

Ref: 21-0141P/04

11 August 2026

Attention: Jack Woolston
Brisbane City Council
GPO Box 1434
Brisbane QLD 4001

Via email: DSPlanningSupport@brisbane.qld.gov.au

RE: Response to further advice dated 31 July 2026
Request to Change a Development Approval (A007057524)
23, 25 & 27 Maud Street, Newstead QLD 4006 (Lot 71 – 73 on RP9348)

Dear Jack,

We refer to your email dated 31 July 2026 regarding the abovementioned application and provide the following additional information in response to the matters for which further clarification was requested. Our responses are provided below.

Should you have any further queries regarding this application, please do not hesitate to contact the undersigned on (07) 3666 5200.

Yours sincerely,



Emily Richards

ASSOCIATE - PLANNING

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Additional Information

Please see our response to the items in Council's email.

Item a

Further clarification/justification is required to demonstrate that the privacy and outlook for the adjacent neighbouring dwellings located at 32-38 Newstead Terrace will not be impacted through the reduction in screening to this interface.

- a) provide plans, elevations and sections or similar showing the location of habitable rooms, windows and doors for the development at 32-38 Newstead Terrace shown relative to the proposed development.
- b) demonstrate that the reduction in screening will not impact these units.

Response

In response to Council's request for further advice, this letter contains a combination of plans and photos, depicting the location of habitable rooms, windows and doors of the development at 32-38 Newstead Terrace and a detailed overview of how the reduction of screening attached to the proposed development shall not impact on this property.

Figures 1 and 2 below include extracts of the registered survey plan, showing the building layout of 32-38 Newstead Terrace. These plans show three levels of apartments (sitting above ground level parking), with three units on each floor level adjacent to the subject site (western end of the building). The building unit plans show that each level features a largely consistent floor plate, with the portion of the building adjacent to the subject site including the following units:

- Level B (first floor/second storey) – Units 7, 8 and 9
- Level C (second floor/third storey) – Units 20, 21 and 22
- Level D (third floor/fourth storey) – Units 33, 34 and 35

This information has been used to source unit specific floor plans and internal photographs from real estate advertisements to confirm floor layouts and the interface of this building with the proposed development. It is noted that this development pre-dates Council's development and as such approved floor plans are not readily available.

Table A below outlines details of three units within the building, including floor plans, internal photos taken in the direction of the subject site and commentary on the layout and orientation. The three units chosen address the three alternate layouts found at the western end of the building adjacent to the site. These include:

- Unit 22 – located at the northwest corner of the building at level C and with the same layout as units 9 and 35
- Unit 33 – located at the southwest corner of the building at level D and with the same layout as units 7 and 20
- Unit 34 – located at the centre of western end of the building at level D and with the same layout at units 8 and 21

