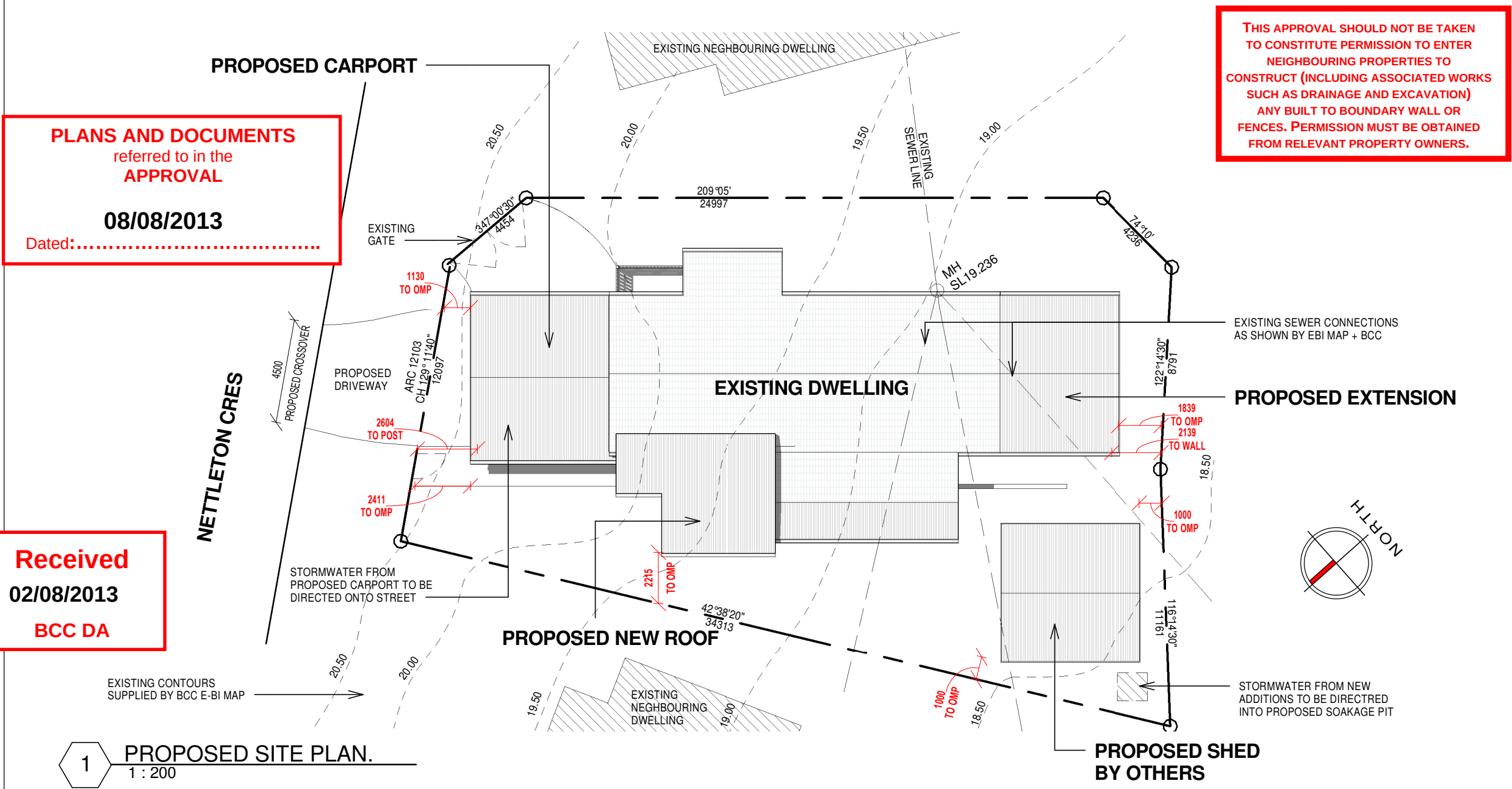




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Issue	Date	Description
A	07/05/2013	PRELIMINARY ISSUE
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SITE PLAN

