

Minor Change Application – 13 Rushden Street, Kelvin Grove

This application seeks approval for a minor change to the existing Development Approval.

The proposed amendments are minor in nature and do not result in a substantially different development. The overall building envelope, siting, and scale remain generally consistent with the approved scheme.

The proposed changes include:

- Internal reconfiguration of ground and first floor layouts
- Removal of the approved rear deck
- Addition of a non-habitable external bathroom to service the pool area
- Adjustment of window and door openings to suit the revised layout
- Replacement of existing fence with a rendered masonry boundary wall

The front façade presentation remains consistent with the approved character intent. Front façade openings have been reinstated to traditional window form to better align with character provisions.

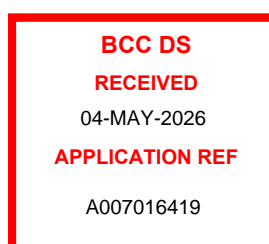
The proposal does not introduce any additional impacts in terms of bulk, scale, overlooking, or amenity to adjoining properties.

Refer to the amended drawings (Issue G) and Minor Change Addendum for full details.

MINOR CHANGE APPLICATION NOTES

(To be read in conjunction with Issue G drawings)

- These drawings form part of a Minor Change Application and do not result in a substantially different development.
- The external bathroom is a non-habitable structure intended solely to service the pool area. It contains no kitchen or living facilities and is not capable of independent habitation or use as a separate dwelling.
- The proposed boundary wall is to be constructed as reinforced core-filled concrete blockwork, or other NCC compliant system, achieving a minimum Fire Resistance Level (FRL) of 60/60/60.
- No changes are proposed to the approved stormwater discharge points. Stormwater is to be designed and constructed in accordance with the hydraulic engineer's documentation.
- All building work is to comply with the National Construction Code (NCC) and all relevant Australian Standards.
- All dimensions, levels, and existing site conditions are to be verified on site prior to commencement of works.





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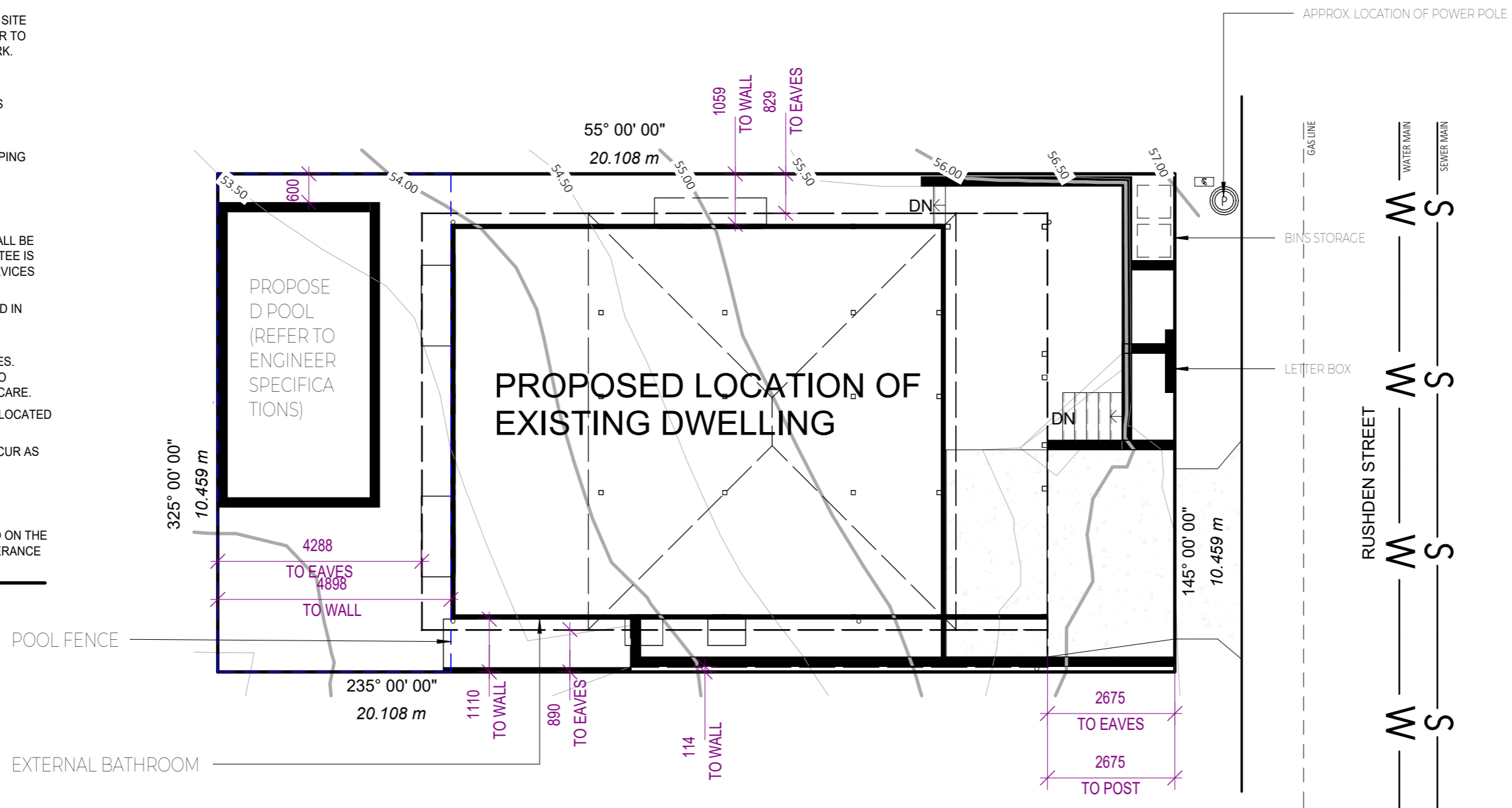
RENOVATION - MINOR CHANGE TO DEVELOPMENT APPROVAL

