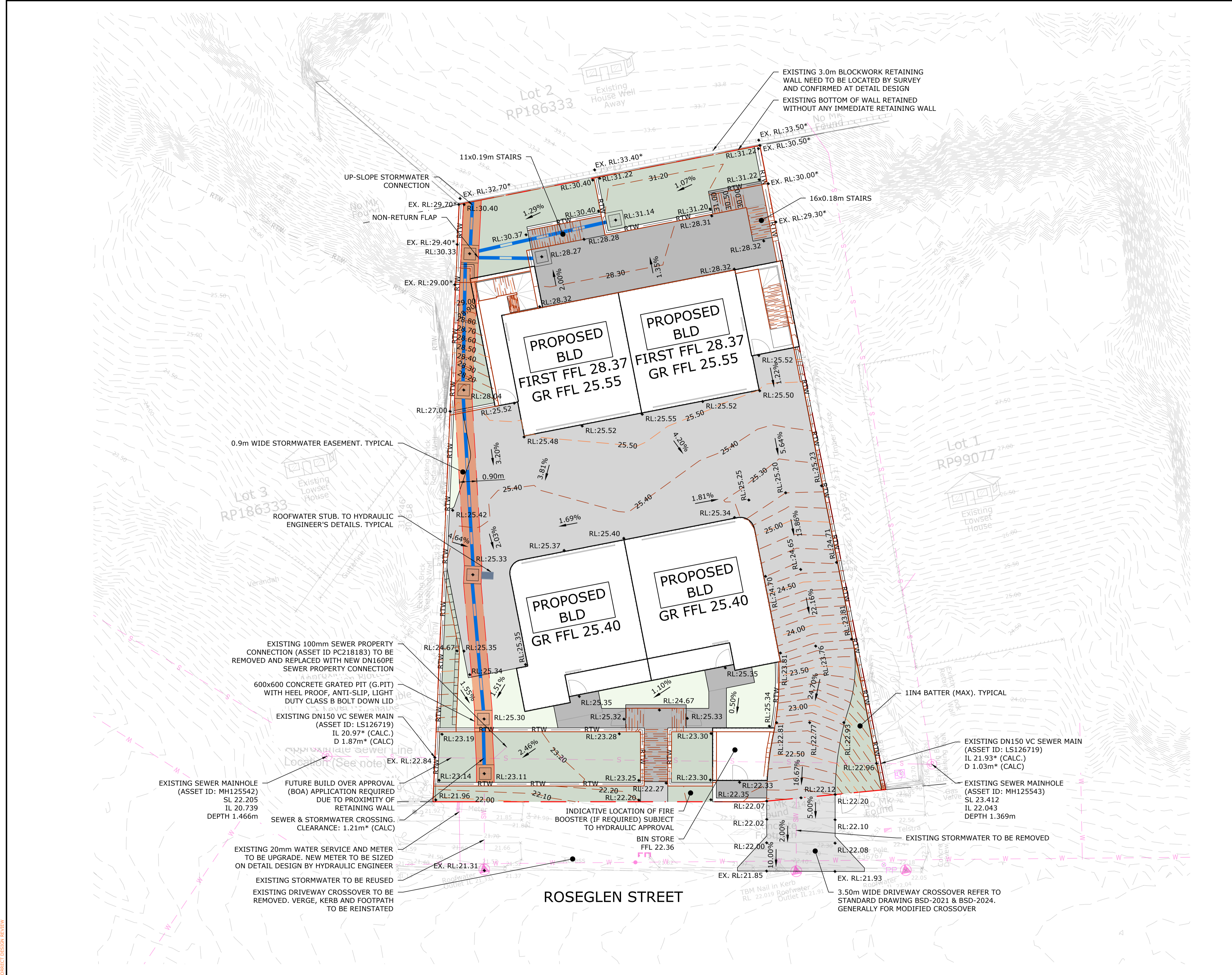
DRAWING TITLE  
**BULK EARTHWORKS SECTIONS**

