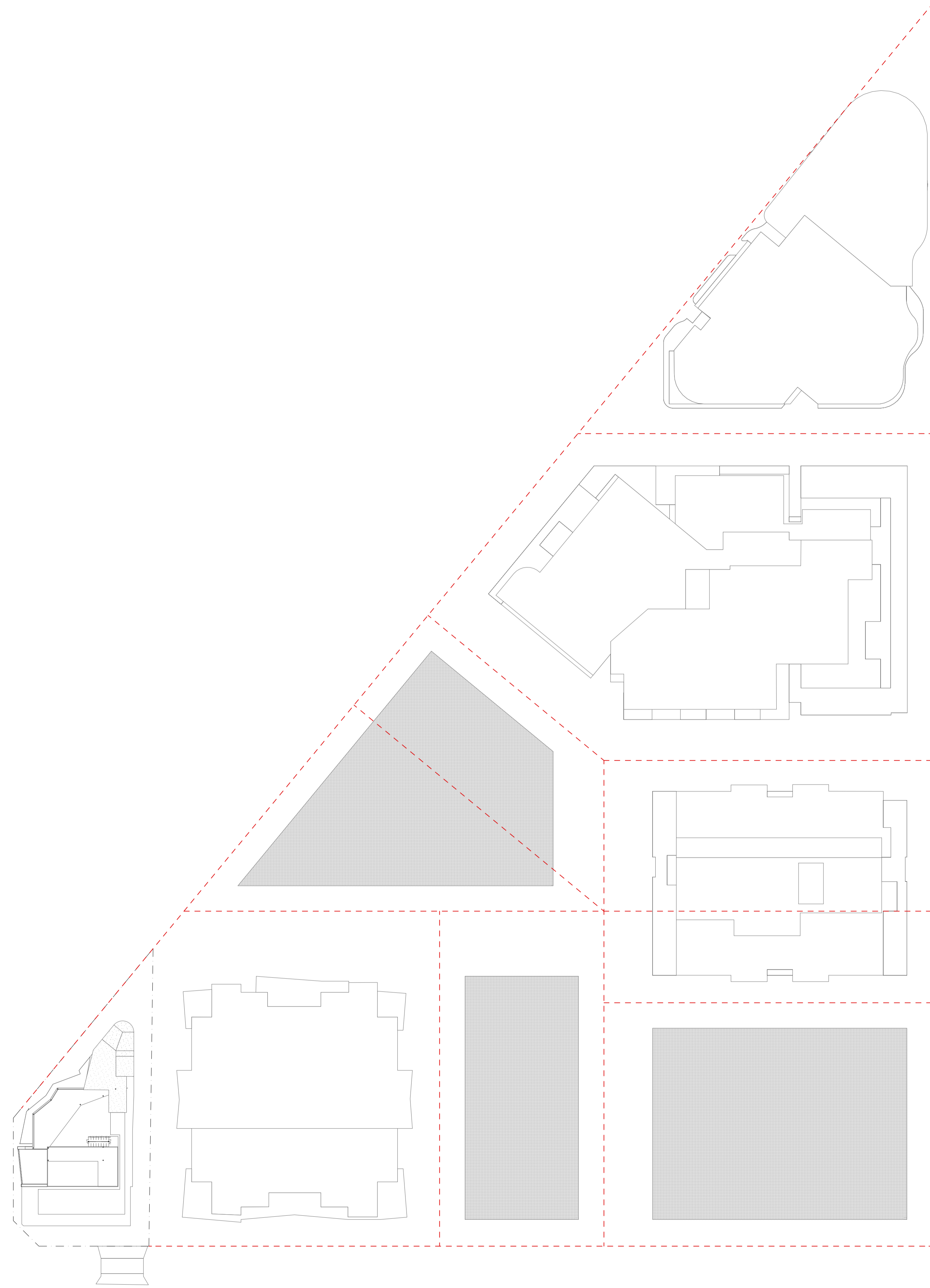


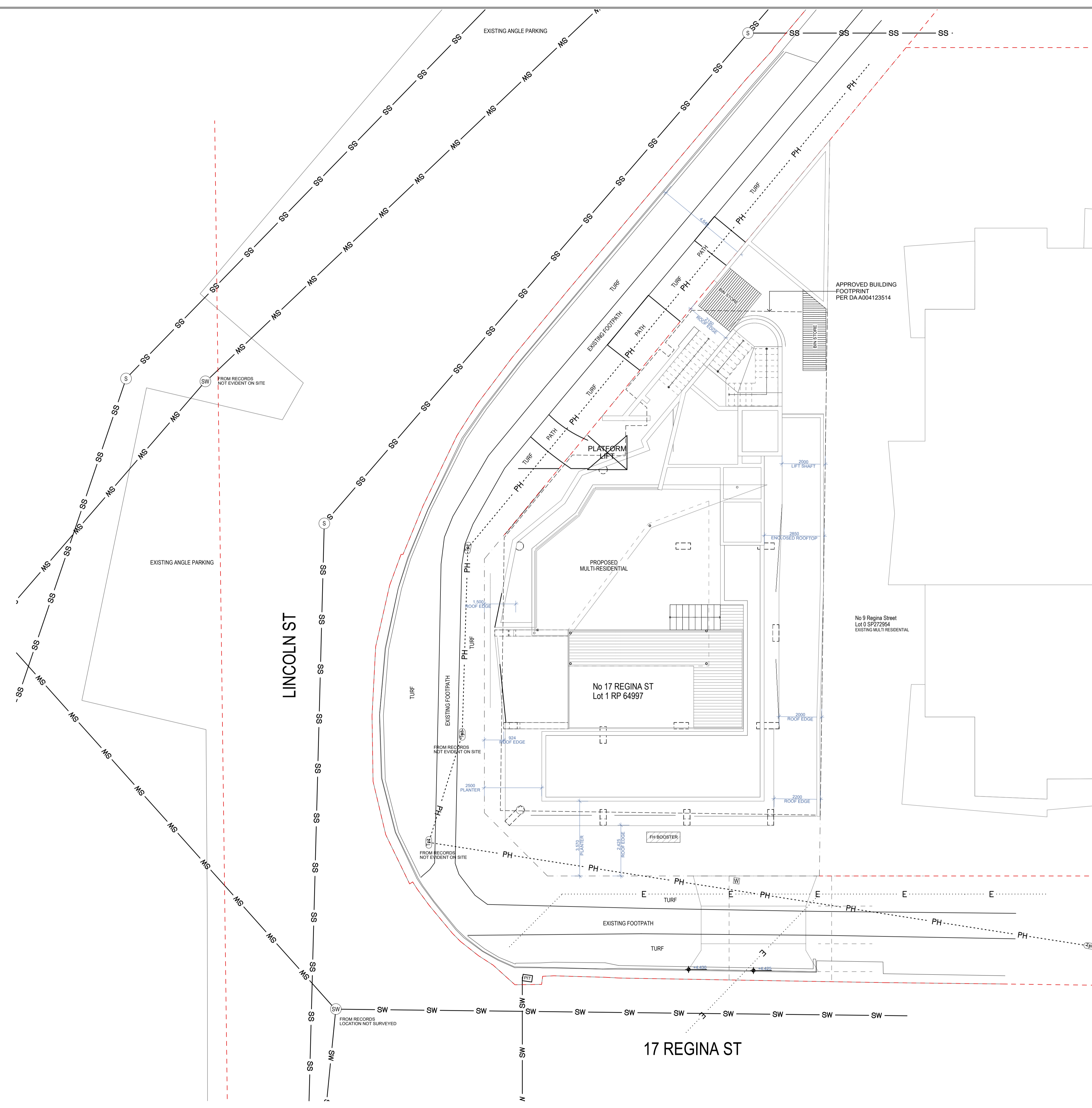
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02	DA Drawing RFI Response			21/06/2024
03	DA Drawing Amendments			4/10/2024
04	DA Drawing Amendments			28/11/2024
05	DA Drawing Amendments			19/02/2025
09	Town Planning Issue 2025-06-04			4/06/2025

Page No.	Title	Current Issue	Issued Date
SC000	Cover Sheet	09	4/06/2025 10:37 AM
SC001	Site Context plan	09	4/06/2025 10:37 AM
SC002	Site Plan	09	4/06/2025 10:37 AM
SC003	Site Cover Diagrams	05	19/02/2025 12:32 PM
SC100	Undercroft Plan	09	4/06/2025 10:37 AM
SC101	Floor Plans	09	4/06/2025 10:37 AM
SC102	Floor Plans	09	4/06/2025 10:37 AM
SC103	Floor Plans	09	4/06/2025 10:37 AM
SC104	Floor Plans	09	4/06/2025 10:37 AM
SC105	GFA Diagrams	05	19/02/2025 12:32 PM
SC106	GFA Diagrams	05	19/02/2025 12:32 PM
SC107	GFA Diagrams	05	19/02/2025 12:32 PM
SC108	GFA Diagrams	05	19/02/2025 12:32 PM
SC301	Elevations 1 of 2	09	4/06/2025 10:37 AM
SC302	Elevations 2 of 2	09	4/06/2025 10:37 AM
SC303	DA RFI Elevation 1 of 3	04	28/11/2024 4:21 PM
SC304	DA RFI Elevation 2 of 3	04	28/11/2024 4:21 PM
SC305	DA RFI Elevation 3 of 3	04	28/11/2024 4:21 PM
SC401	Sections	09	4/06/2025 10:37 AM
SC402	Sections	09	4/06/2025 10:37 AM
SC403	Sections	09	4/06/2025 10:37 AM
SC107	Perspectives	09	4/06/2025 10:37 AM
SC108	Perspectives	09	4/06/2025 10:37 AM
SC109	Perspectives	09	4/06/2025 10:37 AM
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SC112	Perspectives	09	4/06/2025 10:37 AM
SC113	Perspectives	09	4/06/2025 10:37 AM
SC114	Perspectives	09	4/06/2025 10:37 AM





SITE NOTES
 All construction is to be in accordance with the Building Code of Australia (BCA) and with the Building Act 1991.
 Where boundary survey pegs do not exist the owner shall provide a check survey at their expense prior to the commencement of construction.
 Earthworks batters are to be 1in1.5 maximum for cut and 1in2 maximum for fill or as directed by the local authority.
 Unless noted otherwise all excess soil is to be stockpiled on site.
 Cutoff indicated on the site plan and/or elevations may vary at the construction stage and the building shall conform with designer and adjust as required.
 Any variation to the earthworks at the construction stage is to be in accordance with the local authorities requirements.
 Position of retaining walls and batters may vary at the construction stage. The builder shall confirm any variations prior to construction with the designer.
 The stormwater is to be discharged as directed by the local authority. Sewerage and septic to be in accordance with local authorities requirements.
 All dimensions and levels on plans are to be confirmed on site prior to construction. The owner accepts responsibility for all landscaping, drainage and retaining after completion of construction if necessary.