13 Rushden Street, Kelvin Grove 4059
Stage: BUILDING APPROVAL SET - A3

PAGE	SHEET NAME	CURRENT ISSUE
00	COVER PAGE	G
01	SITE PLAN	G
02	FLOOR PLAN	G
03	FLOOR PLAN	G
04	ELEVATIONS	G
05	ELEVATIONS	G

SITE NOTES

- ALL DIMENSIONS ARE MEASURED TO STRUCTURE ONLY - NOT TO FINISHES
- FOR DRAINAGE REFER TO ENGINEERED SITE DRAINAGE PLAN GULLY DRAINS TO BE 1.0m FROM FOOTINGS STORMWATER GULLY DRAINS TO BE CONNECTED TO STORMWATER LINES
- SURFACE WATER TO BE DRAINED AWAY FROM DWELLING (PROVIDE A 1:20 MIN. FALL)
- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH LANDSCAPING DETAIL PLANS FOR SPECIFIC PLANTING LOCATIONS.
- THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
- THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.
- ALL SURVEY PEGS ARE TO BE LOCATED PRIOR TO EARTHWORKS
- MAXIMUM BATTERS SHALL OCCUR AS FOLLOWS:
(i) CUT - 1:1
(ii) FILL - 1:2
(iii) VEHICULAR ACCESS - 1:4
- THE WORKING PAD R.L. NOTED ON THE SITE PLAN SHALL HAVE A TOLERANCE OF UP TO +/- 100mm



SUMMARY OF CHANGES FOR MINOR CHANGE APPLICATION

- 01 - GROUND FLOOR PLAN
 - GROUND FLOOR LAYOUT CHANGED - KITCHEN, STAIRS AND POWDER RM RELOCATED
 - REAR DECK REMOVED
 - INTERNAL LIVING AND GARAGE TO BE ON THE SAME ELEVATION
 - STEP DOWN INTO FRONT ALFRESCO ILO STEP UP
 - EXTERNAL BATHROOM ADDED TO SERVICE POOL AREA
- 02 - FIRST FLOOR PLAN
 - FIRST FLOOR LAYOUT CHANGED
 - ADDITION OF 2 ENSUITE TO BRING TOTAL TO 4
 - SINK ADDED TO BALCONY
- 03 - NORTH EAST ELEVATION
 - RENDERED BLOCKWORK WALL ILO OF STEEL FENCE
 - FACADE WINDOWS AND DOOR TO REMAIN
- 04 - SOUTH EAST ELEVATION
 - ADDITION OF EXTERNAL BATHROOM TO NATURAL GROUND LEVEL TO SERVICE THE POOL AREA
 - WINDOWS AND AWNINGS CHANGED TO SUITE NEW FLOOR PLAN LAYOUTS
- 05 - NORTH WEST ELEVATION
 - ADDITION OF EXTERNAL BATHROOM TO NATURAL GROUND LEVEL TO SERVICE THE POOL AREA
 - WINDOWS AND AWNINGS CHANGED TO SUITE NEW FLOOR PLAN LAYOUTS
- 06 - SOUTH WEST ELEVATION
 - ADDITION OF EXTERNAL BATHROOM TO NATURAL GROUND LEVEL TO SERVICE THE POOL AREA
 - WINDOWS AND AWNINGS CHANGED TO SUITE NEW FLOOR PLAN LAYOUTS
 - DECK REMOVED

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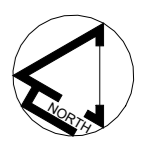
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PROPERTY DESCRIPTION:
LOT 21
 (#13) RUSHDEN STREET
Suburb ENOGGERA
Local Auth. BRISBANE C.C.
 RP20408
Area/Site Cover: 210.3m² / 51%

PROJECT DETAILS:
Client: PEDA
Designed By KA
Job No: MK26-01
Sheet: SITE PLAN
Page No: 01
Scale @ A3 1:100

