

Our Reference: C6650

13 May 2026

Development Planning Branch
266 George Street
Brisbane QLD 4000

Attention: Shirley Mills

104 IDONIA STREET, BRIDGEMAN DOWNS QLD 4035
Application Reference: A006894653

Dear Shirley,

The following letter has been prepared in response to Council's Information Request dated 28th November 2025 and provides further clarification regarding civil related aspects of the proposed development.

Council have indicated the following as part of the engineering assessment of the proposal, with our responses offered in red.

Road Frontage Works

3. The existing site frontage of Idonia Street does not provide for the safe and efficient movement of pedestrians. Non-trunk frontage works would be required to facilitate access for any proposed Lot 2, whilst providing the minimum standard of infrastructure, consistent with existing approved development in the immediate area.
 - a) Submit revised plans showing kerb and channel on a 6.25m alignment, consistent with Condition 27 of A006260190 (120 Idonia Street), and associated drainage provided along the entirety of the site frontage; in accordance with the Infrastructure design code PO1, PO2, PO3 and PO4 and the Subdivision code PO3.

Refer attached Preliminary Roadworks Layout Plan (C6350-SK51) for proposed frontage works. The proposed frontage treatment is consistent with the approved frontage works associated with A006260190 (120 Idonia Street).

- b) The stormwater drainage infrastructure within the site frontage must be designed to cater for ultimate developed upslope catchment conditions, provide manholes and gully pits as required to provide a connection point for stormwater infrastructure delivered by upslope development; in accordance with the Stormwater code PO11, and the Infrastructure Design Planning Scheme Policy Chapter 7 Stormwater Drainage Section 7.4.

Refer attached updated Preliminary Services Layout Plan (C6350-SK31) for proposed stormwater drainage infrastructure. The proposed frontage drainage has been designed to capture and convey minor upstream flows (10% AEP) under ultimate developed catchment conditions, estimated via Rational Method calculations, to the existing municipal stormwater network. Refer below figure for upstream catchment extents.