Area Schedule Site Cover		
Story	Name	Measured Area
Ground_Covered	Site Podium	318.56
		318.56 m ²
Ground_Open	Site Open	82.89
		82.89 m ²
Second_Covered	Site Tower	231.66
		231.66 m ²
Second_Open	Site Open	76.00
	Site Podium	93.73
		169.73 m ²

R.P.D.: Lot 1 RP 64997
 Local Authority: Brisbane City Council
 Area: 401m²
 Zoning/Overlays: HDR1
 TBCC: NO
 Pre-1911: NO
 Small Lot: YES
 Waterway: NO
 Flood Level: BR5 / CW2
 6.0m MIN HABITABLE
 5.5m CARPARK
 Transport Corridor: Category 0
 Climate Zone: 2



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 BDAQ No.: 4079
 ABN: 1521832665

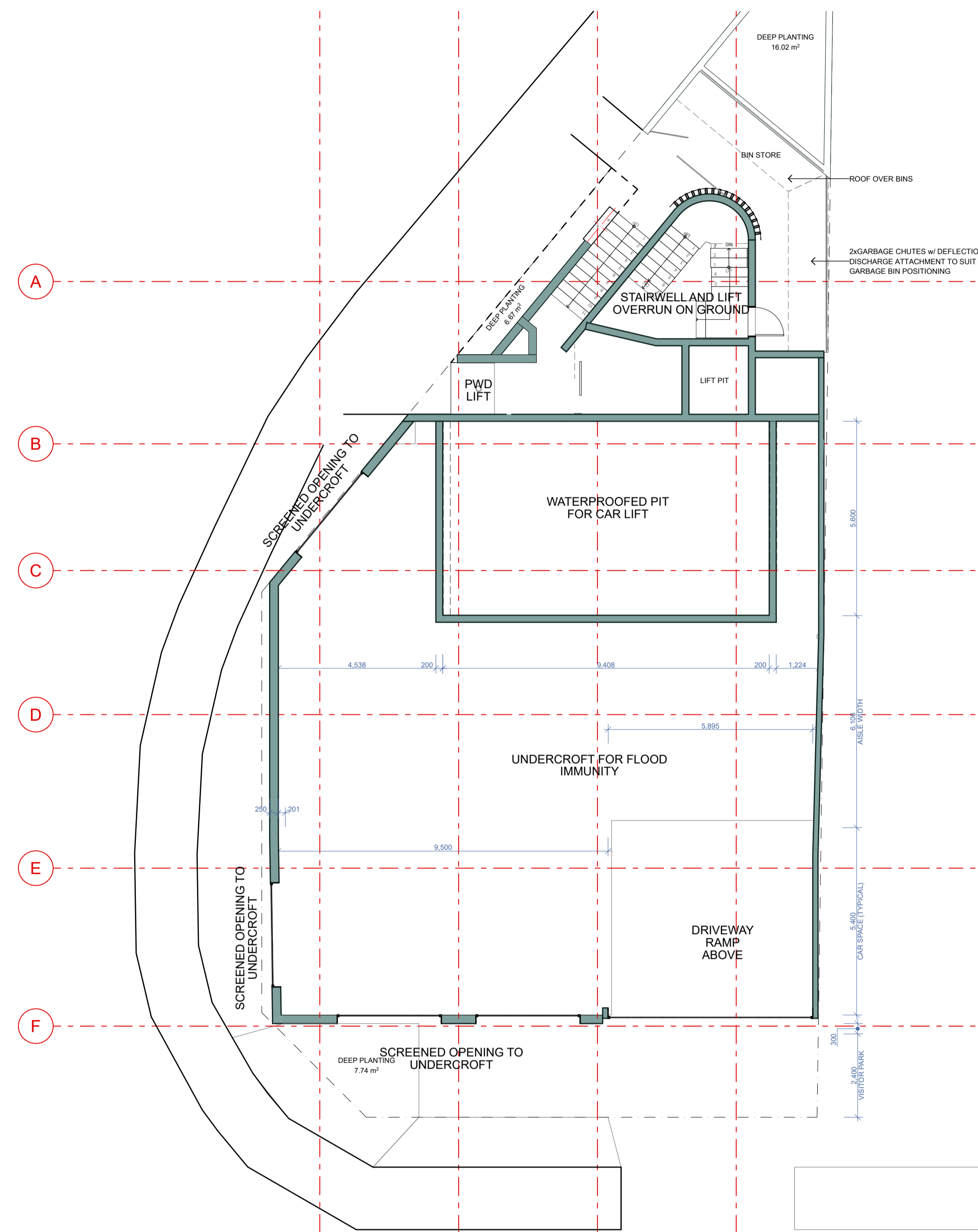
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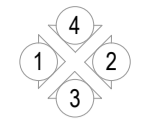
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 Plot Date: 4/06/2025
 Project NO: 22013
 Project Status: Prelim DA
 Client: Anthony McKay
 Climate Zone: 2
 Wind Region: NZ1/33N
 Site: 17 REGINA ST GREENSLOPES

DRAWING TITLE: PRELIMINARY DESIGN
Site Plan
 PROJECT NAME: REGINA ST

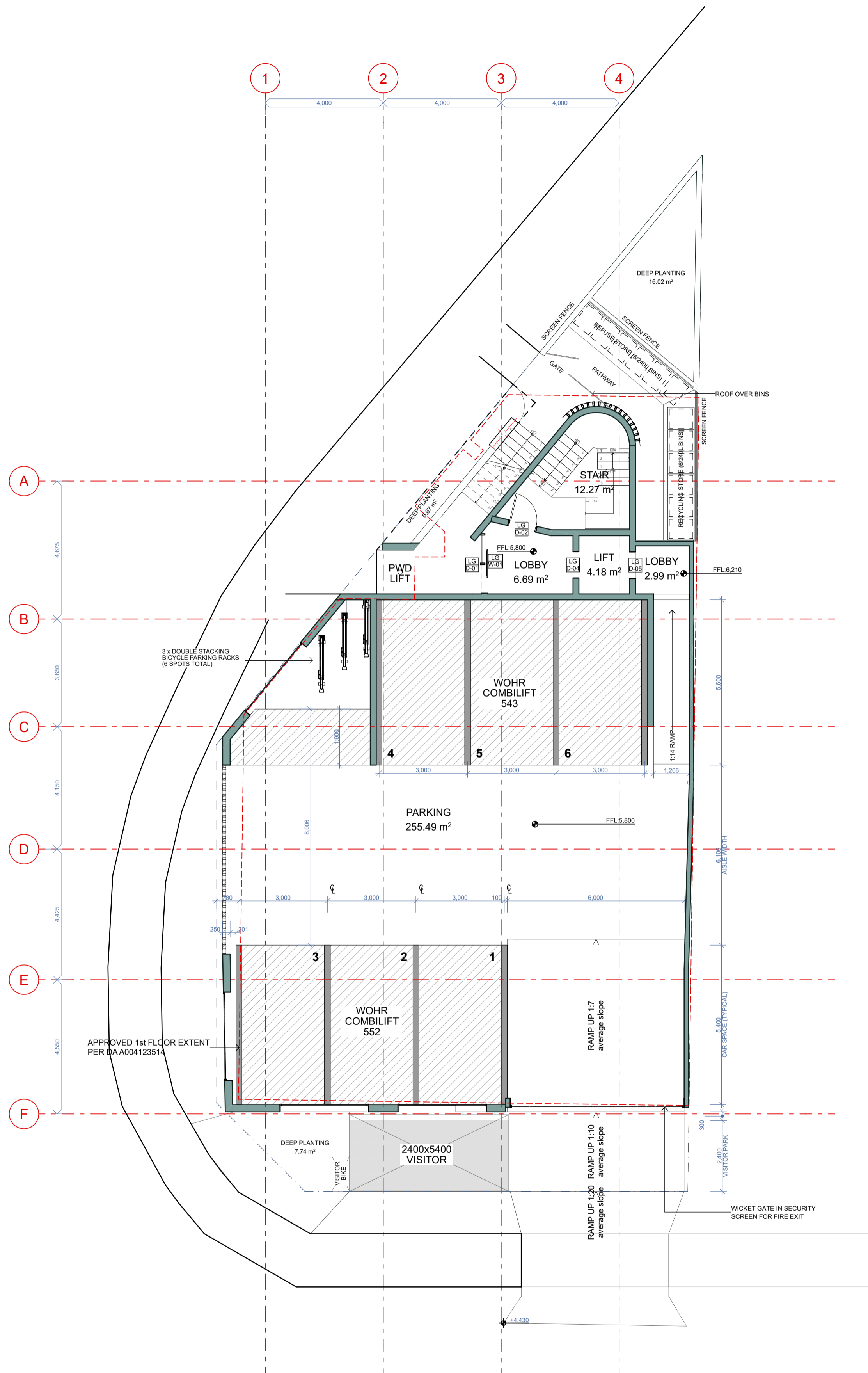
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09
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SC002
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Undercroft