DRAWING AMENDMENT:		
B	Prelim Issue	KA 05/03/26
C	BA Issue	KA 08/04/26
D	BA Issue	KA 17/04/26
E	BA Issue	KA 21/04/26
F	BA Issue	KA 27/04/26
G	BA Issue	KA 01/05/26

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE ALL BUILDING CONSTRUCTION TO COMPLY WITH THE LOCAL AUTHORITY BY-LAWS AND THE N.C.C. / AS 1684-1999. PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AUST. STANDARD 3660.1

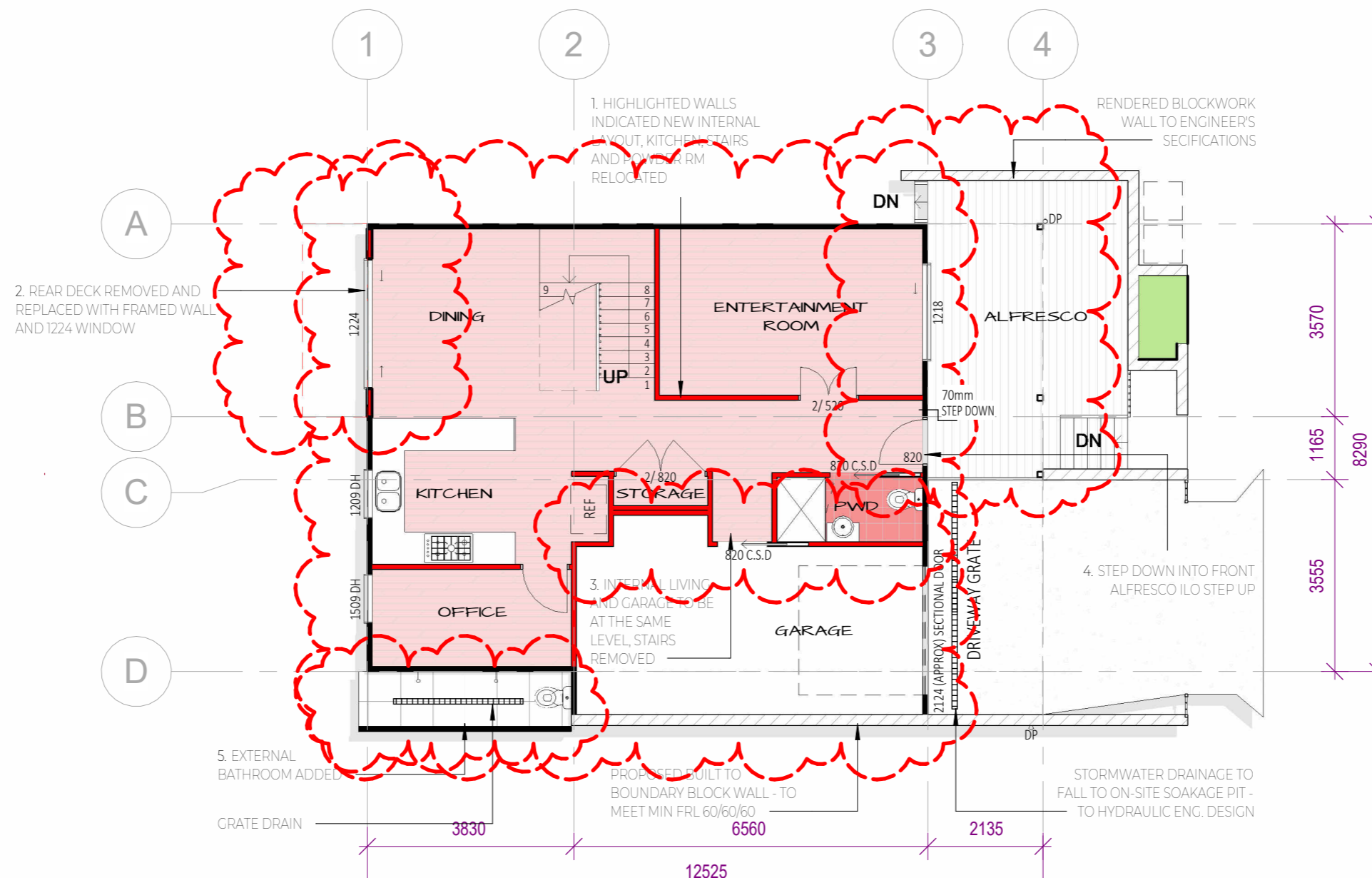
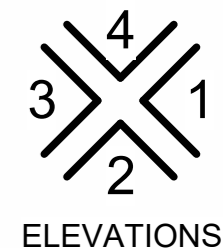