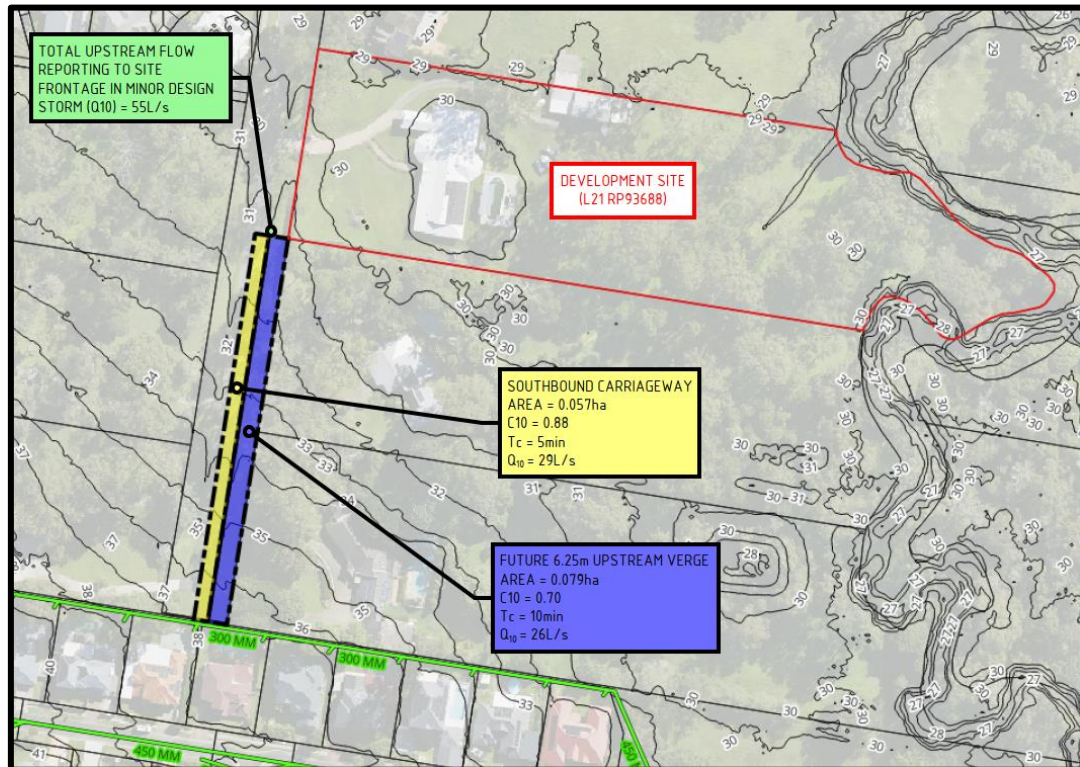


Figure 1: Upstream Catchment Extents & Peak Discharge Estimate

- c) A concrete footpath is to be constructed along the site frontage, with a consistent alignment to Condition 11 of A006260190; in accordance with the Infrastructure Design code PO4.

Refer attached Preliminary Roadworks Layout Plan (C6350-SK51) for proposed footpath works. The proposed footpath alignment is consistent with the approved frontage works associated with A006260190 (120 Idonia Street).

- d) The works should consider any and attempt to retain any existing street trees within the verge along the site frontage.

The existing verge tree located to the north of the site frontage is required to be removed to facilitate the proposed kerb alignment and associated stormwater drainage works. The tree is also impacted by proposed sewer extension works required to service the development.

We trust the above information addresses this request. Should you have any queries please do not hesitate to contact our office.

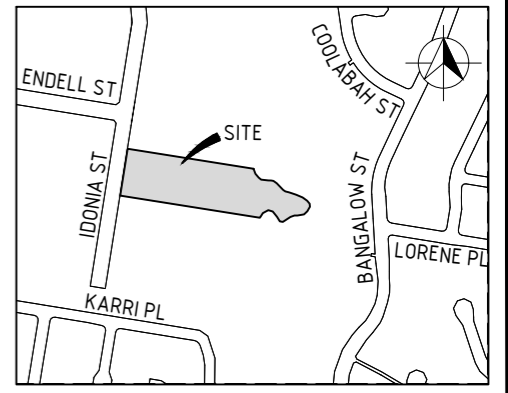
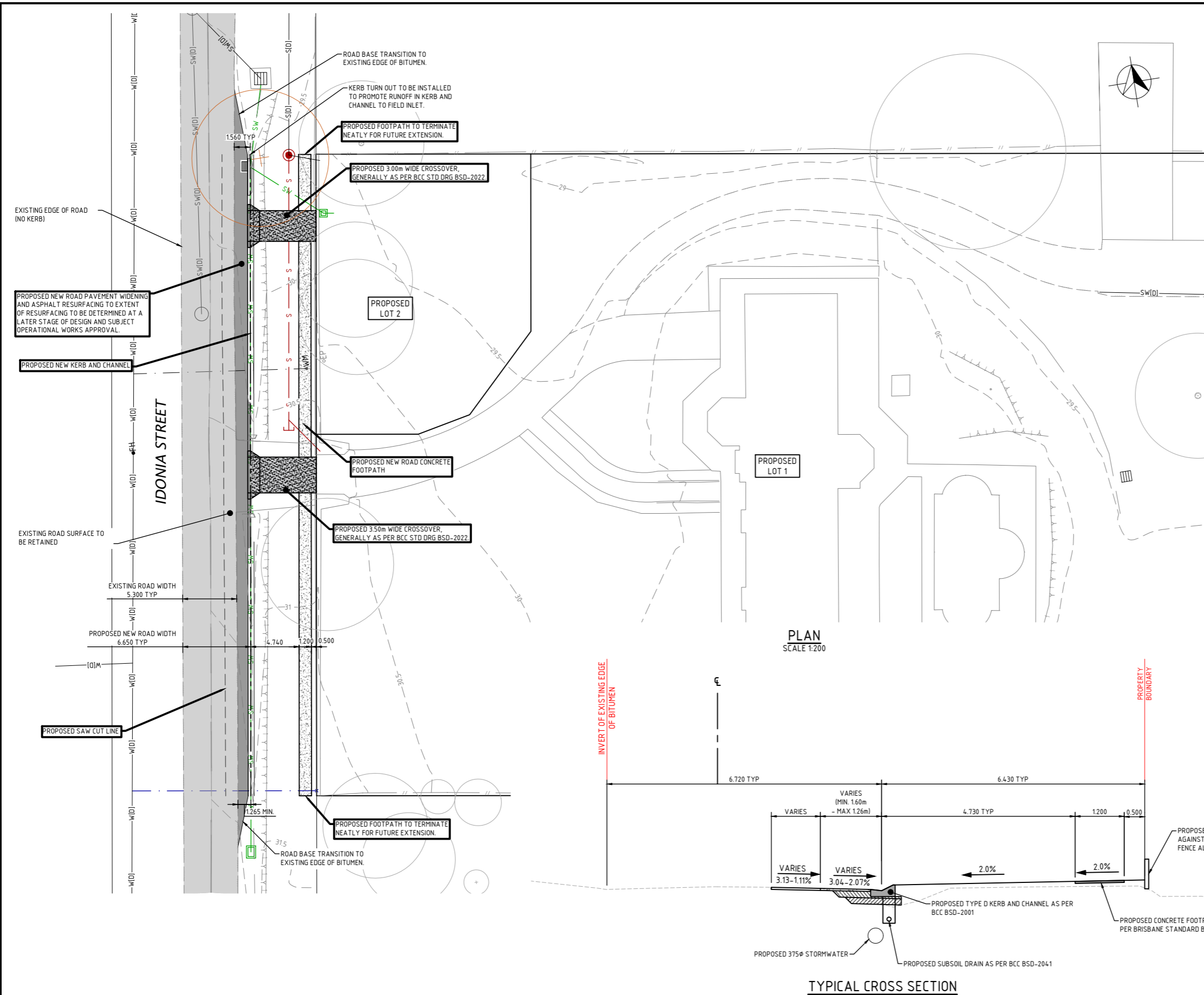