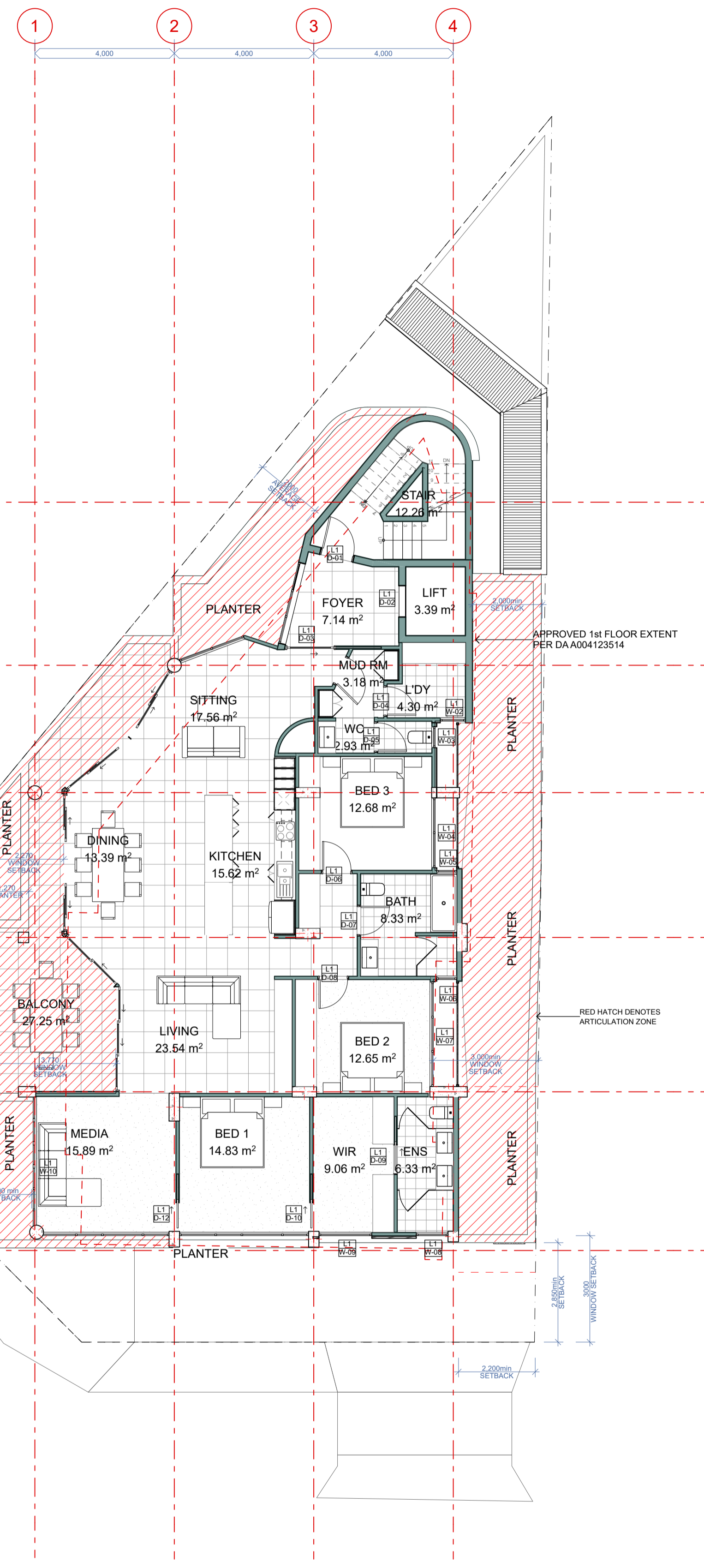




ELEVATION KEY



0. Ground
Scale 1:100



1. First
Scale 1:100

GENERAL NOTES
All construction is to be in accordance with the Building Code of Australia (BCA 2014).
Flooring provision only.
Concrete construction is to comply with AS3600.
Masonry construction is to comply with AS3700 and clause F1.4 of the BCA.
Steel construction is to comply with AS4100.
Timber construction is to comply with AS1720.1, AS1604, AS1684.
Glazing and windows are to comply with clauses D2.13 and D2.14 of the BCA.
Balustrades are to comply with clauses D2.16 and D2.17 of the BCA.
All wet areas are to have floor waste with local fall to floor waste.
Clips and waterproofing is to be in accordance with part F1 of the BCA.
WC store area is to comply with clause F2.5 (c) of the BCA.
Lighting in all areas is to comply with clauses F4.1 to F4.4 of the BCA.
Ventilation is to comply with clauses F4.5 to F4.10 of the BCA.
All dimensions and levels on plans are to be confirmed on site prior to commencing construction.
Where possible all new construction is to match existing when extending and/or renovating.
All dimensions are in millimetres unless noted otherwise.

TERMITE NOTES
Provide termite protection in accordance with AS3601 and the Building Code of Australia (BCA).
The builder and owner shall negotiate an option for termite control with the code. The builder shall make available to the owner information written for the consumer relating to termite protection options.
In respect of writing the selected option and each retain a copy signed by both parties.
A copy of the option selected is to be provided to the local authority with the building application.
The home owner and subsequent owners shall be responsible for arranging inspections by trained person at maximum intervals of twelve months.
Should the current owner wish to sell the residence, it shall be their responsibility to provide the new owner with a copy of the signed termite protection option adopted.

Area Schedule		
Level	Type	Area
Ground	CARPARK	255.42
	LOBBY / STAIR / LIFT	34.44
	PORCH	6.78
		296.64 m²
First	LIFT / STAIR	19.23
	LIVING (UNIT GFA)	185.06
	PRIVATE OPEN SPACE	28.76
	233.05 m²	
Second	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m²	
Third	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m²	
Fourth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m²	
Fifth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m²	
Sixth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m²	
Roof Terrace	ROOFED ENCLOSED	19.91
	ROOFED UNENCLOSED (COMMUNAL OPEN SPACE)	67.89
	STAIR / LIFT	17.45
	UNROOFED (COMMUNAL OPEN SPACE)	33.01
	138.26 m²	
	1,810.25 m²	



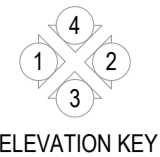
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Phone: (07) 3311 1133
Email: info@flourisharchitecture.com.au
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ABN: 1521832685

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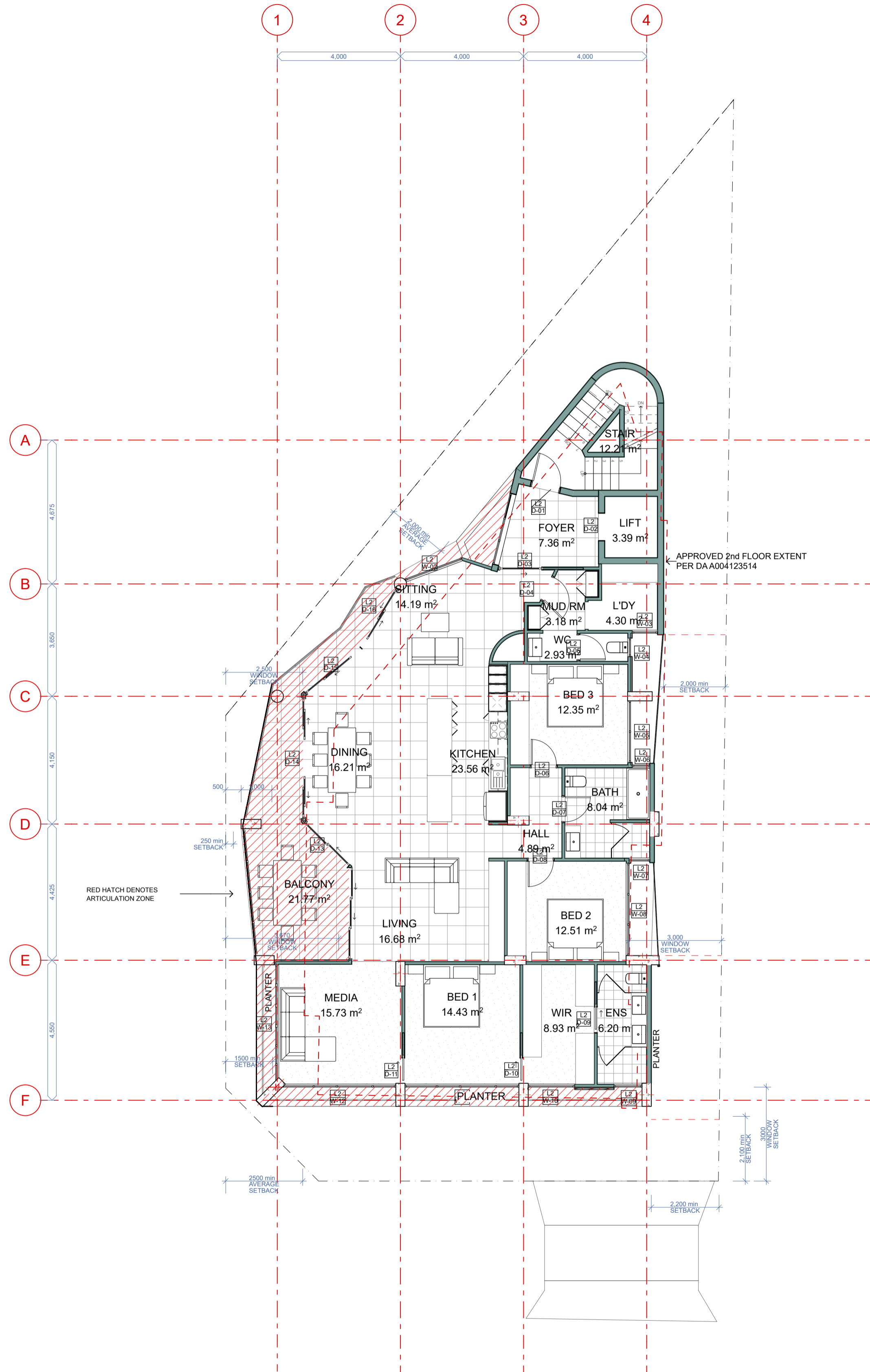
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Plot Date: 4/06/2025
Project NO: 220113
Project Status: Prelim DA
Client: Anthony Mckay
Climate Zone: 2
Wind Region: N2/N3/3N
Site: 17 REGINA ST GREENSLOPES

DRAWING TITLE: Preliminary Plans
Floor Plans
PROJECT NAME: REGINA ST

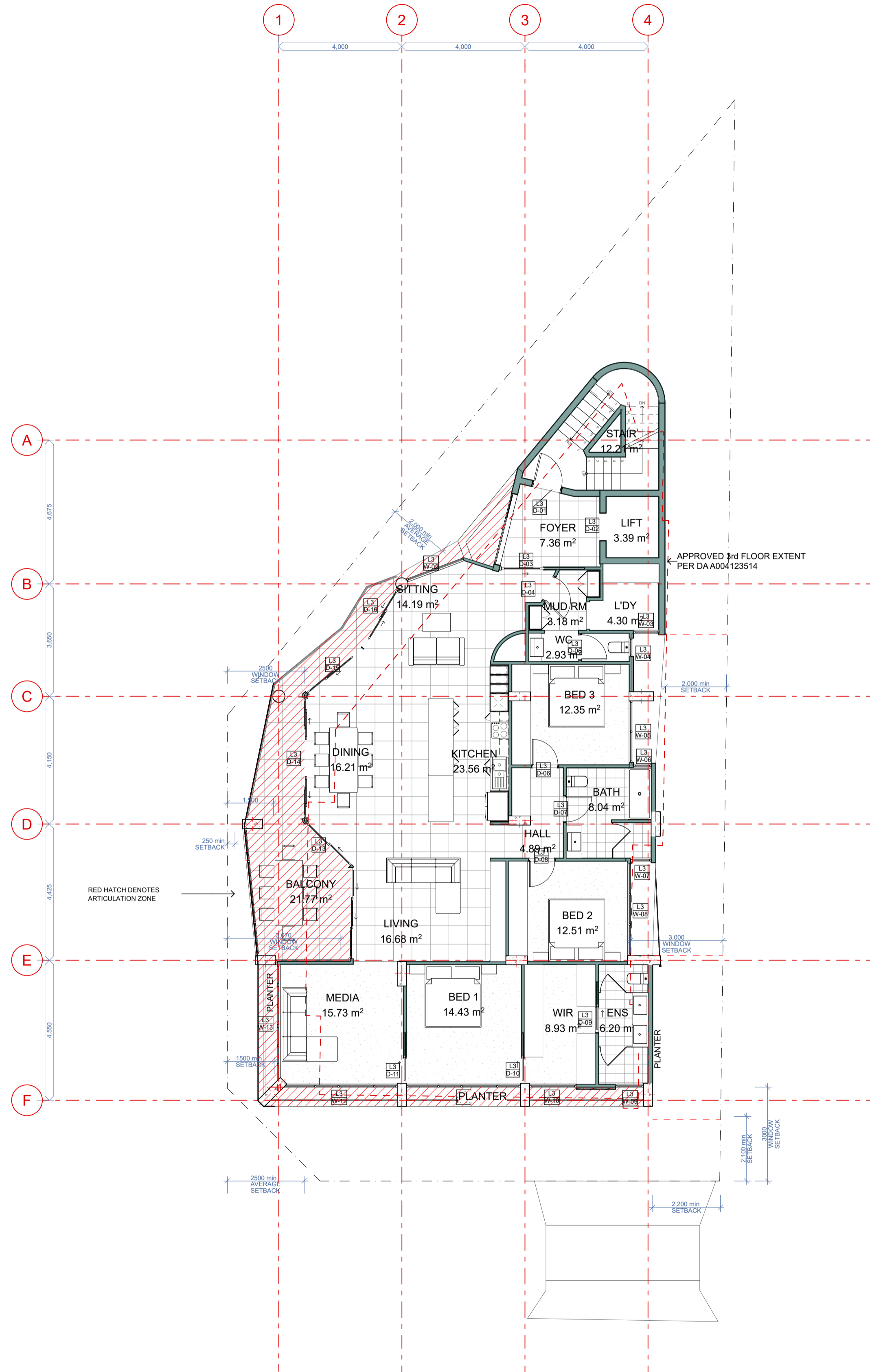
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2m