PRELIMINARY		
PROJECT No.	DRAWING No.	REVISION
25096	P221	C

# DRAWING LEGEND

GENERAL		
<b>EXISTING</b>	<b>PROPOSED</b>	
---	---	PROPERTY BOUNDARY
---	---	EASEMENT BOUNDARY
---	---	CONTOUR - MAJOR
---	---	CONTOUR - MINOR
---	---	BUILDING
---	---	BUILDING ROOF LINE
---	---	KERB AND CHANNEL
---	---	KERB
---	---	RETAINING WALL
---	---	STORMWATER DRAINAGE
---	---	ROOFWATER DRAINAGE
---	---	SUBSOIL DRAIN
---	---	SEWER
---	---	WATER
---	---	UNDERGROUND ELECTRICAL
---	---	OVERHEAD ELECTRICAL
---	---	COMMUNICATIONS
---	---	GAS
---	---	TOP OF BATTER
---	---	BOTTOM OF BATTER
---	---	ABANDON SERVICE
---	---	SURFACE LEVEL (RL)
+	+	
0.00m	RL 0.00m	

**NOTES:**  
 \* EXISTING LEVELS FROM LIDAR, NOT ACCURATELY. NEED TO BE CONFIRMED.



LAYOUT PLAN  
SCALE 1:100

THIS PLAN MUST BE CHECKED IN COLOUR FOR CORRECT DESIGN REVIEW

0 1 2 4 6m  
SCALE 1:100

ZACHARY LEMON RPEQ Number: 24798

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ARCHITECT  
CASTLEWORTH ARCHITECTURE & INTERIOR DESIGN

PROJECT  
5 ROSEGLEN STREET, GREENSPLOPES

DRAWING TITLE  
STORMWATER SITE, GRADING OVERALL LAYOUT PLAN

PRELIMINARY		
PROJECT No.	DRAWING No.	REVISION
25096	P300	C

### DRAWING LEGEND

GENERAL		
EXISTING	PROPOSED	
---	---	PROPERTY BOUNDARY
---	---	EASEMENT BOUNDARY
---	---	CONTOUR - MAJOR
---	---	CONTOUR - MINOR
---	---	BUILDING
---	---	BUILDING ROOF LINE
---	---	KERB AND CHANNEL
---	---	KERB
---	---	RETAINING WALL
---	---	STORMWATER DRAINAGE
---	---	ROOFWATER DRAINAGE
---	---	SUBSOIL DRAIN
---	---	SEWER
---	---	WATER
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---	---	COMMUNICATIONS
---	---	GAS
---	---	TOP OF BATTER
---	---	BOTTOM OF BATTER
---	---	ABANDON SERVICE
+	+	SURFACE LEVEL (RL)

STORMWATER CATCHMENT	
---	CATCHMENT BOUNDARY

PRE-DEVELOPMENT PROPERTIES	
PERVIOUS	IMPERVIOUS
419.91m <sup>2</sup> (67.40%)	203.11m <sup>2</sup> (32.60%)



ROSEGLLEN STREET

LAYOUT PLAN  
SCALE 1:100

THIS PLAN MUST BE COUNTERSIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR CORRECT DESIGN REVIEW



ZACHARY LEMON RPEQ Number: 24798



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PROJECT  
5 ROSEGLLEN STREET,  
GREENSPLOPES

DRAWING TITLE  
PRE CATCHMENT LAYOUT PLAN

PRELIMINARY		
PROJECT No.	DRAWING No.	REVISION
25096	P400	C

### DRAWING LEGEND

#### GENERAL

EXISTING	PROPOSED	
---	---	PROPERTY BOUNDARY
---	---	EASEMENT BOUNDARY
---	---	CONTOUR - MAJOR
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---	---	BUILDING
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---	---	ABANDON SERVICE
+	+	SURFACE LEVEL (RL)