Yours faithfully,
Milanovic Neale Consulting Engineers

A handwritten signature in blue ink that reads "Cameron Fraser".

Cameron Fraser
Flood and Stormwater Engineer

Attached:
Preliminary Roadworks Layout Plan – MNCE (C6350-SK51)
Updated Preliminary Services Layout Plan – MNCE (C6350-SK31)
Updated Flood Investigation Report – MNCE



LOCALITY PLAN
SCALE 1:2500

LEGEND

- SID— EXISTING SEWERAGE MAIN
- W(D)— EXISTING WATER MAIN
- SW(D)— EXISTING STORMWATER MAIN
- >— EXISTING SWALE
- 9.999 - - - - - EXISTING CONTOURS
- SW— PROPOSED STORMWATER DRAINAGE
- S— PROPOSED SEWERAGE MAIN
- W— PROPOSED WATER CONNECTION
- [Grey Box] EXISTING ASPHALT PAVEMENT
- [Dark Grey Box] PROPOSED ASPHALT PAVEMENT
- [Stippled Box] PROPOSED CONCRETE FOOTPATH
- [Cross-hatched Box] PROPOSED CONCRETE DRIVEWAY
- [Circle with +] EXISTING TREE (TO BE REMOVED)
- [Circle with +] EXISTING TREE (TO BE RETAINED)

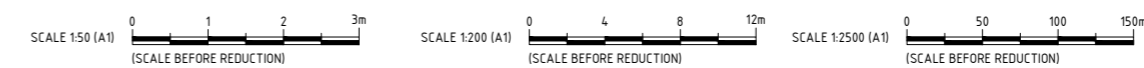
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NOTE:
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REAL PROPERTY DESCRIPTION
LOT 21 ON RP936688

REV.	DESCRIPTION	DATE	DRAWN	REVIEWED	VERIFIED
A	PRELIMINARY ISSUE	29.04.26	PF	JH	JH
B	PRELIMINARY ISSUE	11.05.26	PF	JH	JH