ELEVATION KEY



2. Second
Scale 1:100



3. Third
Scale 1:100

GENERAL NOTES
 All construction is to be in accordance with the Building Code of Australia (BCA 2014).
 Housing provision only.
 Concrete construction is to comply with AS3600.
 Masonry construction is to comply with AS3700 and clause F1.4 of the BCA.
 Steel construction is to comply with AS4100.
 Timber construction is to comply with AS1720.1, AS1904, AS1984.
 Glass and glazing are to comply with clauses G2.13 and G2.14 of the BCA.
 Balustrades are to comply with clauses G2.16 and G2.17 of the BCA.
 All wet areas are to have floor waste with local fall to floor waste.
 Clrps and waterproofing is to be in accordance with part F1 of the BCA.
 WC store are to comply with clause F2.5 (c) of the BCA.
 Lighting in all areas is to comply with clause F4.1 to F4.4 of the BCA.
 Ventilation is to comply with clause F4.5 to F4.10 of the BCA.
 All dimensions and levels on plans are to be confirmed on site prior to commencing construction.
 Where possible all new construction is to match existing when extending and/or renovating.
 All dimensions are in millimetres unless noted otherwise.

TERMINATE NOTES
 Provide terminate provisions in accordance with AS3700.1 and the Building Code of Australia (BCA).
 The builder and owner shall negotiate an option for terminate control within the code. The builder shall make available to the owner information written for the consumer relating to terminate provision options.
 1. Record in writing the selected option and each retain a copy signed by both parties.
 2. A copy of the option selected is to be provided to the local authority with the building application and subsequent owners shall be responsible for arranging inspections by trained person at maximum intervals of twelve months.
 Should the current owner wish to sell the residence, it shall be their responsibility to provide the new owner with a copy of the signed terminate provision option adopted.

Level	Area Schedule	
	Type	Area
Ground	CARPARK	255.42
	LOBBY / STAIR / LIFT	34.44
	PORCH	6.78
		296.64 m ²
First	LIFT / STAIR	19.23
	LIVING (UNIT GFA)	185.06
	PRIVATE OPEN SPACE	28.76
	233.05 m ²	
Second	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Third	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Fourth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Fifth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Sixth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Roof Terrace	ROOFED ENCLOSED	19.91
	ROOFED UNENCLOSED (COMMUNAL OPEN SPACE)	67.89
	STAIR / LIFT	17.45
	UNROOFED (COMMUNAL OPEN SPACE)	33.01
		138.26 m ²
		1,810.25 m ²



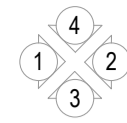
3/191 WARDELL ST,
 ENOGGERA 4051
 Phone: (07) 3311 1133
 Email: info@flourisharchitecture.com.au
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 ABN: 1521832685

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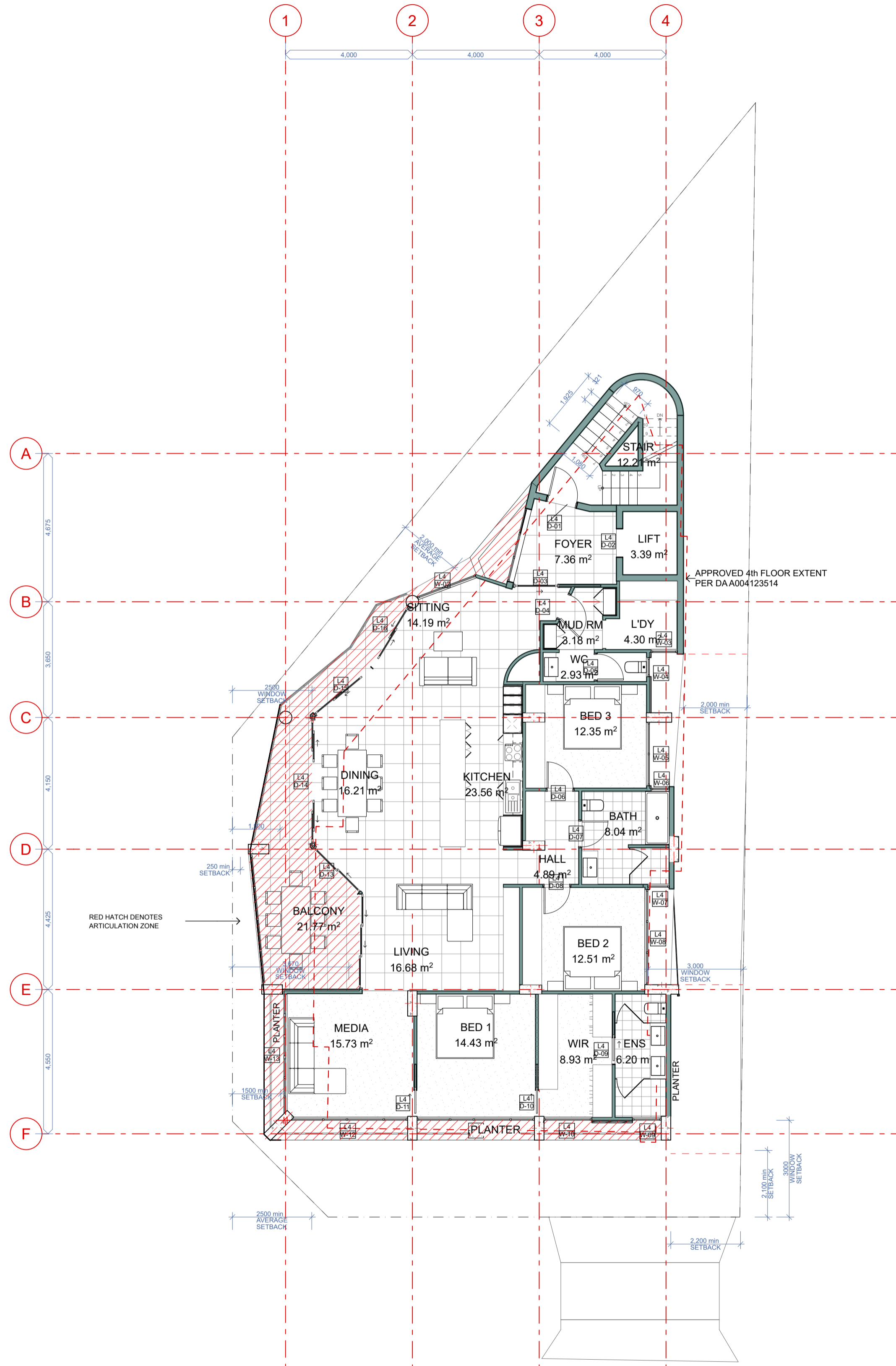
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 Plot Date: 4/06/2025
 Project NO: 22015
 Project Status: Prelim DA
 Client: Anthony Mckay
 Climate Zone: 2
 Wind Region: N2/N33N
 Site: 17 REGINA ST GREENSLOPES

DRAWING TITLE: Preliminary Plans
Floor Plans
 PROJECT NAME: REGINA ST

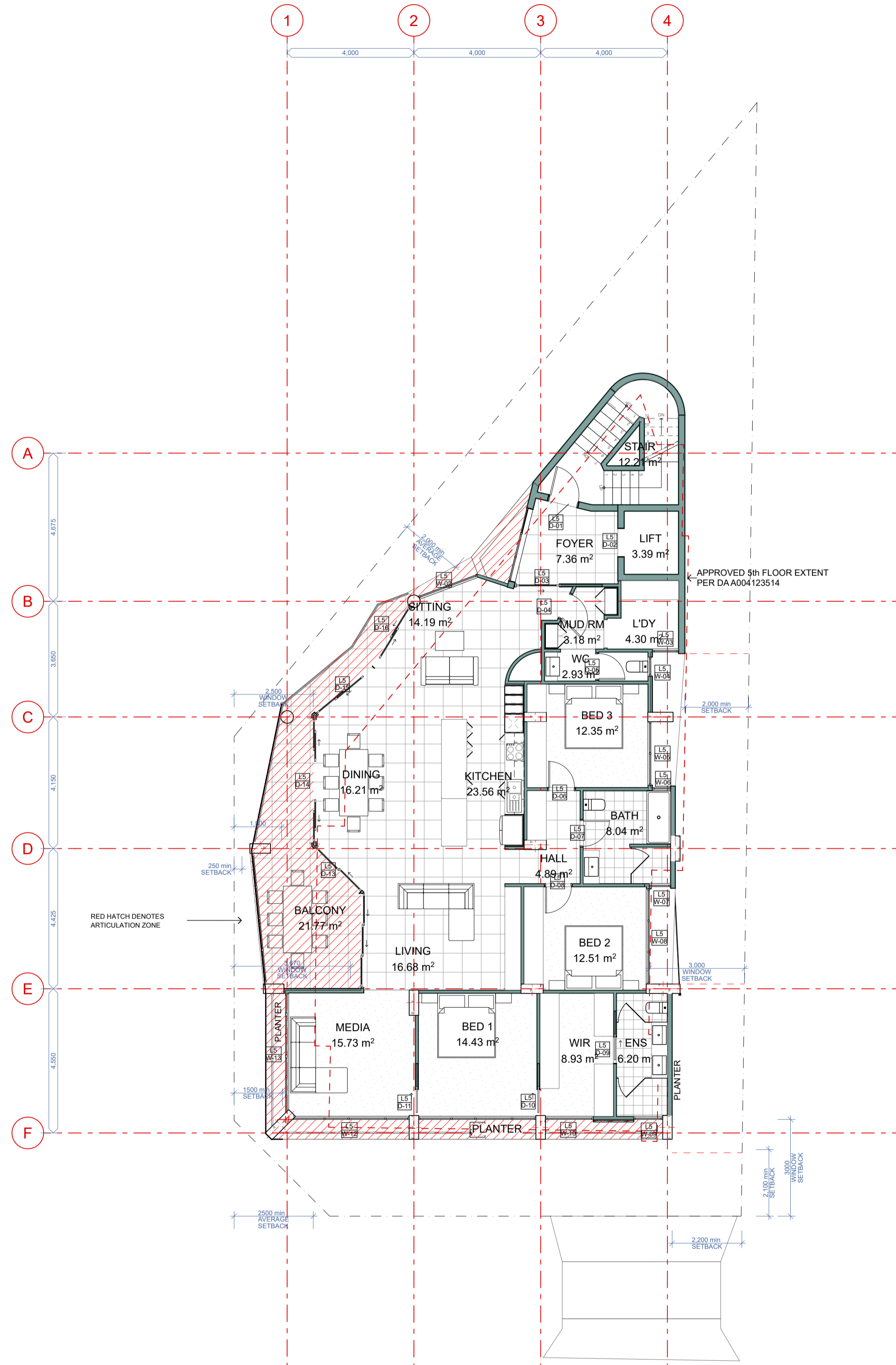
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ELEVATION KEY