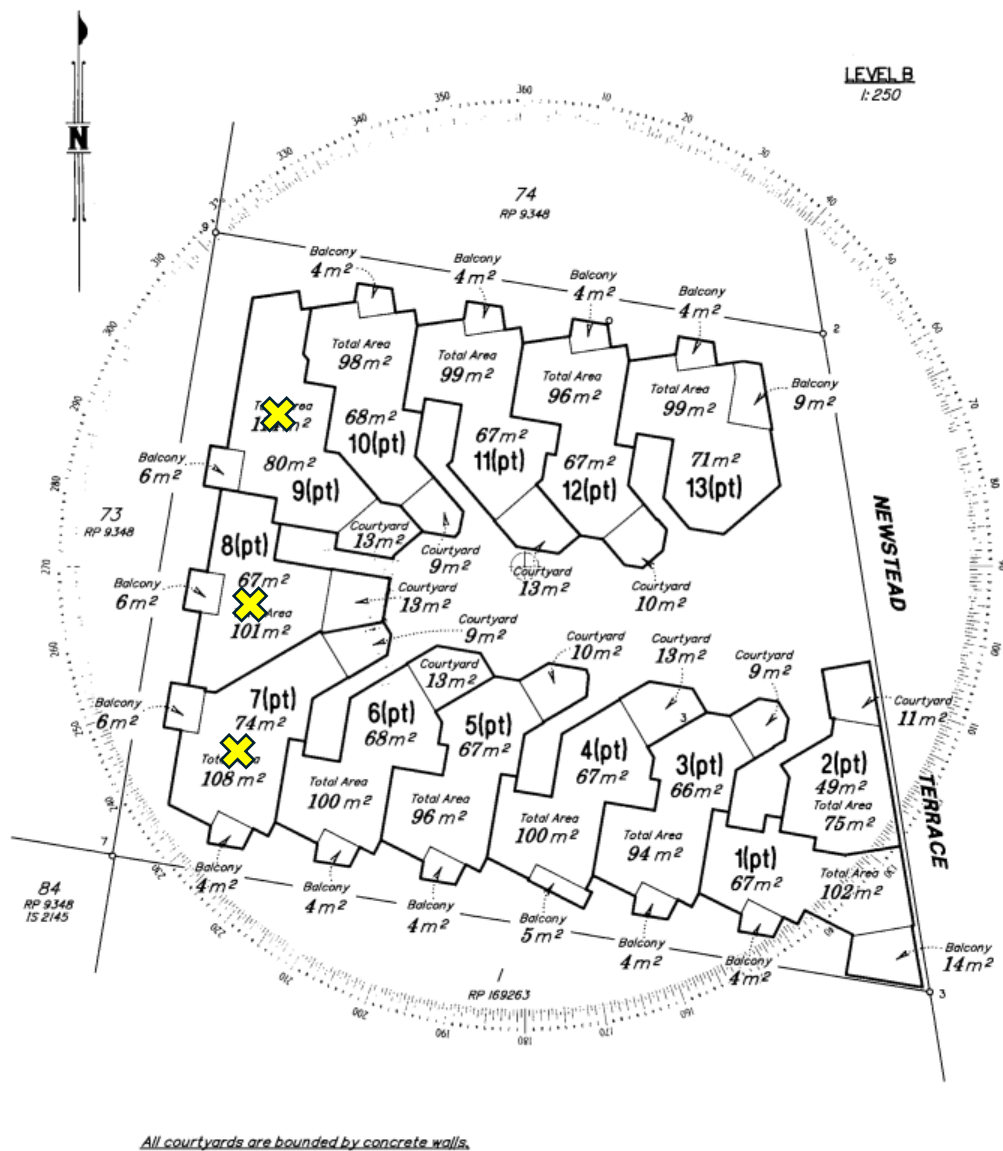


Figure 1. Level B (1), 32 – 38 Newstead Terrace, Newstead

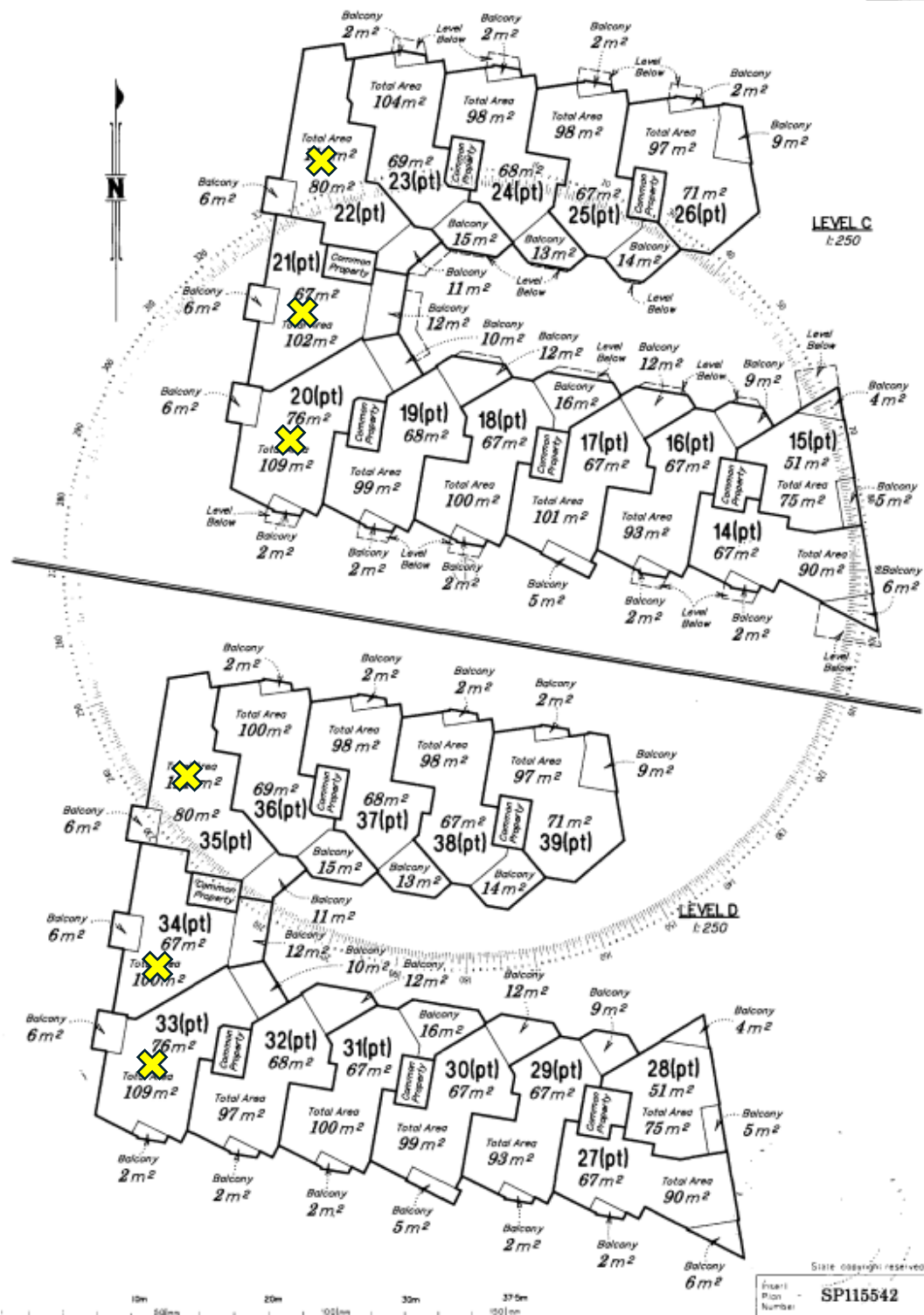
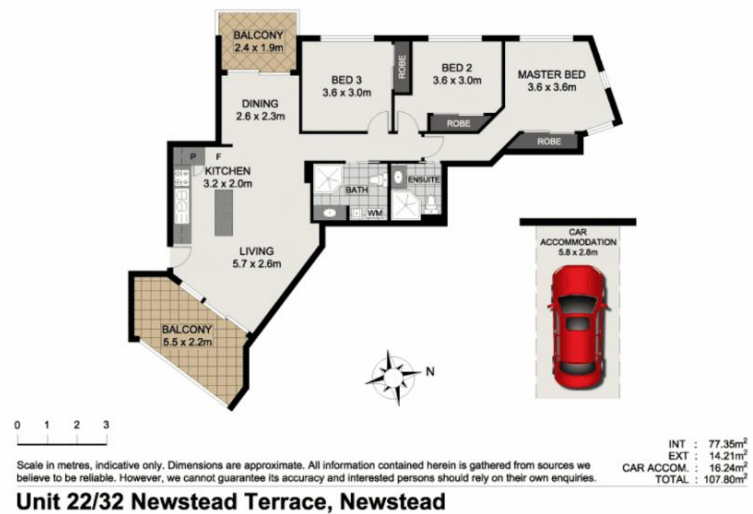


Figure 2. Level C & D (2 and 3), 32 – 38 Newstead Terrace, Newstead Survey Plan

Table A. Review of 32-38 Newstead Terrace, Newstead Floor Plans

Unit 22 – Level C northwest corner (Layout consistent with Unit 35 and Unit 9)

Floor Plan of Unit 22, demonstrating primary living areas and the main balcony are orientated east, away from the subject site. A small screened balcony and three bedroom windows (screened) are located along the western side of the building.



Internal layout of Unit 22, demonstrating the existing screening on the secondary balcony and limited outlook towards the subject site.



Primary balcony of Unit 22, demonstrating the functionality of this space and the orientation east, away from the subject site.