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03

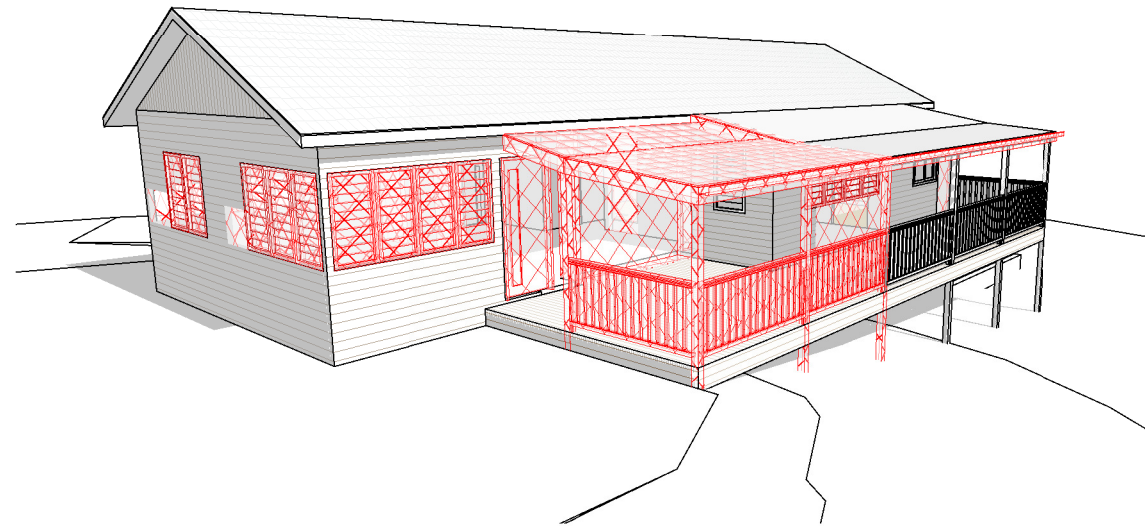
Job:
0337

PROPERTY DESCRIPTION:		
LOT:	17 on RP865631	
PARISH:	Y'PILLY	
COUNTY:	MOOROOKA	
SITE ANALYSIS:		
AREA:	BCC DS RECEIVED 21-JUL-2026 APPLICATION REF A007073728	599m ²
CODES:		
GENERAL NOTES:		
- TERMITE MANAGEMENT SYSTEM BCA 3.1.3 THE PRIMARY BUILDING ELEMENT OF THIS PROPOSED DWELLING MUST BE CONSTRUCTED OF A MATERIAL THAT COMPLY WITH THE BCA THAT ARE NOT AFFECTED BY TERMITES. ANY TIMBER BEING USED MUST BE NATURALLY TERMITE RESISTANT TIMBER OR PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS3660.1. PROVIDE A STICKER TO THE METER BOX AND THE KITCHEN CUPBOARD STATING THE BUILDING ELEMENTS ARE PROTECTED TO COMPLY WITH THE BCA 3.1.3 AND AS3660.1 - GUTTERS & DOWNPIPES ENSURE THAT ALL GUTTERS & DOWNPIPES ARE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE BCA, SECTION 3.2.5 AND AS/NZS 3500.5-2000 - ROOFWATER DRAINAGE ROOFWATER SHALL BE CONVEYED TO THE KERB AND CHANNEL OR AN INTER-ALLOTMENT DRAINAGE SYSTEM IN ACCORDANCE WITH AS/NZ3500.3.2. WHERE AN INTER-ALLOTMENT DRAINAGE IS NOT AVAILABLE OR IT IS NOT POSSIBLE TO CONVEY THE ROOF AND SURFACE WATER TO THE KERB AND CHANNEL, ABSORPTION TRENCHES SHALL BE INSTALLED AT LEAST 5m FROM ANY BUILDING OR DOWNSTREAM BOUNDARY. - ENERGY EFFICIENCY REPORT REQUIREMENTS OF ENERGY EFFICIENCY OF THIS DEVELOPMENT MUST BE CARRIED OUT AS PART OF THE PROPOSED DEVELOPMENT TO COMPLY WITH THE QDC 4.1 AND THE BCA 3.12 A FORM 16 - ASPECT CERTIFICATE TO CONFIRM COMPLIANCE WITH THE ENERGY REQUIREMENTS IS TO BE PROVIDED AT FINAL INSPECTION. - PLATFORM IMMEDIATELY SURROUNDING THE BUILDING IS TO FALL AWAY FROM THE BUILDING AT A SLOPE OF 1 IN 20 MINIMUM TO AN EARTH DRAIN ON THE SITE PLAN. - THE SURFACE DRAINAGE TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO THE ADJOINING PROPERTIES. - CUT AND FILL BATTERS NOT TO EXCEED A MAXIMUM SLOPE OF 1 VERTICAL * HORIZONTAL. 1000 MAXIMUM HIGH TIMBER RETAINING WALL WITH 90ø SLOTTED AG. DRAIN (DISCHARGING TO STORM WATER DRAIN) AND GRANULAR BACKFILL BEHIND TO BE WHOLLY CONTAINED WITHIN THE SITE, ONLY IF INDICATED ON THE PLAN. - HEIGHT OF FENCE, INCLUDING THE HEIGHT OF A RETAINING WALL ARE NOT TO EXCEED 1.8m ABOVE FINISHED GROUND LEVEL, ONLY IF INDICATED ON THE SITE PLAN. - DRIVEWAY SLOPE NOT TO EXCEED 1 VERTICAL TO 4 HORIZONTAL. DRIVEWAY AND FOOTPATH CROSSOVER TO LOCAL GOVERNMENT REQUIREMENTS. - ALL TIMBER FRAMED WALL TO WET AREAS TO BE LINED WITH WATERPROOF CLADDING - FLOORS TO ALL WET AREAS TO HAVE A FALL TO A FLOOR WASTE. - WC's TO HAVE A MINIMUM CLEARANCE OF 900mm. - DOOR TO WC TO HAVE LIFT-OFF HINGES. - ALL MASONRY CONSTRUCTION TO AS3700. - WRITTEN DIMENSIONS TO HAVE PREFERENCE OVER SCALED DIMENSIONS.		

LEGEND:

----- DENOTES ITEMS TO BE DEMOLISHED FOR NEW WORKS

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EXISTNG DEMO. 3D MODEL

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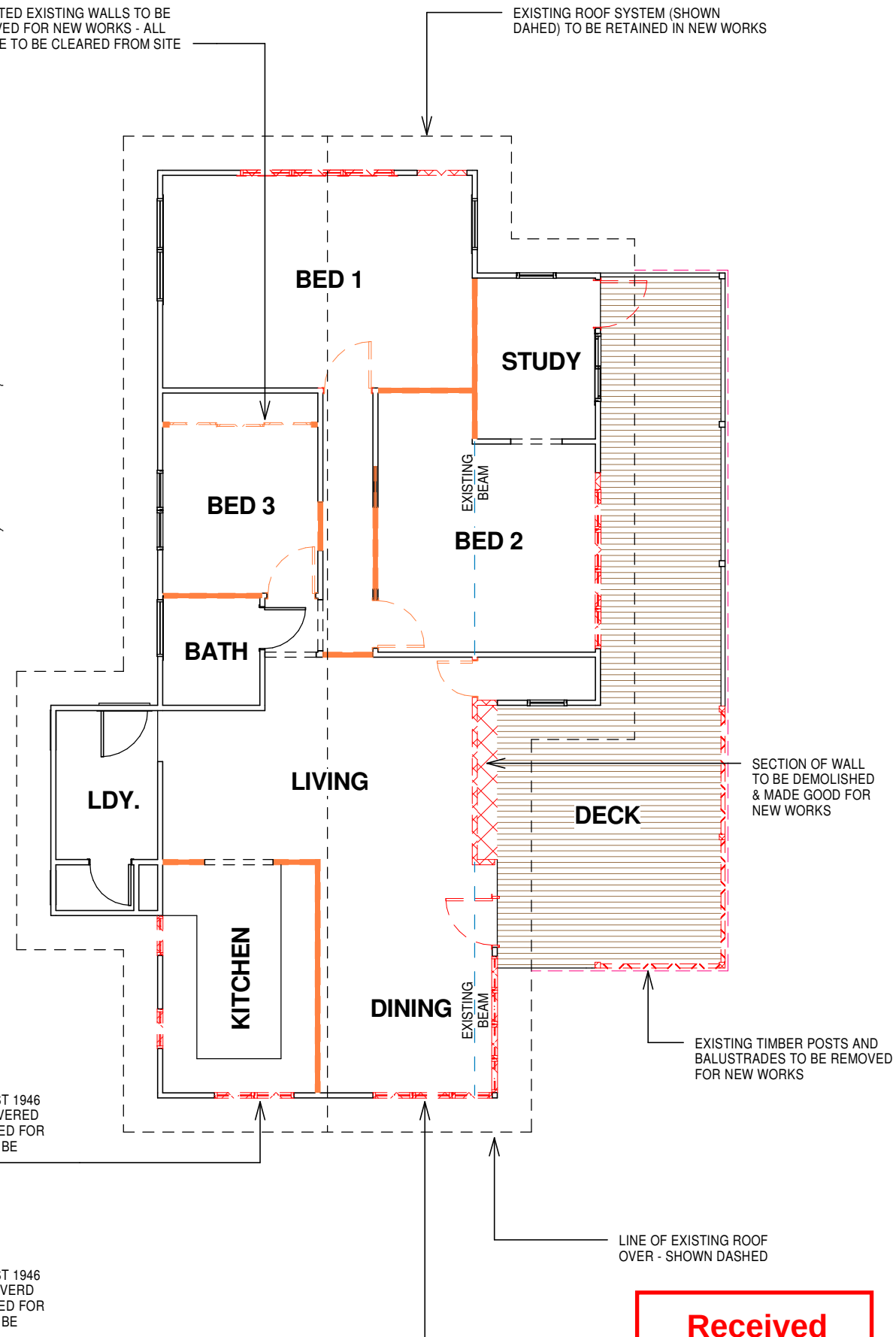
1 EXISTING FLOOR / DEMOLITION PLAN
1 : 100