4. Fourth
Scale 1:100



5. Fifth
Scale 1:100

GENERAL NOTES
All construction is to be in accordance with the Building Code of Australia (BCA 2014).
Concrete construction is to comply with AS3600.
Masonry construction is to comply with AS2700 and clause F1.4 of the BCA.
Steel construction is to comply with AS4100.
Timber construction is to comply with AS1720.1, AS1604, AS1884.
Glazing and windows are to comply with clauses D2.13 and D2.14 of the BCA.
Balustrades are to comply with clauses D2.16 and D2.17 of the BCA.
All wet areas are to have floor waste with local fall to floor waste.
Clips and waterproofing is to be in accordance with part F1 of the BCA.
WC doors are to comply with clause F2.5 (c) of the BCA.
Lighting in all areas is to comply with clause F4.1 to F4.4 of the BCA.
Ventilation is to comply with clause F4.5 to F4.10 of the BCA.
All dimensions and levels on plans are to be confirmed on site prior to commencing construction.
Where possible all new construction is to match existing when extending and/or renovating.
All dimensions are in millimetres unless noted otherwise.

TERMINATE NOTES
Provide terminate provisions in accordance with AS3601 and the Building Code of Australia (BCA).
The builder and owner shall negotiate an option for terminate control within the code. The builder shall make available to the owner information written for the consumer relating to terminate provision options.
2. Record in writing the selected option and each retain a copy signed by both parties.
3. A copy of the option selected is to be provided to the local authority with the building application and subsequent owners shall be responsible for arranging inspections by trained person at maximum intervals of twelve months.
Should the current owner wish to sell the residence, it shall be their responsibility to provide the new owner with a copy of the signed terminate provision option adopted.

Level	Area Schedule	
	Type	Area
Ground	CARPARK	255.42
	LOBBY / STAIR / LIFT	34.44
	PORCH	6.78
		296.64 m ²
First	LIFT / STAIR	19.23
	LIVING (UNIT GFA)	185.06
	PRIVATE OPEN SPACE	28.76
	233.05 m ²	
Second	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Third	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Fourth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Fifth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Sixth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Roof Terrace	ROOFED ENCLOSED	19.91
	ROOFED UNENCLOSED (COMMUNAL OPEN SPACE)	67.89
	STAIR / LIFT	17.45
	UNROOFED (COMMUNAL OPEN SPACE)	33.01
		138.26 m ²
	1,810.25 m ²	



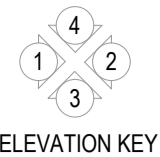
3/191 WARDELL ST,
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Phone: (07) 3311 1133
Email: info@flourisharchitecture.com.au
BDAQ No.: 4879
ABN: 1521832685

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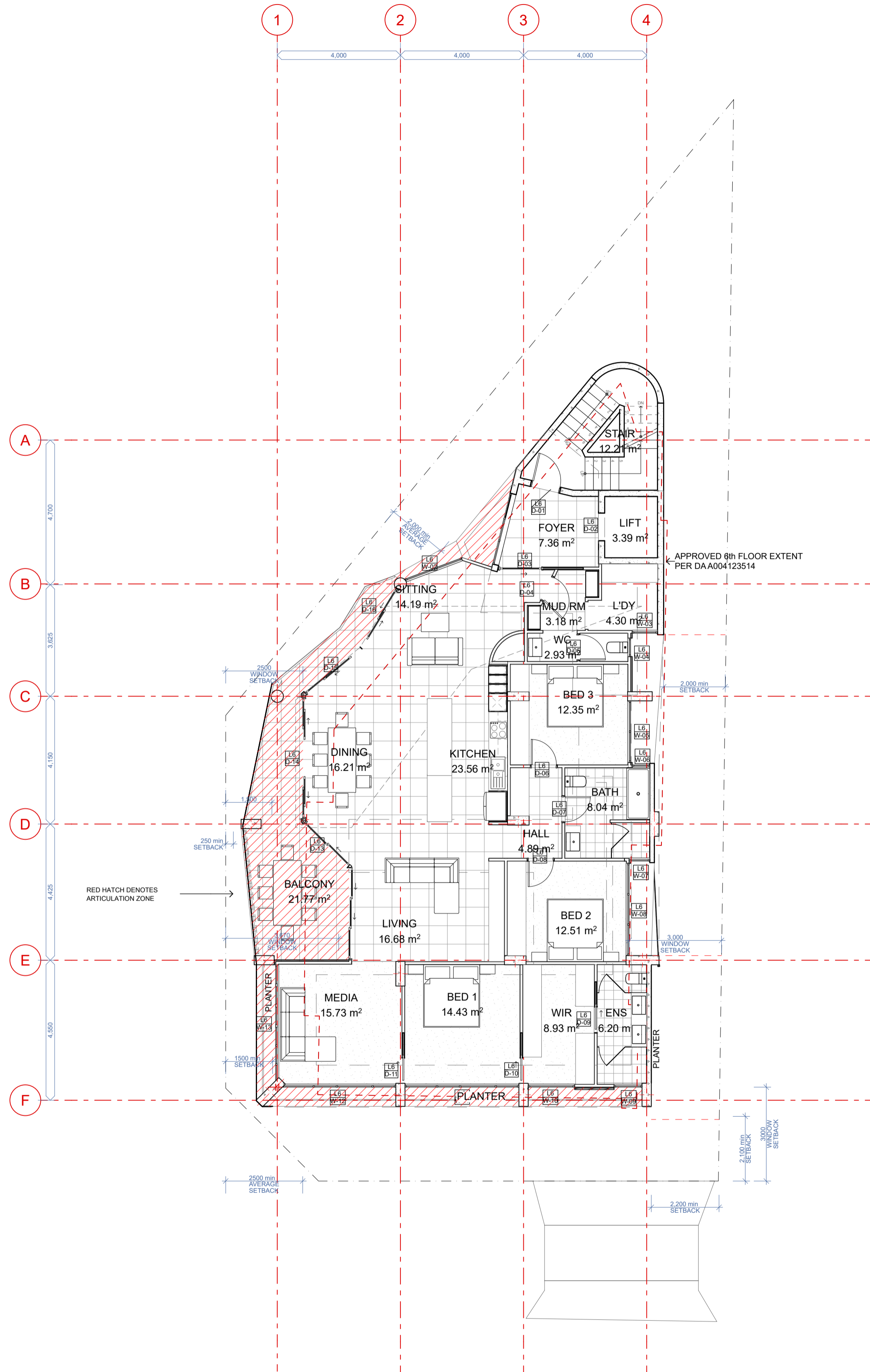
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Plot Date: 4/06/2025
Project NO: 22015
Project Status: Prelim DA
Client: Anthony Mckay
Climate Zone: 2
Wind Region: N2/N33N
Site: 17 REGINA ST GREENSLOPES

DRAWING TITLE: Preliminary Plans
Floor Plans
PROJECT NAME: **REGINA ST**

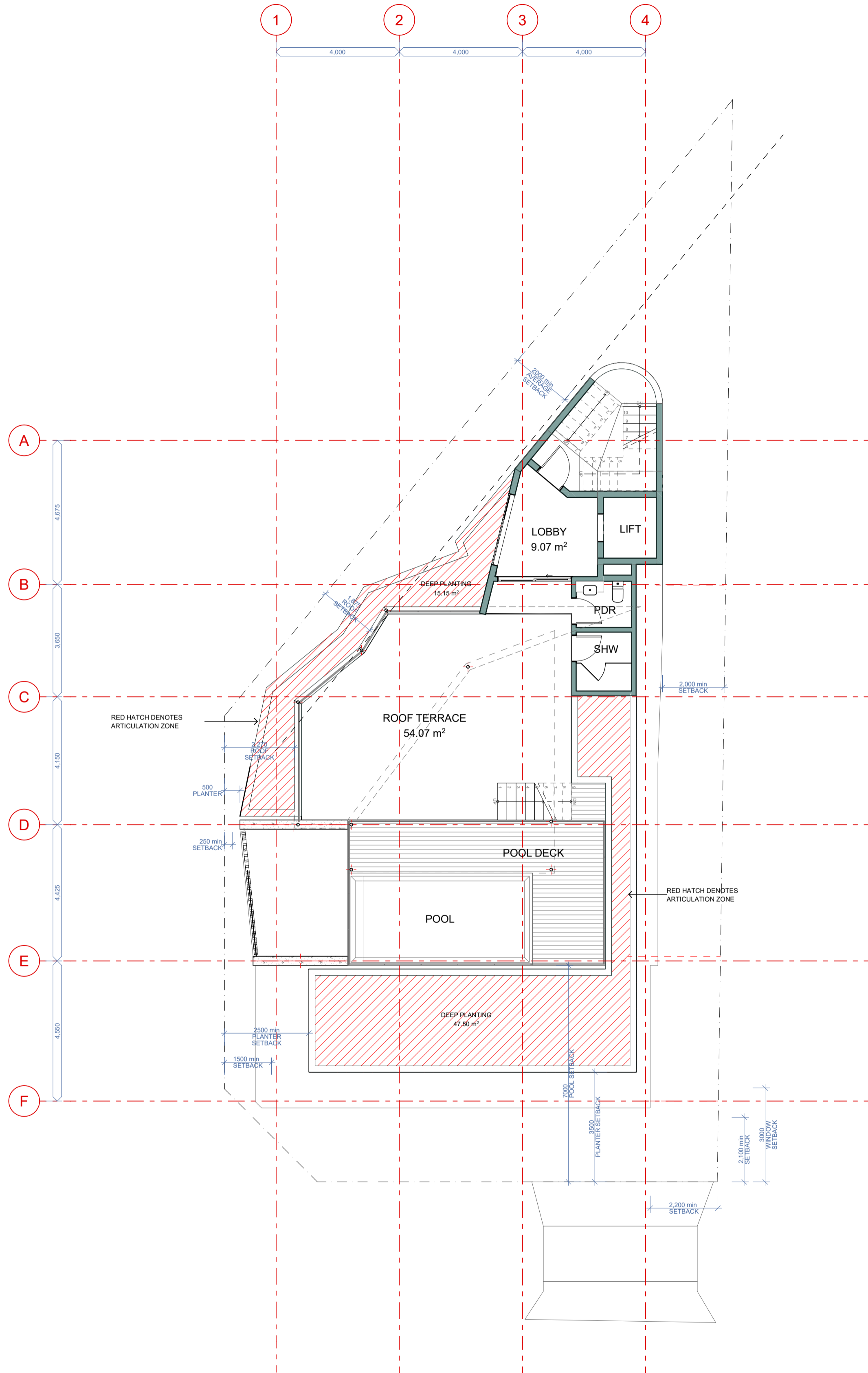
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ELEVATION KEY