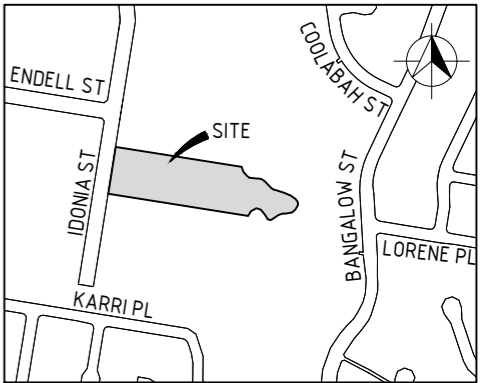
MILANOVIC NEALE CONSULTING ENGINEERS
CIVIL STRUCTURAL TRAFFIC PROJECT MANAGEMENT

CLIENT	PROJECT	TITLE	DRAWN	DESIGNED	DATE
ALEXANDRA PORTER	104 IDONIA STREET, BRIDGEMAN DOWNS	PRELIMINARY ROADWORKS LAYOUT PLAN	PF	JH	APR 2026
			CHECKED	APPROVED	
			JH		
DRAWING No. C6350 - SK51					REV. B

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LEGEND

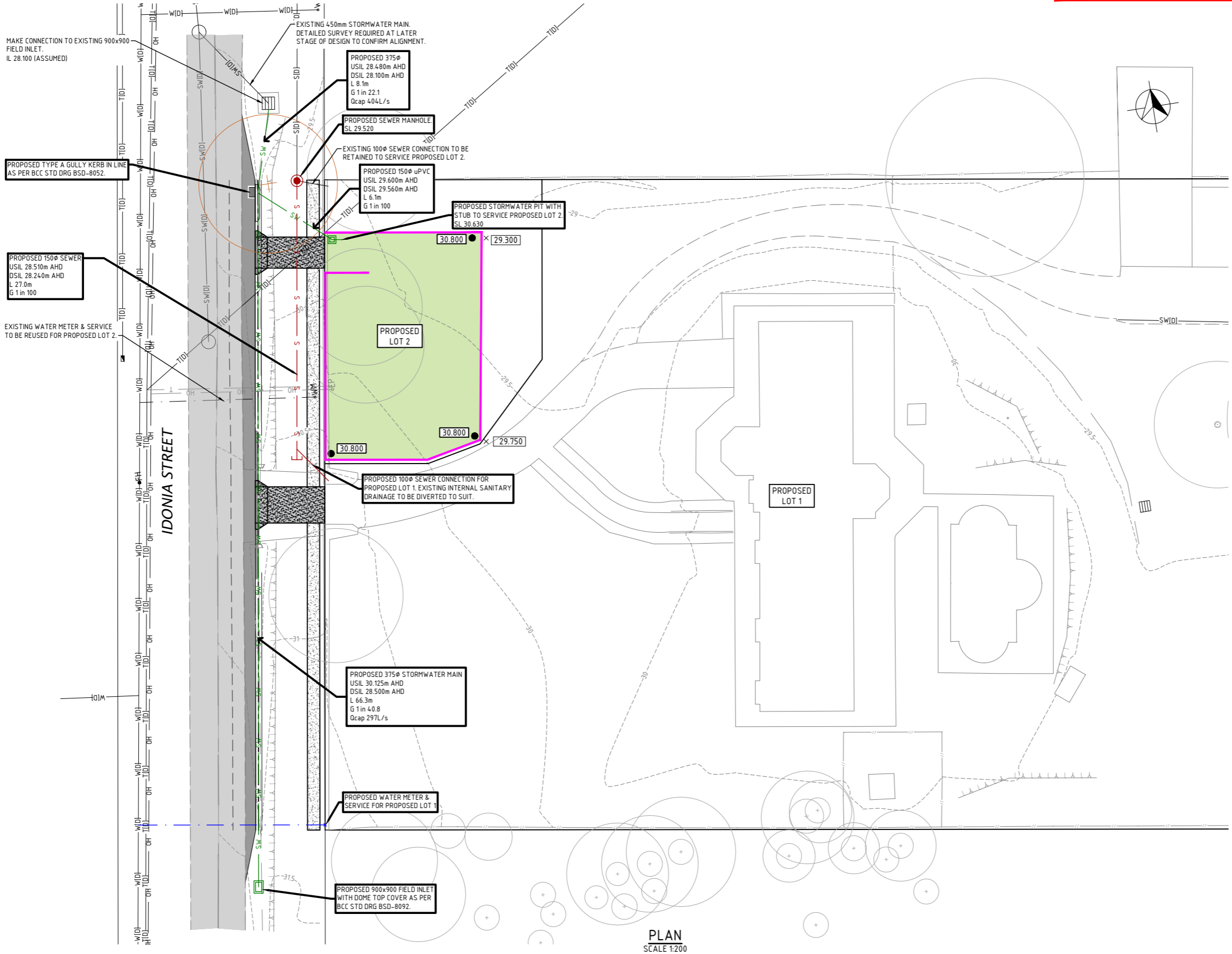
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- PROPOSED FILL
- ⊕ EXISTING TREE (TO BE REMOVED)
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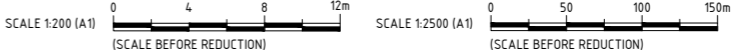
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PLAN
SCALE 1:200