SELECTED EXISTING WALLS TO BE
RMEOVED FOR NEW WORKS - ALL
RUBBLE TO BE CLEARED FROM SITE

EXISTING ROOF SYSTEM (SHOWN
DAHED) TO BE RETAINED IN NEW WORKS

SELECTED EXISTING POST 1946
ALUMINIUM FRAMED LOUVERD
WINDOWS TO BE REMOVED FOR
NEW WORKS - RUBLE TO BE
REMOVED FROM SITE

SELECTED EXISTING POST 1946
ALUMINIUM FRAMED LOUVERD
WINDOWS TO BE REMOVED FOR
NEW WORKS - RUBLE TO BE
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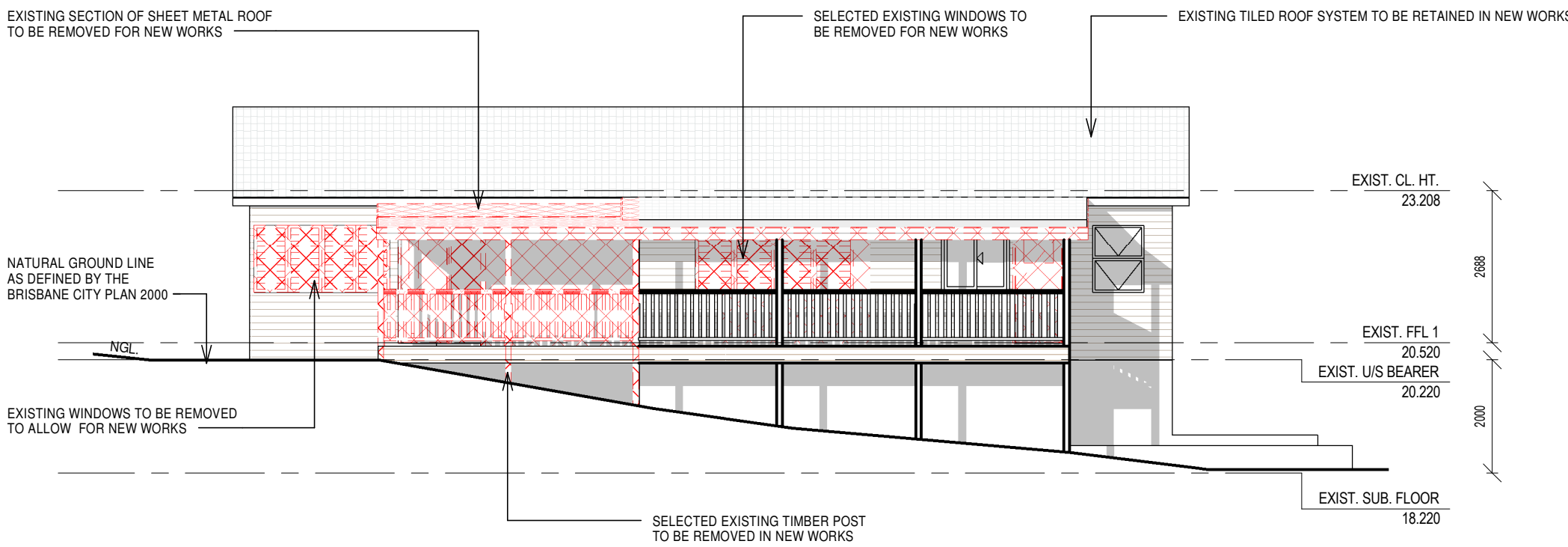
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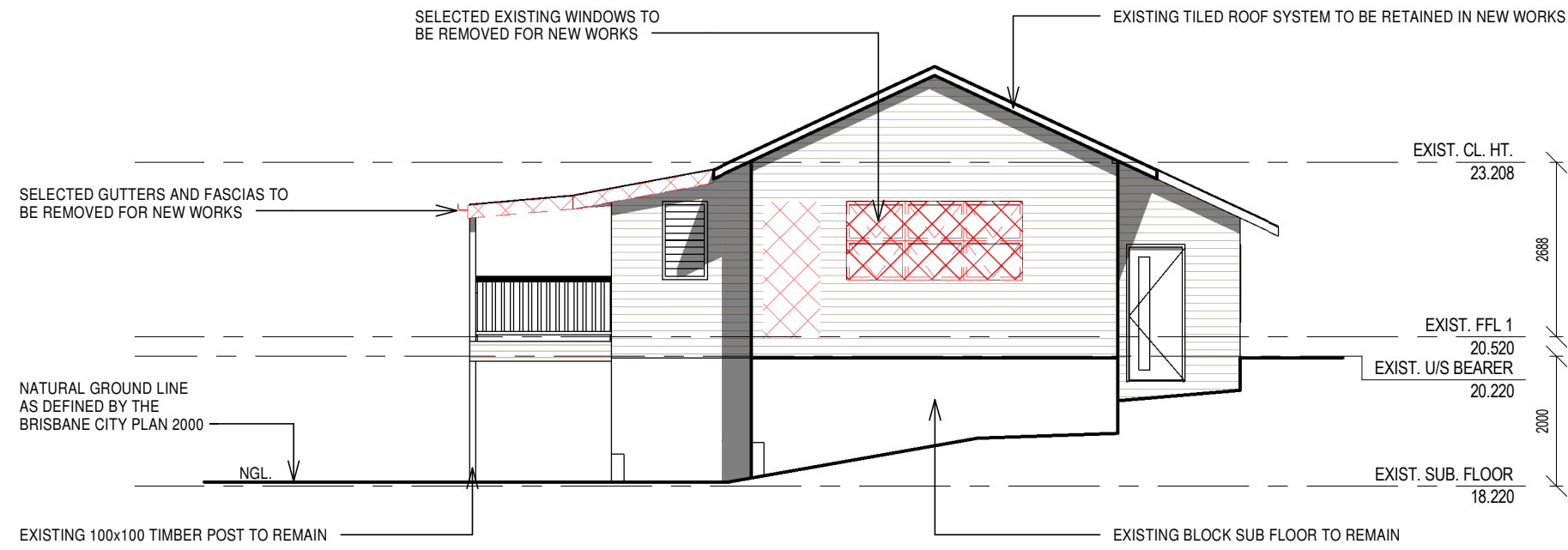
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1 **EXISTING EAST ELEVATION**
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2 **EXISTING NORTH ELEVATION**
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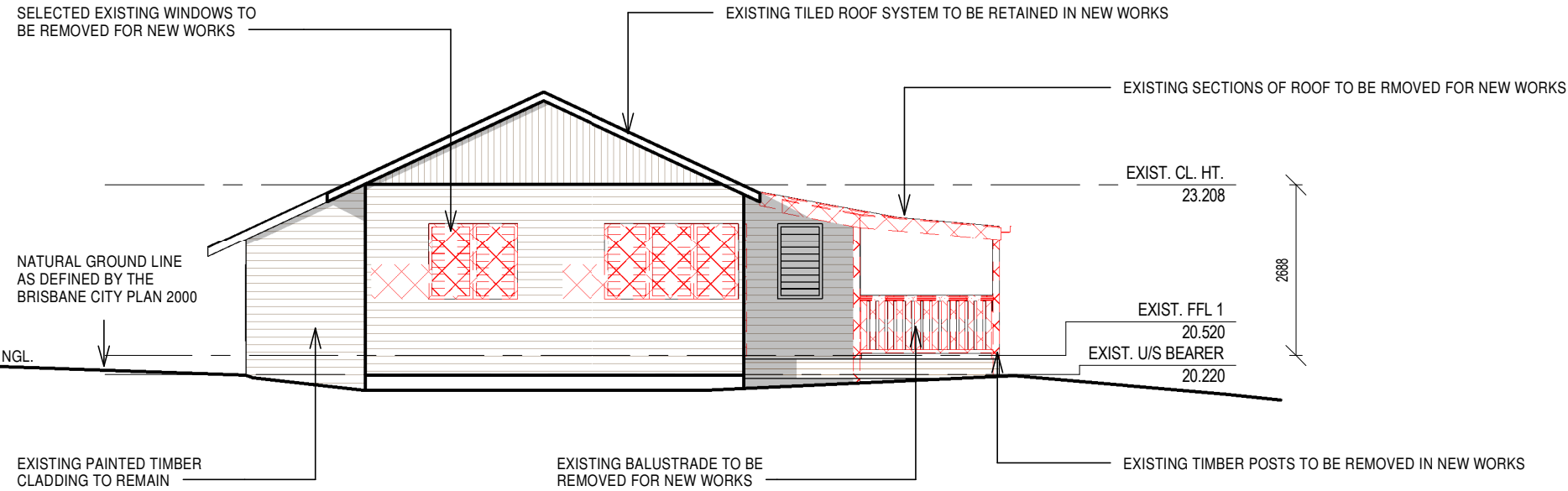