6. Sixth
Scale 1:100



7. Roof Terrace
Scale 1:100

GENERAL NOTES
 All construction is to be in accordance with the Building Code of Australia (BCA 2014) Housing provision only.
 Concrete construction is to comply with AS3600.
 Masonry construction is to comply with AS3700 and clause F1.4 of the BCA.
 Steel construction is to comply with AS4100.
 Timber construction is to comply with AS1720.1, AS1604, AS1984.
 Glass and windows are to comply with clauses D2.13 and D2.14 of the BCA.
 Balustrades are to comply with clauses D2.16 and D2.17 of the BCA.
 All wet areas are to have floor waste with local fall to floor waste.
 Clere and waterproofing is to be in accordance with part F1 of the BCA.
 VMC doors are to comply with clause F2.5 (c) of the BCA.
 Lighting in all areas is to comply with clause F4.1 to F4.4 of the BCA.
 Ventilation is to comply with clause F4.5 to F4.10 of the BCA.
 All dimensions and levels on plans are to be confirmed on site prior to commencing construction.
 Where possible all new construction is to match existing when extending and/or renovating.
 All dimensions are in millimetres unless noted otherwise.

TERMINATE NOTES
 Provide terminate provisions in accordance with AS3512.1 and the Building Code of Australia (BCA).
 The builder and owner shall negotiate an option for terminate control with the code. The builder shall make available to the owner information written for the consumer relating to terminate provision options.
 1. Record in writing the selected option and each retain a copy signed by both parties.
 2. A copy of the option selected is to be provided to the local authority with the building application.
 The home owner and subsequent owners shall be responsible for arranging inspections by trained person at maximum intervals of twelve months.
 Should the current owner wish to sell the residence, it shall be their responsibility to provide the new owner with a copy of the signed terminate provision option adopted.

TOTAL ROOF AREA 261.5 m²
Soft Landscaping 58.5 m²
(Soft Landscaping) 22.4 %
Roofed Enclosed Area 21.1 m²
(Roofed Enclosed Area) 8.0 %
Total Roofed Area 72.4 m²
(Total Roofed Area) 27.7 %

Level	Area Schedule	
	Type	Area
Ground	CARPARK	255.42
	LOBBY / STAIR / LIFT	34.44
	PORCH	6.78
		296.64 m ²
First	LIFT / STAIR	19.23
	LIVING (UNIT GFA)	185.06
	PRIVATE OPEN SPACE	28.76
	233.05 m ²	
Second	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Third	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Fourth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Fifth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Sixth	LIFT / STAIR	18.79
	LIVING (UNIT GFA)	185.28
	PRIVATE OPEN SPACE	24.39
	228.46 m ²	
Roof Terrace	ROOFED ENCLOSED	19.91
	ROOFED UNENCLOSED (COMMUNAL OPEN SPACE)	67.89
	STAIR / LIFT	17.45
	UNROOFED (COMMUNAL OPEN SPACE)	33.01
		138.26 m ²
	1,810.25 m ²	



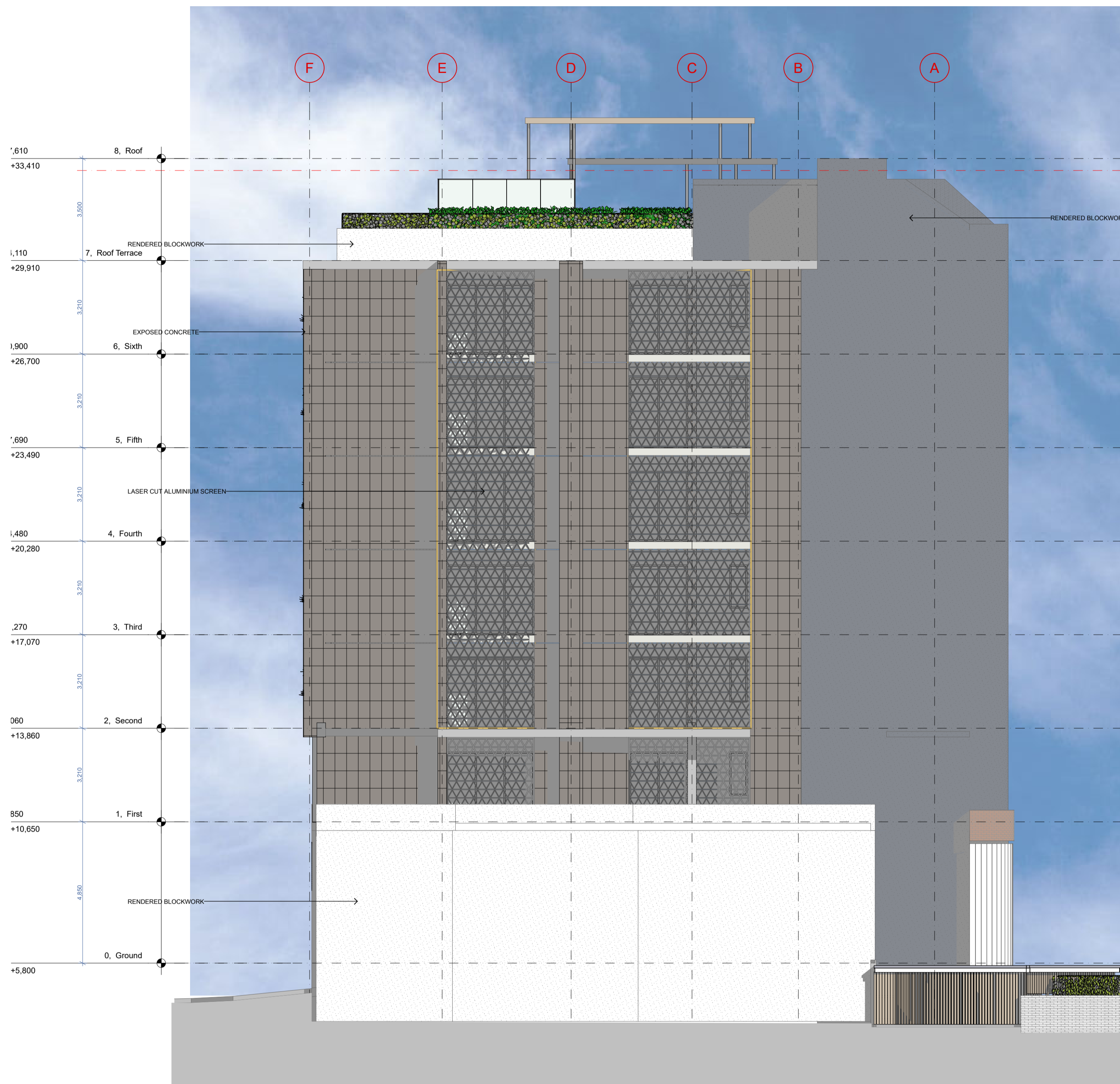
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 Phone: (07) 3311 1133
 Email: info@flourisharchitecture.com.au
 BDAQ No.: 4079
 ABN: 1521832685

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Drawn | Designed ... | MS
 Plot Date: 4/06/2025
 Project NO: 220113
 Project Status: Prelim DA
 Client: Anthony Mckay
 Climate Zone: 2
 Wind Region: NZ1/33N
 Site: 17 REGINA ST GREENSLOPES