Unit 33 – Level D southwest corner (Layout consistent with Unit 20 and Unit 7)

33/32-38 NEWSTEAD TERRACE, NEWSTEAD

Floor Plan of Unit 33, demonstrating primary living areas and balcony are orientated northeast away from the subject site. A small screened balcony and the master bedroom window (screened) are located along the western side of the building.



Internal layout of Unit 33, demonstrating the internal outlook and existing screening of the secondary balcony facing towards the subject site.

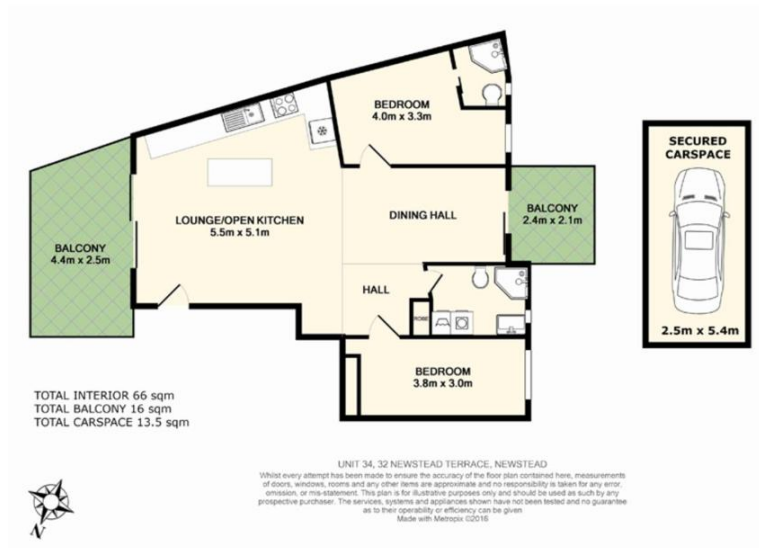


Primary balcony of Unit 33, demonstrating the functionality of this space and the orientation east, away from the subject site.



Unit 34 - Level D centre at western end (Layout consistent with Unit 34 and Unit 8)

Floor Plan of Unit 34, demonstrating primary living areas and balcony are orientated northeast away from the subject site. A small screened balcony and bedroom windows (screened) are located along the western side of the building.



Internal layout of Unit 34, demonstrating the existing screening of the secondary balcony and outlook towards the subject site.



Primary balcony of Unit 34, demonstrating the functionality of this space and the orientation east, away from the subject site.



In summary, the floor plans of the residential dwellings within proximity of the shared boundary with the proposed development have been reviewed. The review confirms that the proposed refinement in screening along the eastern façade will not result in overlooking or privacy impacts for the adjoining dwellings. This is supported by the following:

- The primary living areas and balconies within the adjoining units are generally orientated east towards Newstead Terrace and internal to the site, rather than towards the boundary shared with the proposed development.
- Secondary balconies, bathrooms and some bedrooms are located at the western end of the building along the interface with the proposed development. These secondary balconies and windows of bedrooms and bathrooms incorporate existing privacy screening, minimising opportunities for direct overlooking. A recent photograph taken on site shows the existing western façade and clearly establishes that all windows and openings addressing the subject site contain fixed screening (see figure 3 below).
- The balconies facing towards the subject site are relatively small, with an area of approximately 6m², and are also directly facing the western sun. These secondary balconies are designed to accommodate shorter periods of individual occupation or activities such as clothes drying, rather than function as the primary private open space for these units.



Figure 3. Eastern Boundary Interface

Notwithstanding the lack of impacts addressed above, further rationale for the proposed refinement of screening is outlined as follows:

- The refinement of the extent of screening on the proposed building shall improve access to natural light for future residents. This has been identified as particularly important for units at lower levels, as access to natural light from the east is obscured by the existing building at 32-38 Newstead Terrace.
- The areas where screening has been refined are generally associated with kitchen and dining areas rather than bedrooms, bathrooms or other private habitable spaces. Accordingly, the amended screening arrangement maintains the privacy of areas where it is essential.
- The location and orientation of the proposed units (focused towards the street or rear), together with the separation between the two buildings, minimises opportunities for direct overlooking and maintains an appropriate level of visual privacy between the buildings.
- The development continues to incorporate a combination of screening and landscaping along the eastern façade to minimise direct overlooking and maintain an appropriate level of residential privacy and amenity between the two buildings.