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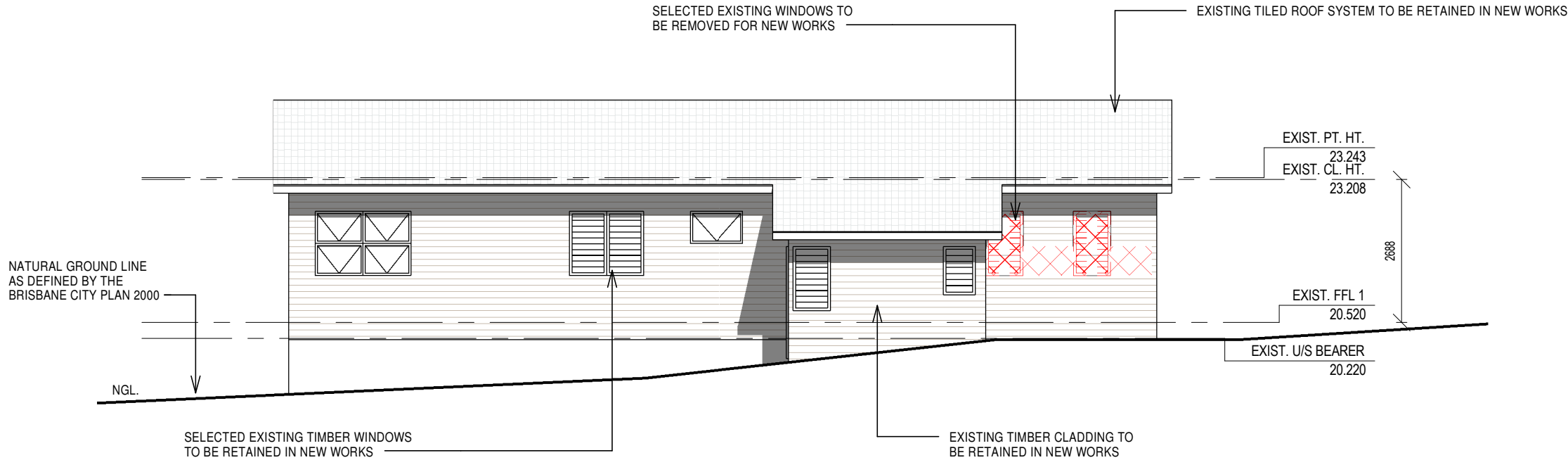
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2 **EXISTING WEST ELEVATION**
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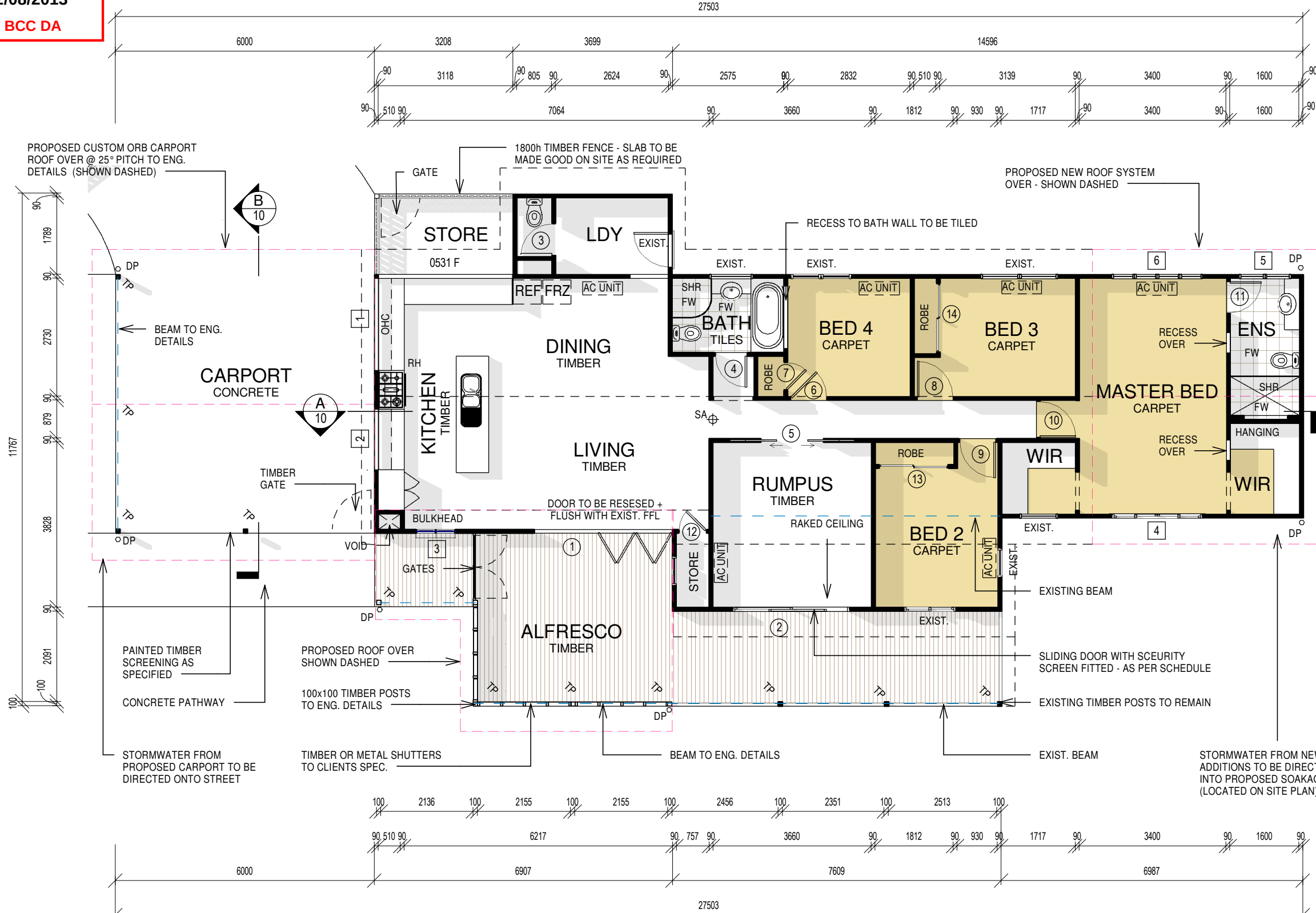
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Issue	Date	Description
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BA	13/05/2013	BA ISSUE