DRAWING TITLE:
 Preliminary Plans
Floor Plans
PROJECT NAME:
 REGINA ST

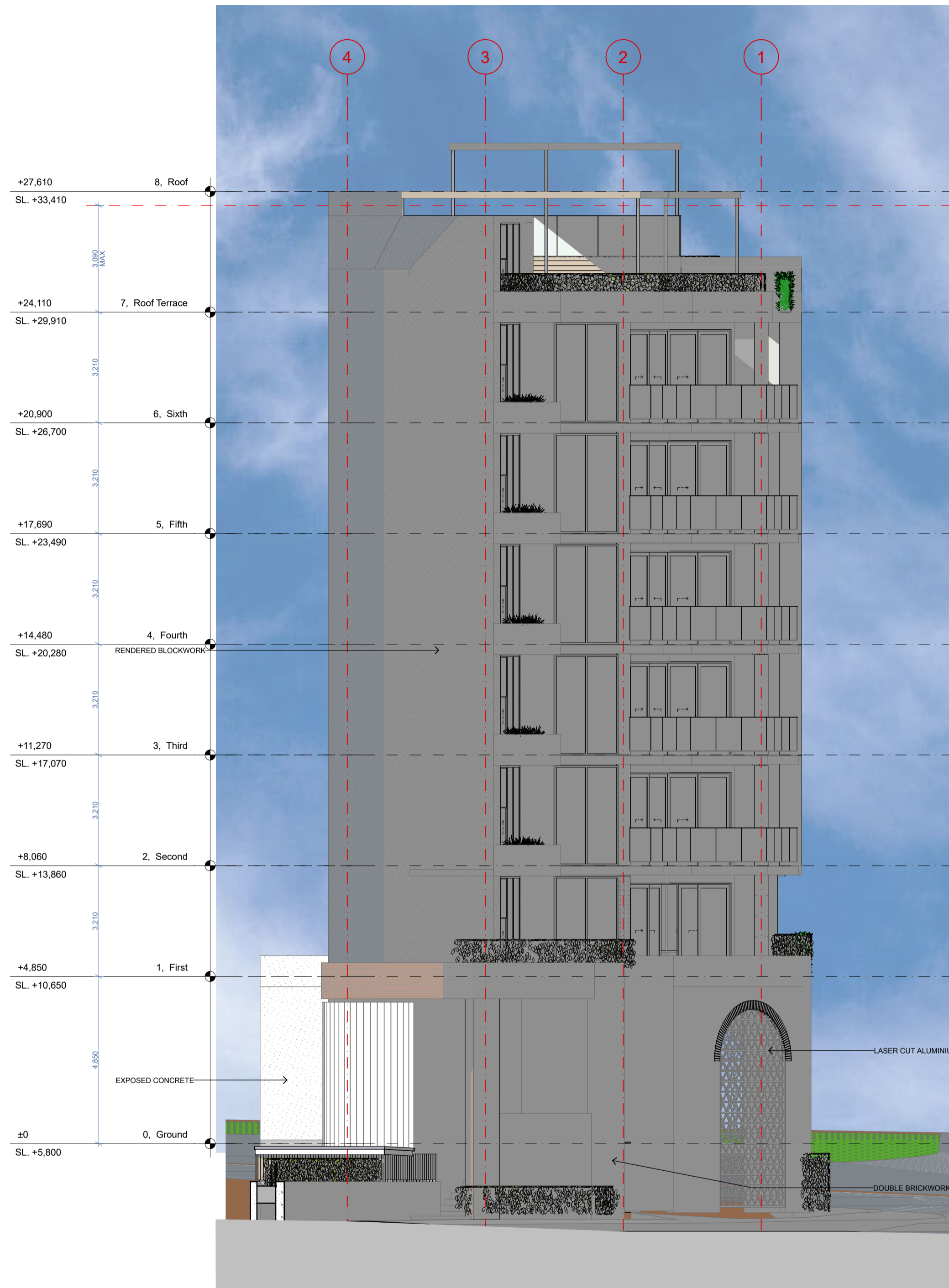
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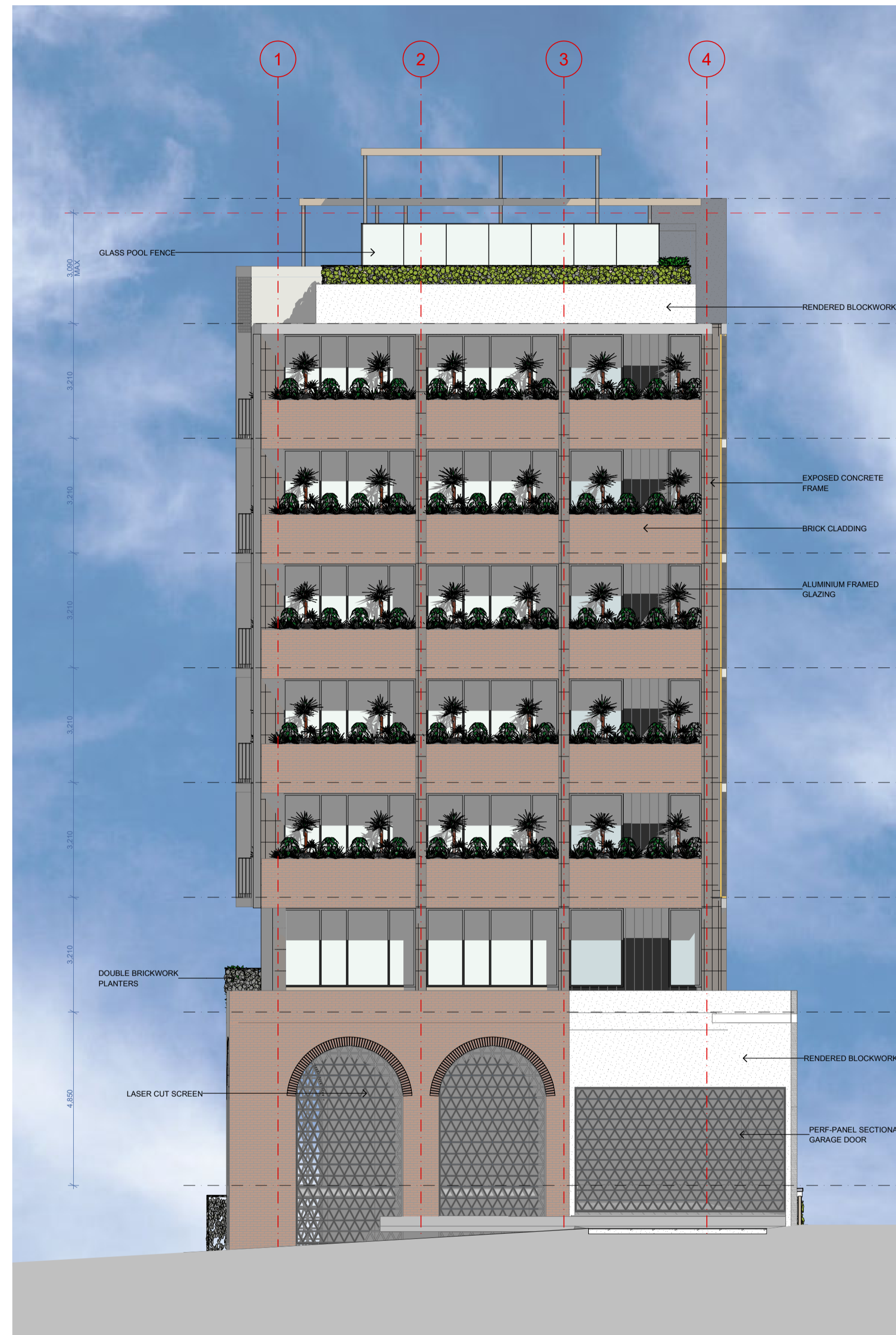
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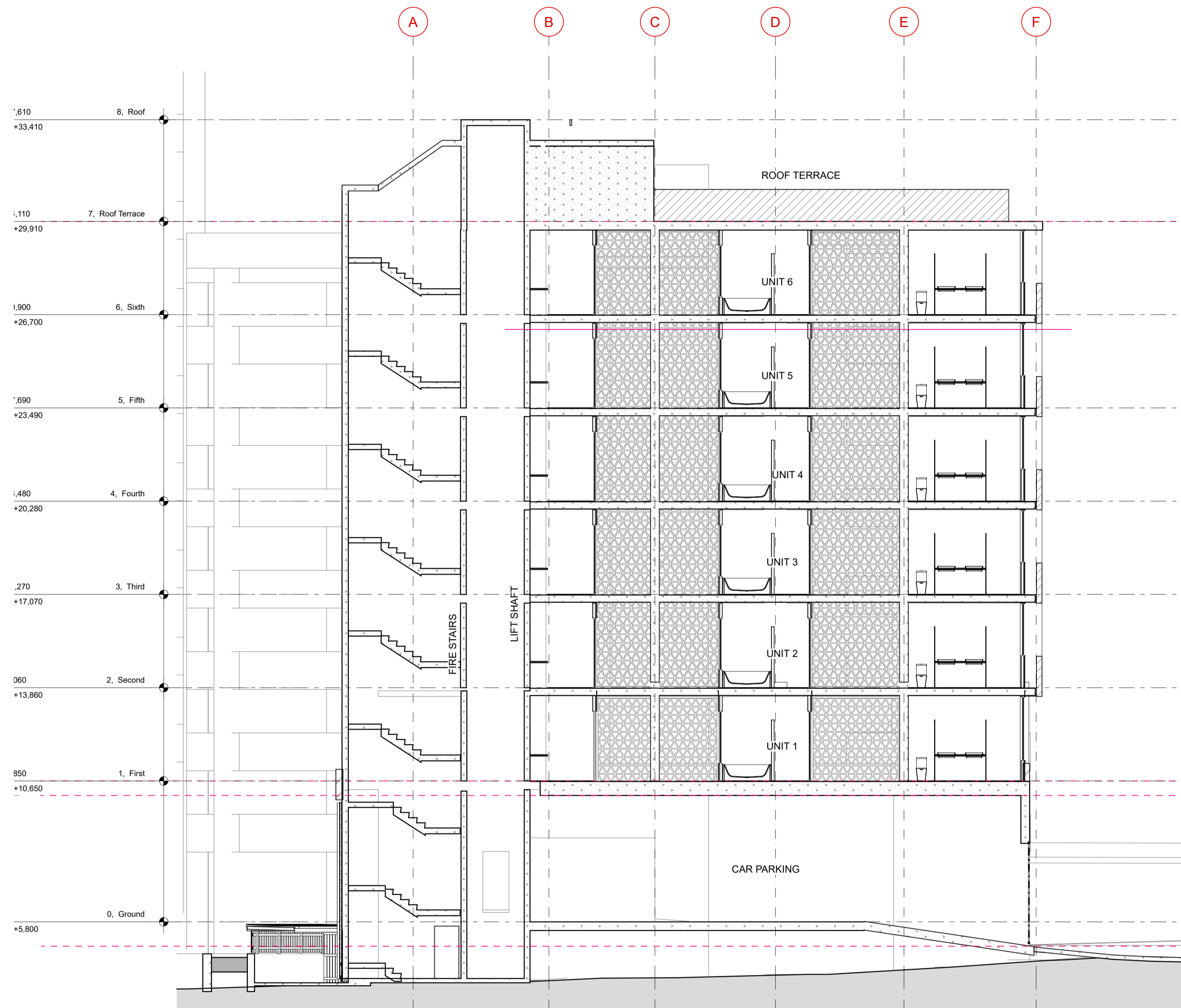
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Scale 1:100