#### STORMWATER CATCHMENT

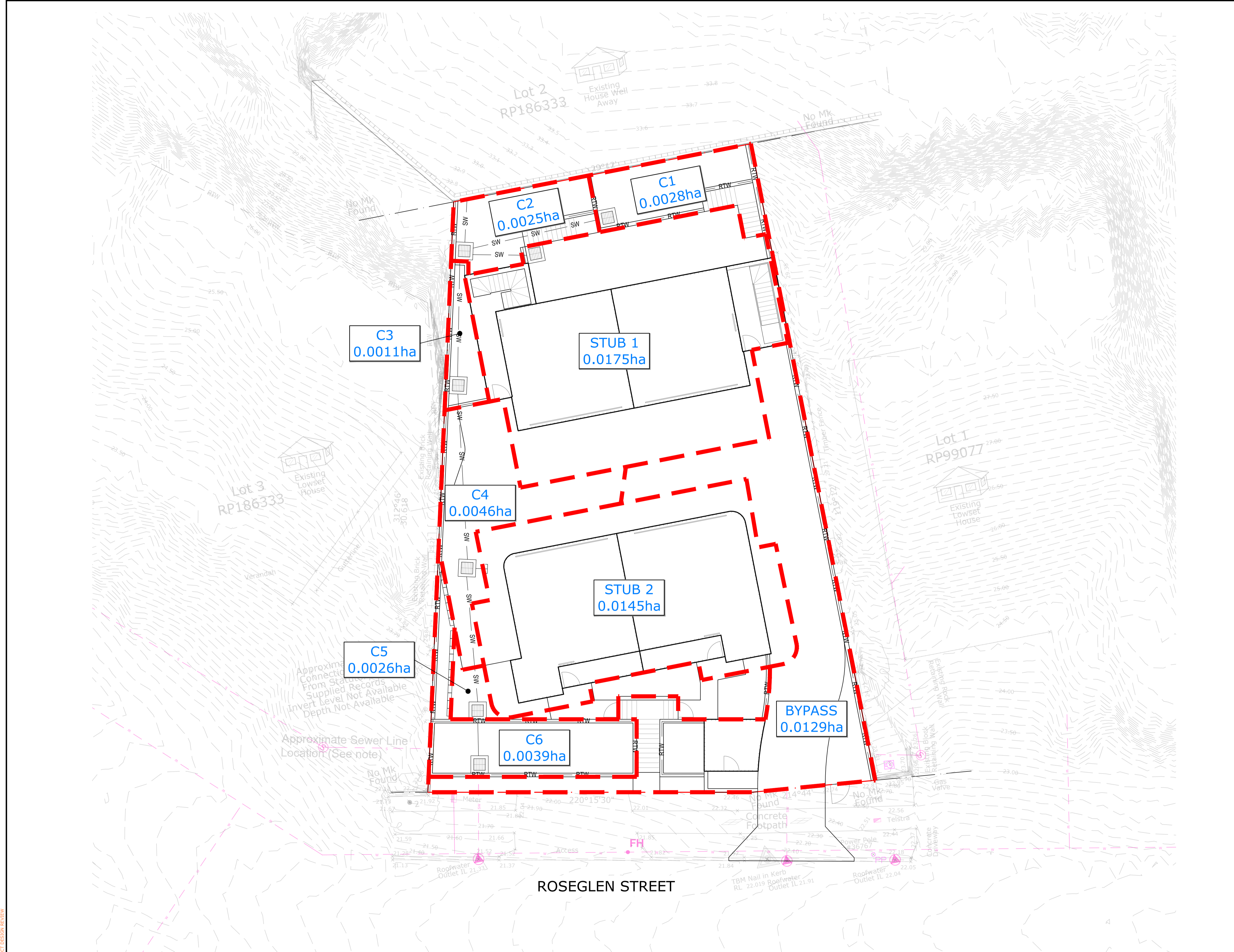
---	CATCHMENT BOUNDARY
-----	--------------------

#### POST-DEVELOPMENT PROPERTIES

PERVIOUS	IMPERVIOUS
119.06m <sup>2</sup> (24.08%)	375.41m <sup>2</sup> (75.92%)

#### BY-PASS PROPERTIES

PERVIOUS	IMPERVIOUS
24.68m <sup>2</sup> (19.13%)	104.32m <sup>2</sup> (80.87%)



ROSEGLEN STREET

LAYOUT PLAN  
SCALE 1:100

THIS PLAN MUST BE CHECKED IN COLOUR FOR CORRECT DESIGN REVIEW

0 1 2 4 6m  
SCALE 1:100 A1

ZACHARY LEMON RPEQ Number: 24798

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REV	DATE	DESCRIPTION	DWN	DES	CHK	APP
A	20.10.25	ORIGINAL ISSUE	TB	VL	DS	ZL
B	12.03.26	ISSUE FOR APPROVAL	TB	VL	DS	ZL
C	08.04.26	ISSUE FOR APPROVAL	TB	VL	DS	ZL

ARCHITECT  
**CASTLEWORTH**  
ARCHITECTURE & INTERIOR DESIGN

PROJECT  
**5 ROSEGLEN STREET,  
GREENSPLOPES**

DRAWING TITLE  
**POST CATCHMENT LAYOUT PLAN**

PRELIMINARY

PROJECT No.	DRAWING No.	REVISION
25096	P401	C