LEGEND

M.W	MICROWAVE
D.W	DISHWASHER
REF.	FRIDGE POSITION
W.O.	WALL OVEN
M.H.	600 x 600 MAN HOLE
W.M.	WASHING MACHINE
T	LAUNDRY TUB
O/S	OWNER SUPPLIED
D.P.	DOWNPIPE
N.C-D.P	NON-COMBUSTIBLE DOWNPIPE
F.O.W.	FACE OF WALL SLIDING DOOR
C.S.D.	CAVITY SLIDING DOOR
H.C	HOSECOCK
V	VANITY
SHR.	SHOWER
T.R	TOWEL RAIL
+	SHOWER TAP/ BATH TAP/ MIXER
o	SHOWER ROSE

PLASTERBOARD BULKHEAD - DIMENSIONS ARE SUBJECT TO CONSTRUCTION CONSTRAINTS

INSULATION BATTENS



Ground Floor Plan - Proposed

GROUND FLOOR PLAN CHANGES

- GROUND FLOOR LAYOUT CHANGED - KITCHEN, STAIRS AND POWDER RM RELOCATED
- REAR DECK REMOVED
- INTERNAL LIVING AND GARAGE TO BE ON THE SAME ELEVATION
- STEP DOWN INTO FRONT ALFRESCO ILO STEP UP
- EXTERNAL BATHROOM ADDED TO SERVICE POOL AREA

COVERED PATIO	12.74 m ²
GARAGE	22.71 m ²
LIVING	69.99 m ²
LOWER TOTAL	105.44 m ²
BALCONY	17.78 m ²
LIVING	86.13 m ²
UPPER TOTAL	103.92 m ²
Grand total	209.36 m ²

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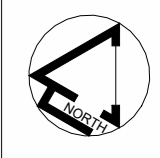
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Client: PEDA
Designed By KA
Job No: MK26-01
Sheet: FLOOR PLAN
Page No: 02
Scale @ A3 1 : 100

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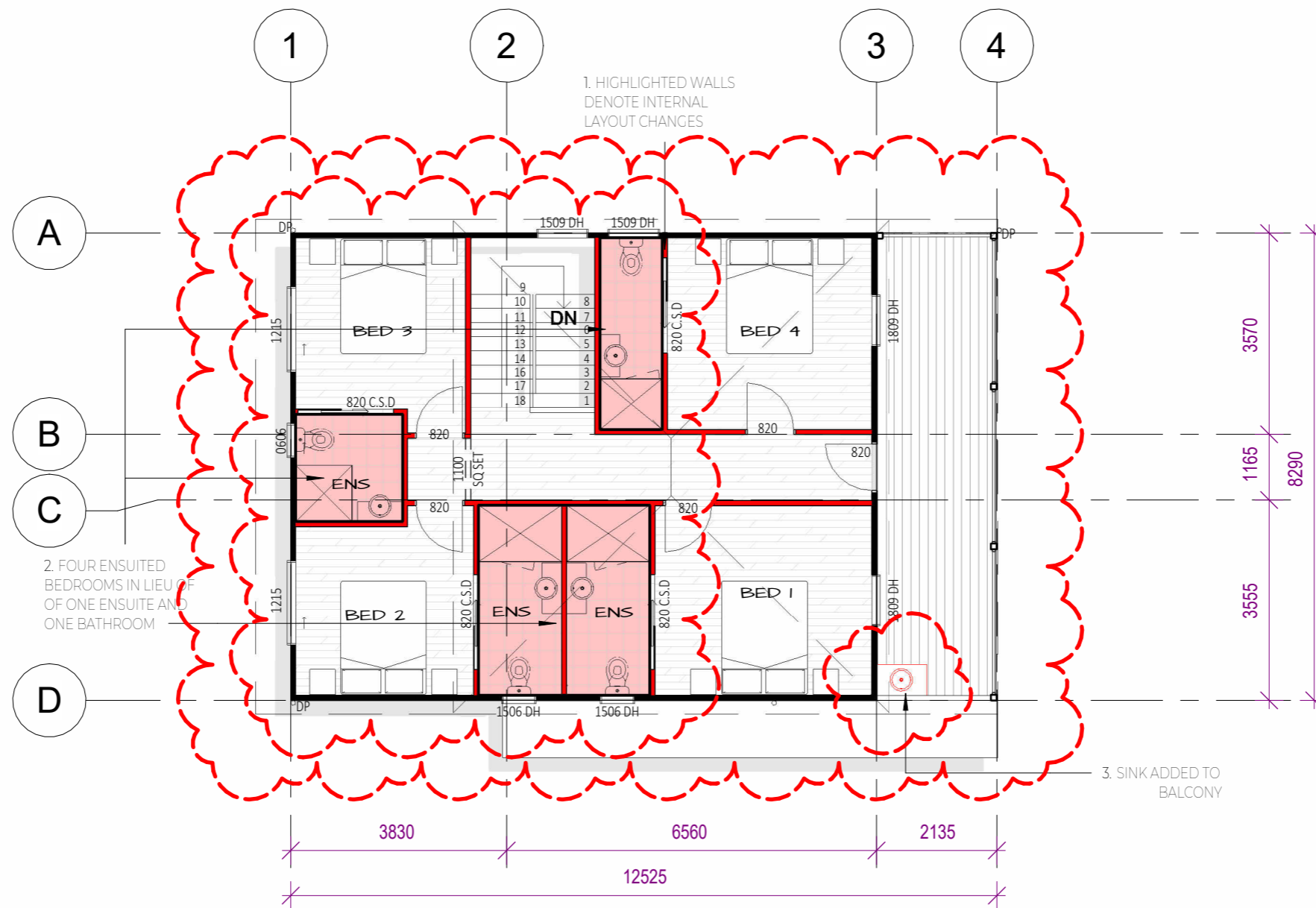
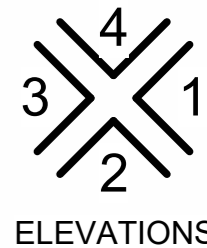