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BA ISSUE	BA

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PROPOSED FLOOR PLAN

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07	0337	



GENERAL NOTES

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- WRITTEN DIMENSIONS TO HAVE PREFERENCE OVER SCALED DIMENSIONS.

LEGEND

FW	FLOOR WASTE
TP	TIMBER POST
SHS	SQUARE HOLLOW SECTION
DP	DOWN PIPE
OHC	OVER HEAD CUPBOARD
RH	RANGE HOOD

1 PROPOSED FLOOR PLAN.
1 : 100

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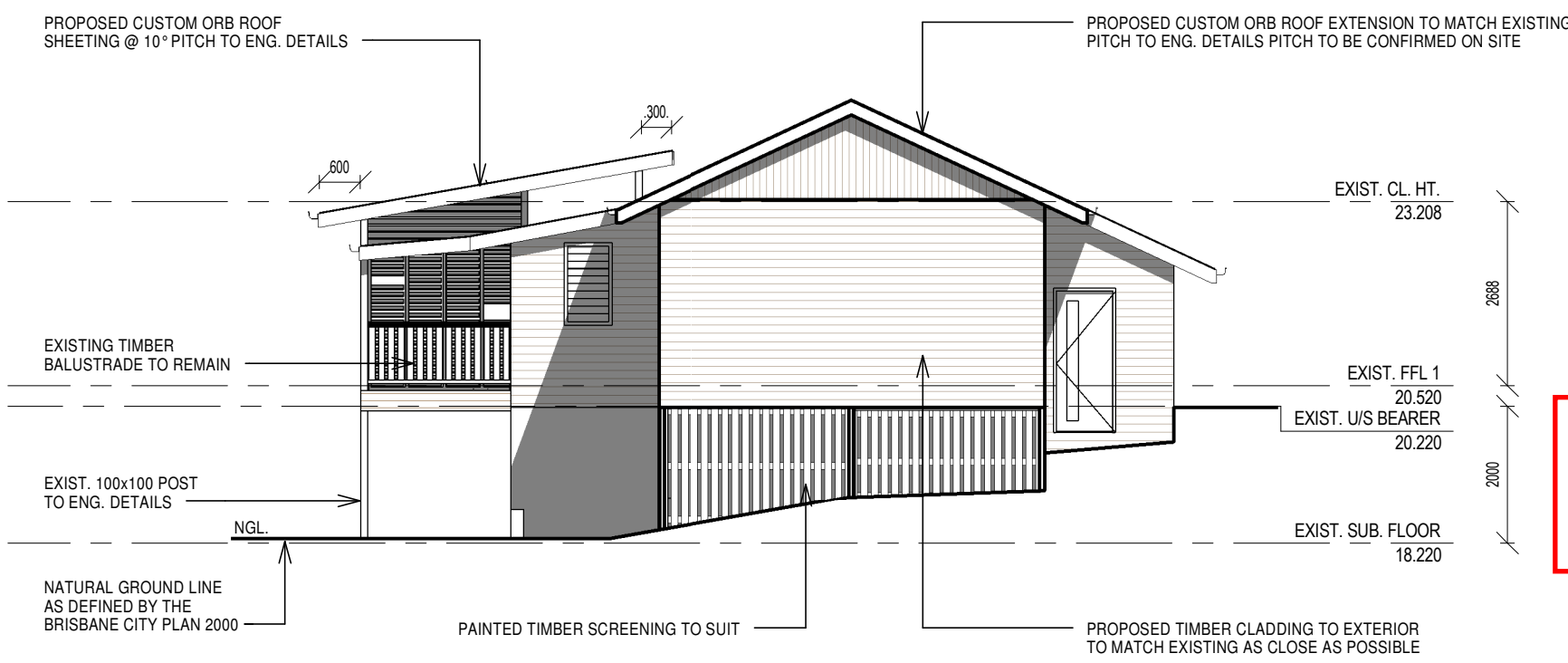
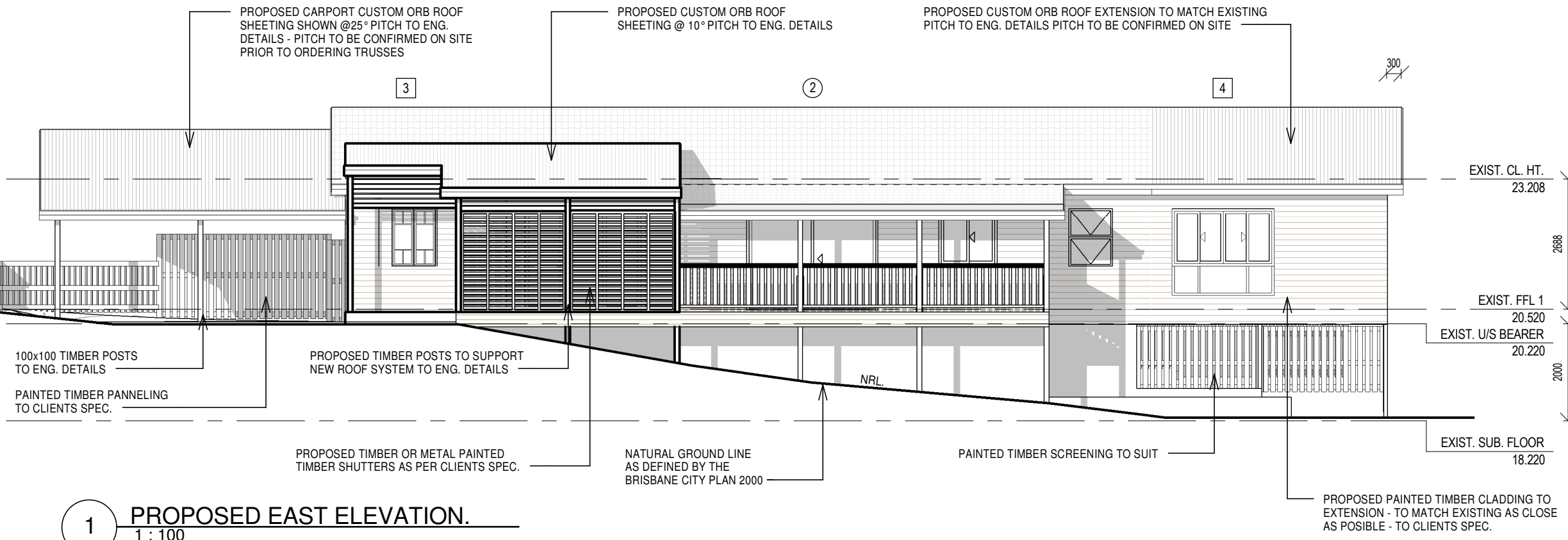
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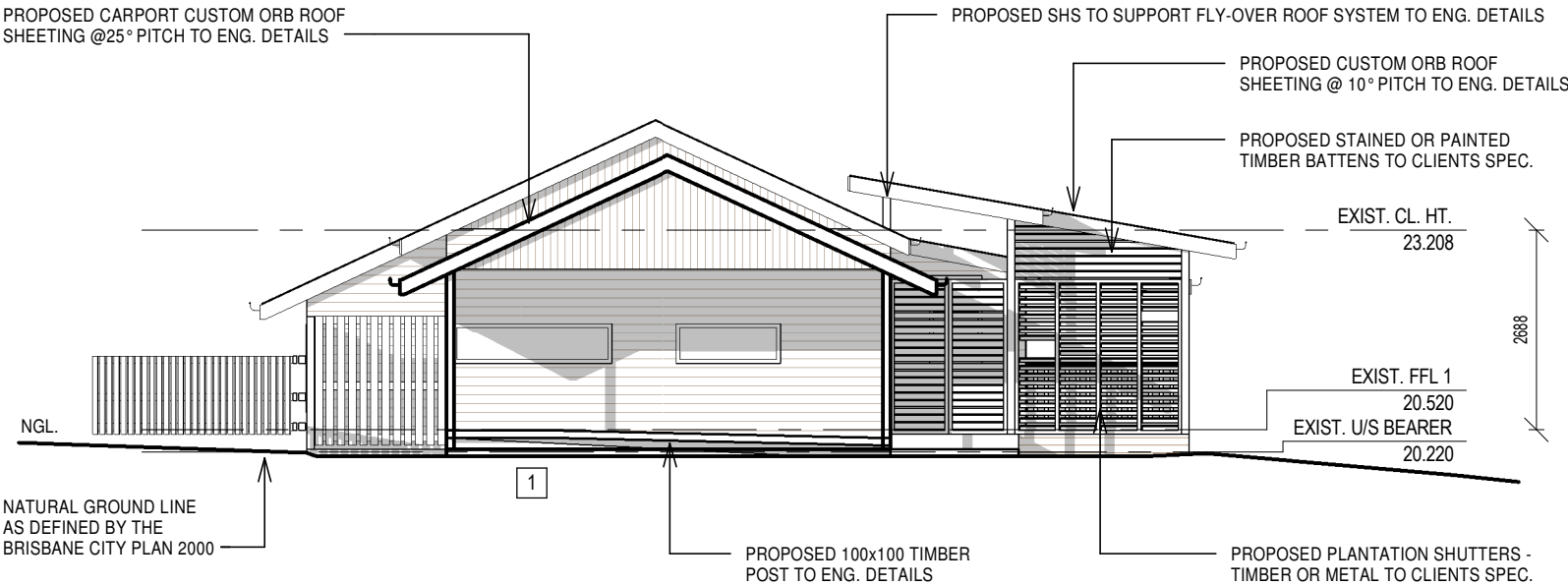