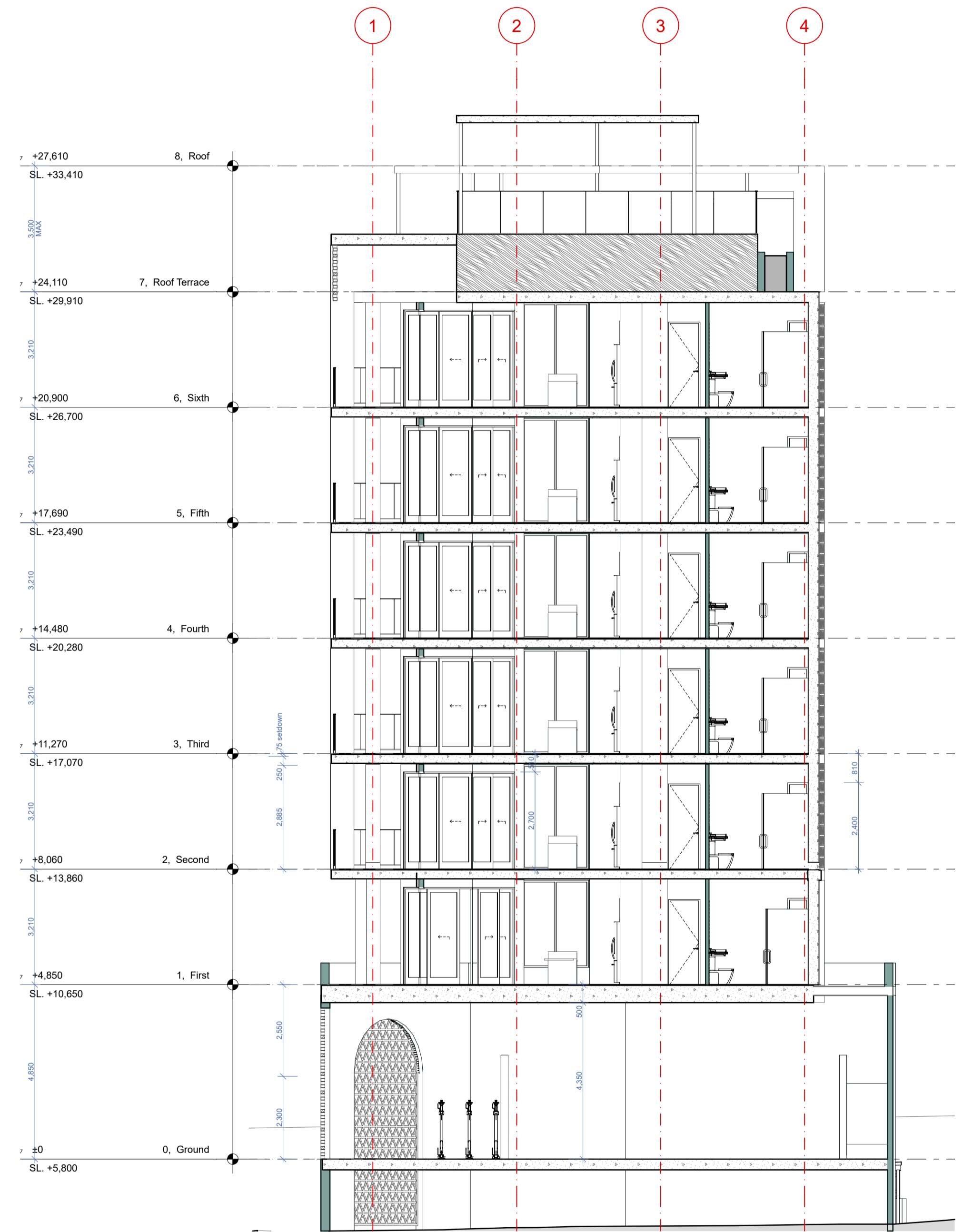
E-04 North Elevation
Scale 1:100



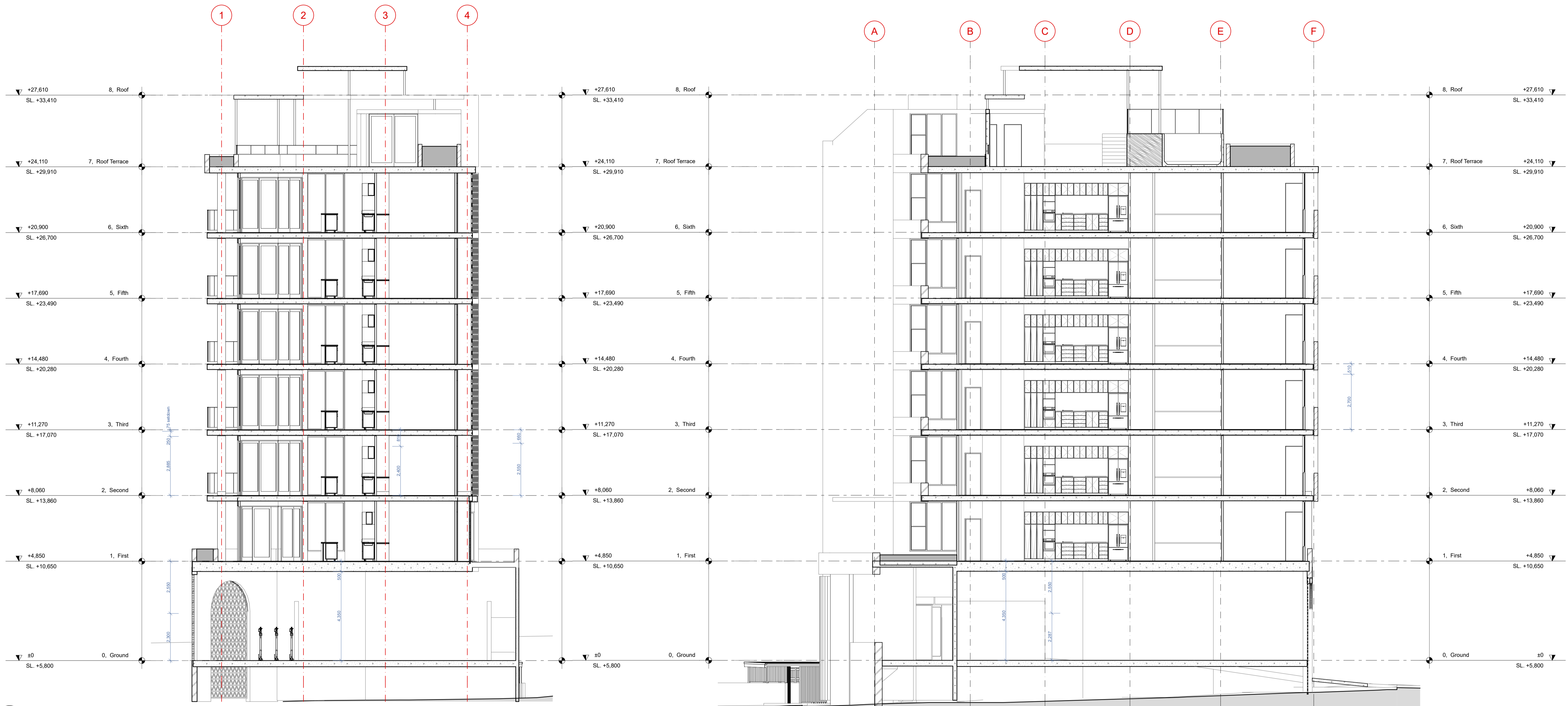
E-03 South Elevation
Scale 1:100



S-01 Section
Scale 1:100

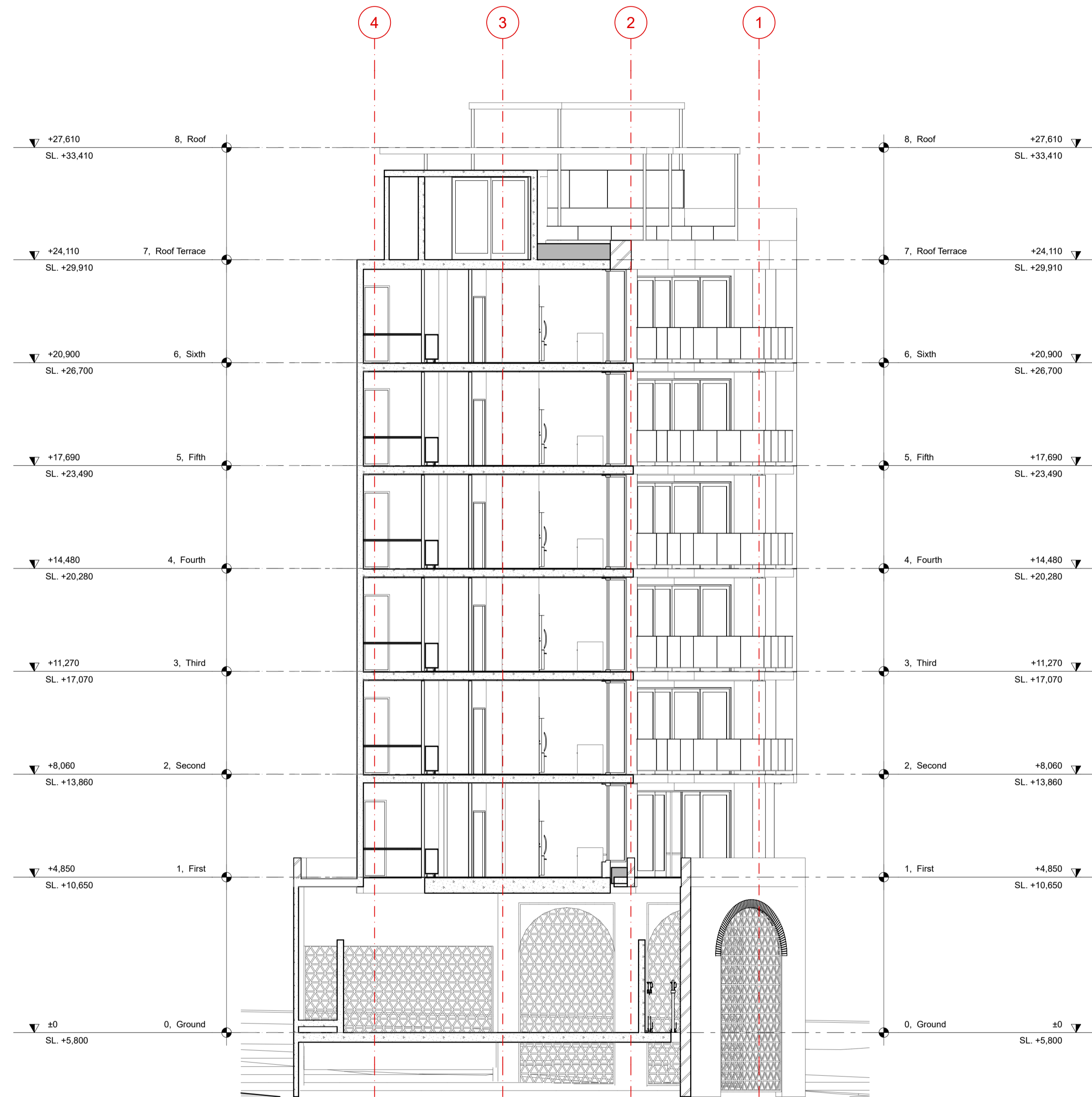


S-02 Section
Scale 1:100



S-05 Section
Scale 1:100

S-09 Section
Scale 1:100



S-10 Section
Scale 1:100



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 BOAQ No.: 4079
 ABN: 15218382685

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 Plot Date: 4/06/2025
 Project NO. 22013
 Project Status Prelim DA

Client Anthony Mckay
 Climate Zone 2
 Wind Region N2/W33N
 Site: 17 REGINA ST GREENSLOPES

DRAWING TITLE :

3D Views
Perspectives

PROJECT NAME :

REGINA ST

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SC107



1:100 @ A3
 0 1 2m



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DRAWING TITLE :

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Perspectives

PROJECT NAME :

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SC108



1:100 @ A3
 0 1 2m



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DRAWING TITLE :

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Perspectives

PROJECT NAME :

REGINA ST

REVISION NO.

09

DRAWING NO.

SC109



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0 1 2m



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Project Status Prelim DA

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Wind Region N2/W33N
Site: 17 REGINA ST GREENSLOPES

DRAWING TITLE :

3D Views
Perspectives

PROJECT NAME :

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REVISION NO.

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DRAWING NO.

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PROJECT NAME :

REGINA ST

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DRAWING TITLE :

3D Views
Perspectives

PROJECT NAME :

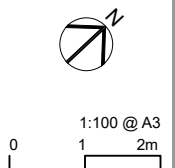
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REVISION NO.

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DRAWING NO.

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Project Status Prelim DA

Client Anthony Mckay
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Site: 17 REGINA ST GREENSLOPES

DRAWING TITLE :

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Perspectives

PROJECT NAME :

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Perspectives

PROJECT NAME :

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1:100 @ A3
0 1 2m