LEGEND

- M.W MICROWAVE
- D.W DISHWASHER
- REF. FRIDGE POSITION
- W.O. WALL OVEN
- M.H. 600 x 600 MAN HOLE
- W.M. WASHING MACHINE
- T LAUNDRY TUB
- O/S OWNER SUPPLIED
- D.P. DOWNPIPE
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- F.O.W. FACE OF WALL SLIDING DOOR
- C.S.D. CAVITY SLIDING DOOR
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- V VANITY
- SHR. SHOWER
- T.R TOWEL RAIL
- + SHOWER TAP/ BATH TAP/ MIXER
- o SHOWER ROSE

PLASTERBOARD BULKHEAD - DIMENSIONS ARE SUBJECT TO CONSTRUCTION CONSTRAINTS

INSULATION BATTENS



2. FOUR ENSUITED BEDROOMS IN LIEU OF ONE ENSUITE AND ONE BATHROOM

1. HIGHLIGHTED WALLS DENOTE INTERNAL LAYOUT CHANGES

3. SINK ADDED TO BALCONY

First Floor Plan - Proposed

SCALE: 1 : 100

FIRST FLOOR PLAN CHANGES

1. FIRST FLOOR LAYOUT CHANGED
2. ADDITION OF 2 ENSUITE TO BRING TOTAL TO 4
3. SINK ADDED TO BALCONY

COVERED PATIO	12.74 m ²
GARAGE	22.71 m ²
LIVING	69.99 m ²
LOWER TOTAL	105.44 m²

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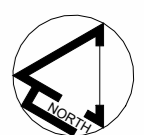
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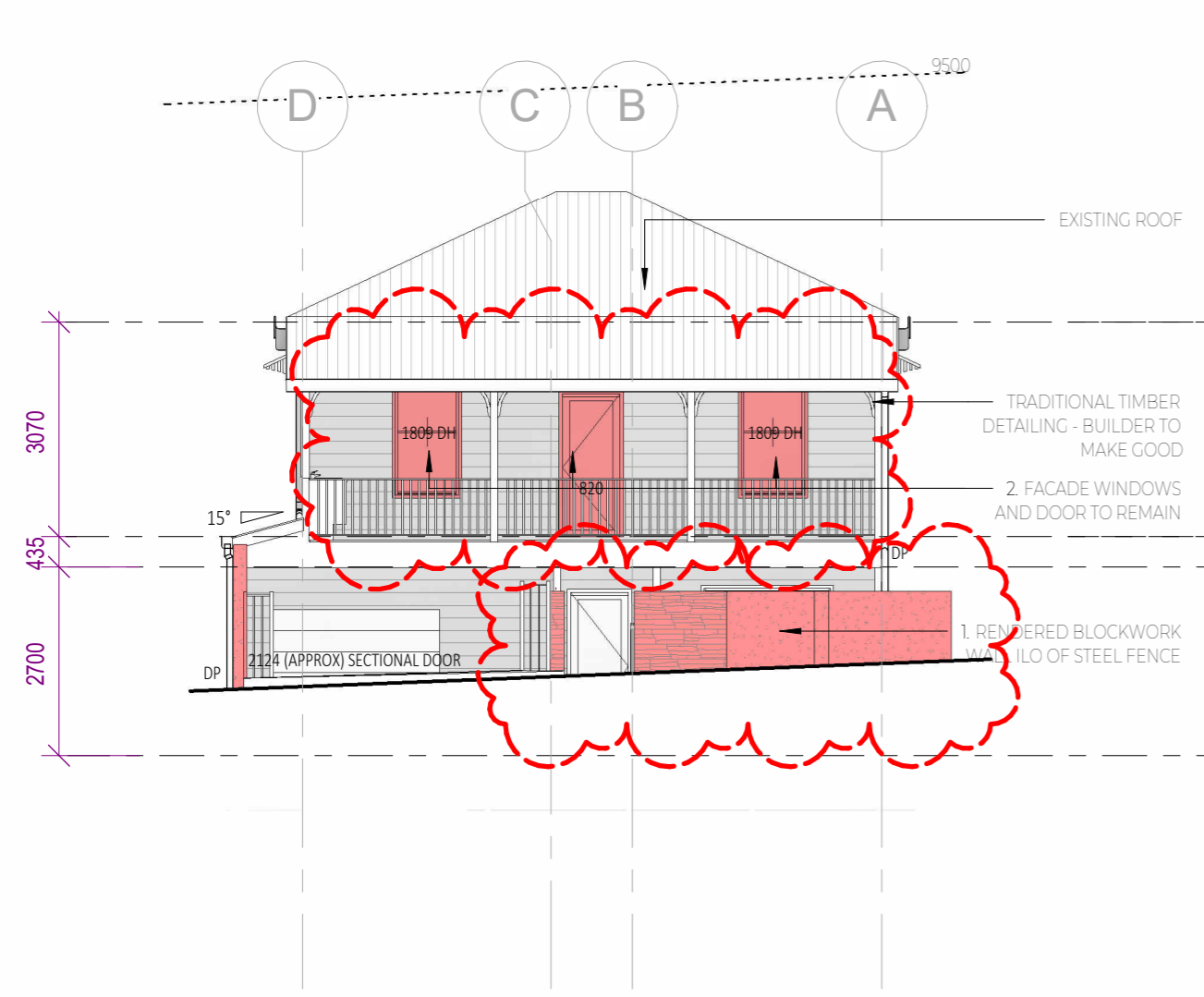
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Page No: 03
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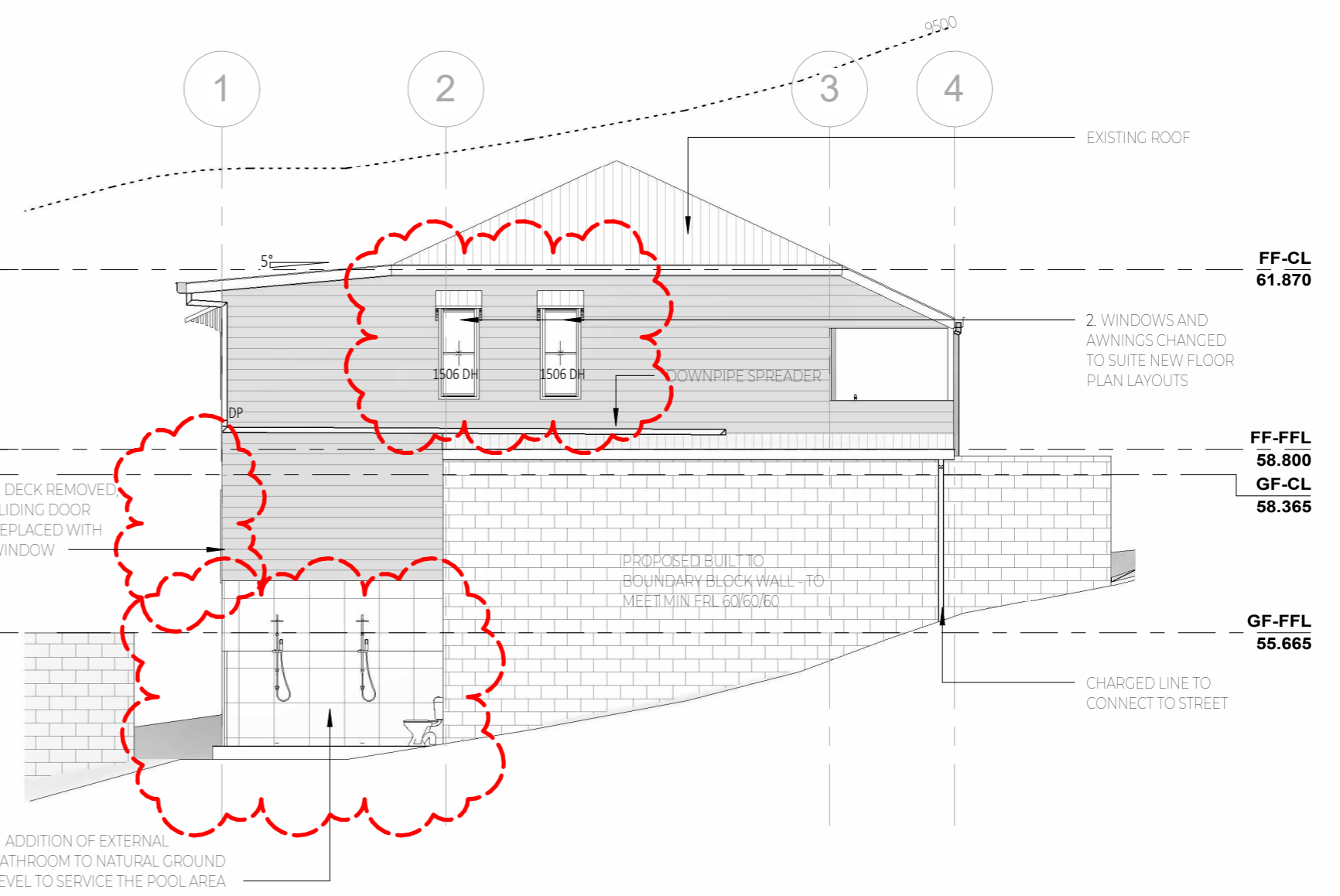
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1 North East Elevation