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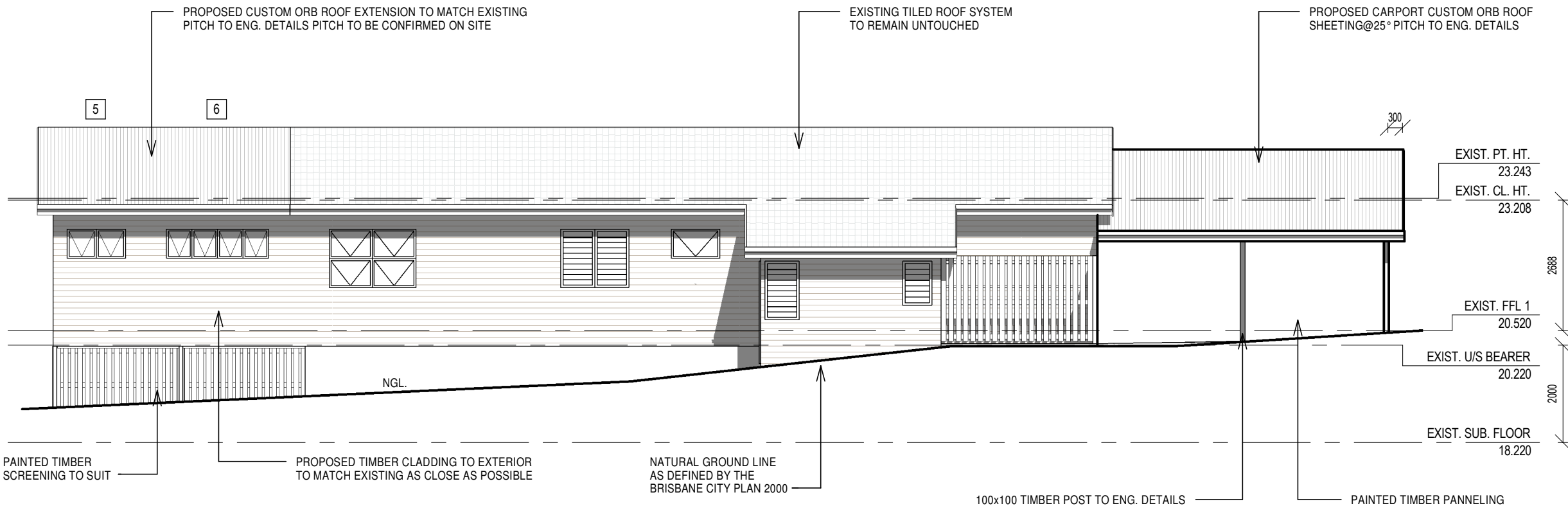
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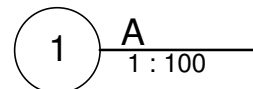
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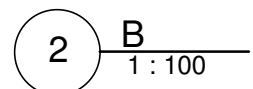
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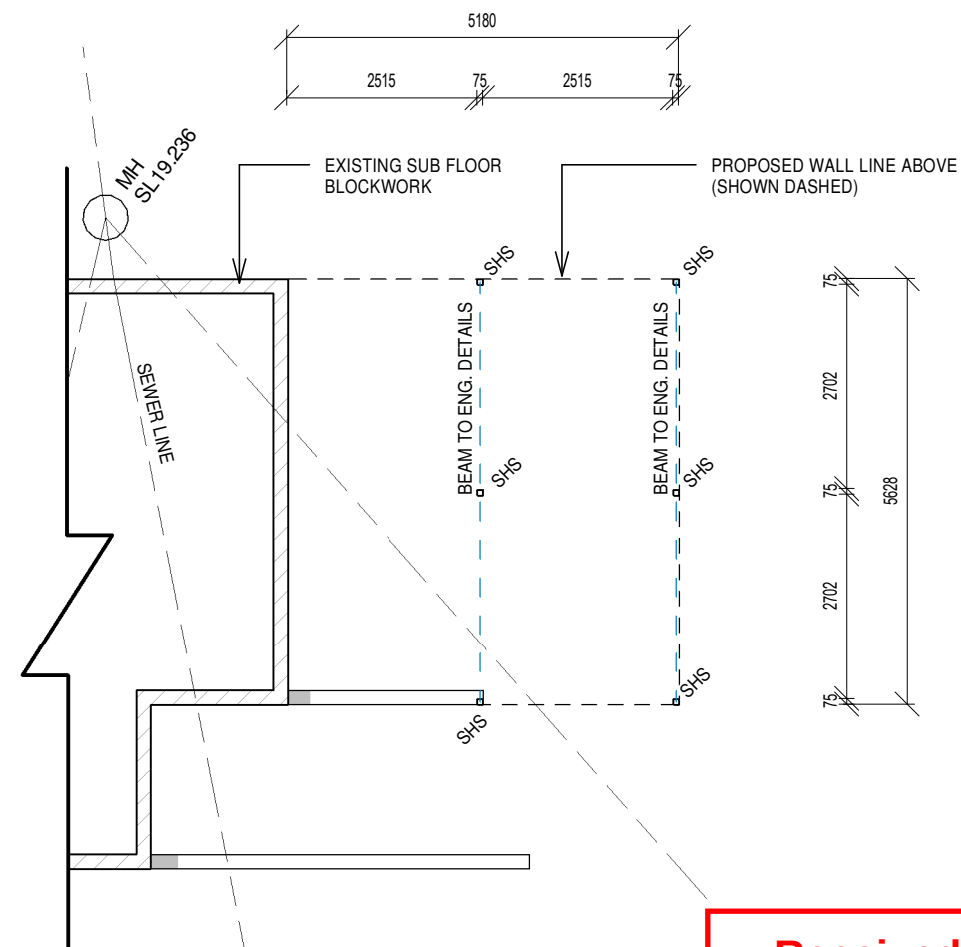
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