- NORTH EAST ELEVATION
1. RENDERED BLOCKWORK WALL WITH ILO OF STEEL FENCE
 2. FACADE WINDOWS AND DOOR TO REMAIN



2 South East Elevation

- SOUTH EAST ELEVATION
1. ADDITION OF EXTERNAL BATHROOM TO NATURAL GROUND LEVEL TO SERVICE THE POOL AREA
 2. WINDOWS AND AWNINGS CHANGED TO SUITE NEW FLOOR PLAN LAYOUTS
 3. DECK REMOVED, SLIDING DOOR REPLACED WITH WINDOW

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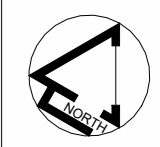
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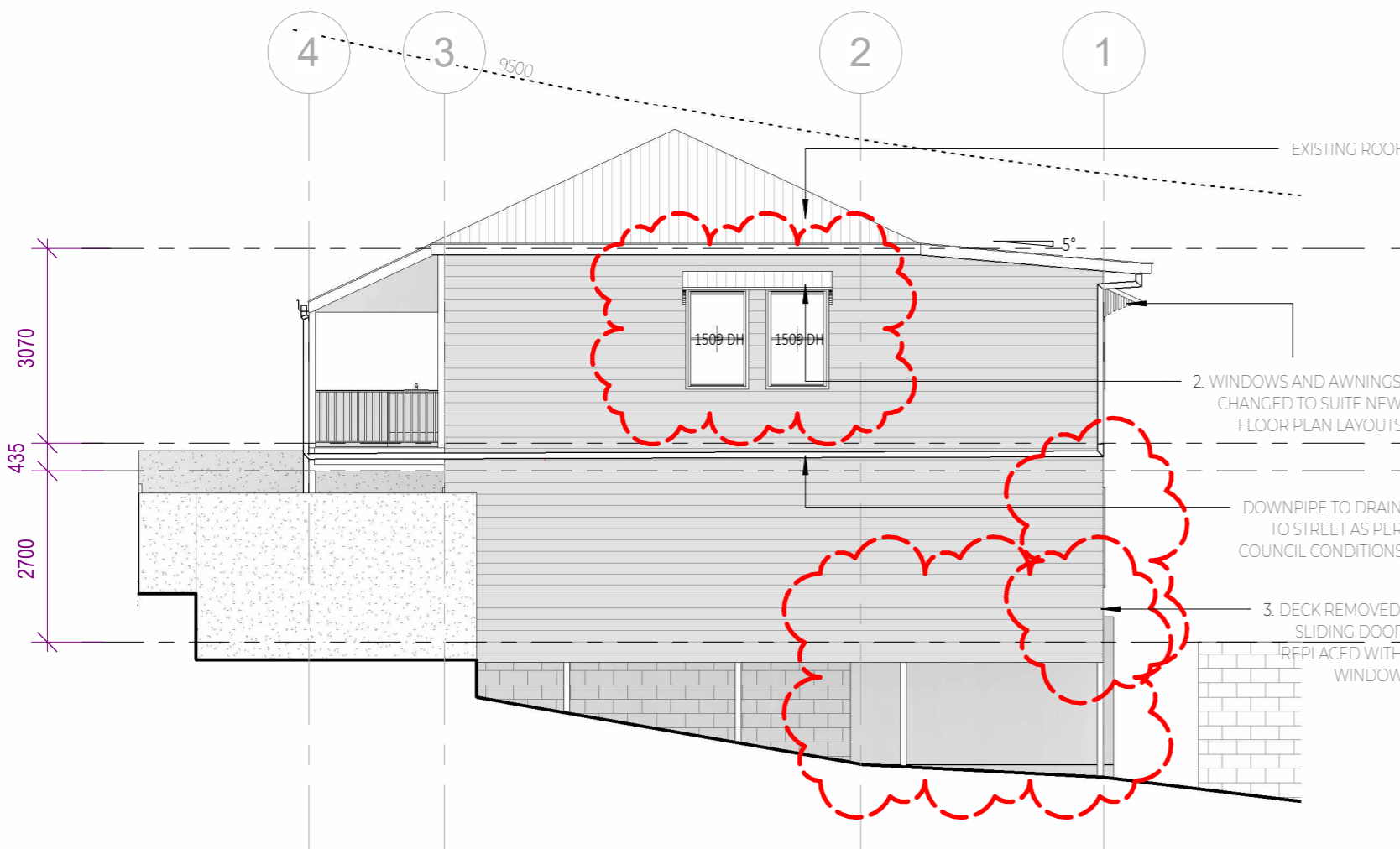
PROJECT DETAILS:
Client: PEDA
Designed By KA
Job No: MK26-01
Sheet: ELEVATIONS
Page No: 04
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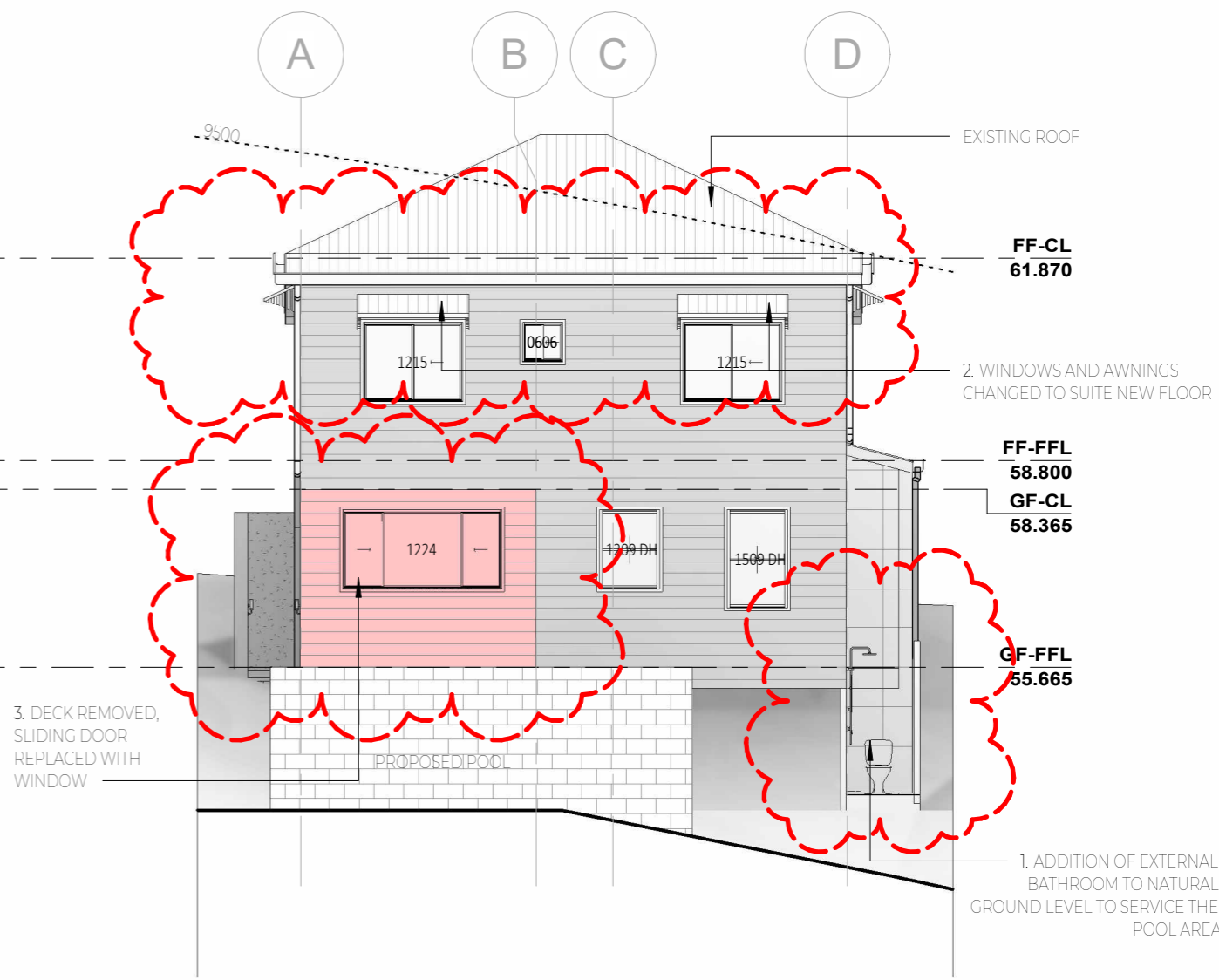
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3 North West Elevation



4 South West Elevation

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NORTH WEST ELEVATION CHANGES

1. ADDITION OF EXTERNAL BATHROOM TO NATURAL GROUND LEVEL TO SERVICE THE POOL AREA
2. WINDOWS AND AWNINGS CHANGED TO SUITE NEW FLOOR PLAN LAYOUTS
3. DECK REMOVED, SLIDING DOOR REPLACED WITH WINDOW

SOUTH WEST ELEVATION CHANGES

1. ADDITION OF EXTERNAL BATHROOM TO NATURAL GROUND LEVEL TO SERVICE THE POOL AREA
2. WINDOWS AND AWNINGS CHANGED TO SUITE NEW FLOOR PLAN LAYOUTS
3. DECK REMOVED, SLIDING DOOR REPLACED WITH WINDOW

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Designed By Designer
Job No: MK26-01
Sheet: ELEVATIONS
Page No: 05
Scale @ A3 1 : 100

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