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CLIENT
ALEXANDRA PORTER

PROJECT
104 IDONIA STREET, BRIDGEMAN DOWNS

TITLE
PRELIMINARY SERVICES LAYOUT PLAN

DRAWN	DESIGNED	DATE
PA	CFR	AUG 2025
CHECKED	APPROVED	
CFR		
DRAWING No.	C6350 - SK31	REV. B

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May 2026

MNCE Ref: C6350

Flood Investigation Report

104 Idonia Street, Bridgeman Downs

Commissioned By
Alexandra Porter

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MILANOVIC NEALE
CONSULTING ENGINEERS

REPORT CONTROL SHEET

MNCE Ref. No.:	C6350
Site:	104 Idonia Street, Bridgeman Downs
Report Title:	Flood Investigation Report
Report Author:	Karina Morel

Revision / Checking					
Rev No.	Date	Issued By	Signed	Authorised By	Signed
A	29/10/25	Cfr		Cfr	
B	13/05/26	Cfr	<i>Carina Morel</i>	Cfr	<i>Carina Morel</i>
					RPEQ - 29441

Distribution		*(CR-Courier; P-Post; H-Hand Delivered; CL-Collected; F-Fax; E-Email)								
Destination	Date Sent	By *	Revision Number / Number of Copies Sent							
			Draft	A	B	C	D	E	F	G
MNCE File	-	-		1	1					
Urban Strategies Pty Ltd	29/10/25	E		1						
Urban Strategies Pty Ltd	13/05/26	E			1					

Model File Reference		
Rev No.	ICM File Name	Rational Method File Name
A-B	C6350-250715-REVA	-

TABLE OF CONTENTS

1	INTRODUCTION	4
1.1	Overview and Background	4
1.2	Objectives and Scope.....	7
2	DATA	8
2.1	Modelling Parameters	8
2.2	Level Data.....	8
3	EXISTING SITE ANALYSIS	9
3.1	Existing Model Overview	9
3.2	Existing Hydrologic Model	9
3.3	Existing Hydraulic Model	11
3.4	Model Results.....	12
4	DEVELOPED SITE ANALYSIS.....	14
4.1	Developed Model Overview.....	14
4.2	Developed Hydrologic Model.....	14
4.3	Developed Hydraulic Model.....	14
4.4	Developed Model Results	15
5	PLANNING SCHEME REQUIREMENTS	17
5.1	Flood Planning Levels.....	17
6	INTERPRETATION AND CONCLUSIONS	18
	Appendix A: Proposed Development Layout.....	19
	Appendix B: BCC FloodWise Property Report.....	20
	Appendix C: Hydraulic Model Setup	21
	Appendix D: 1% AEP Flood Maps.....	22

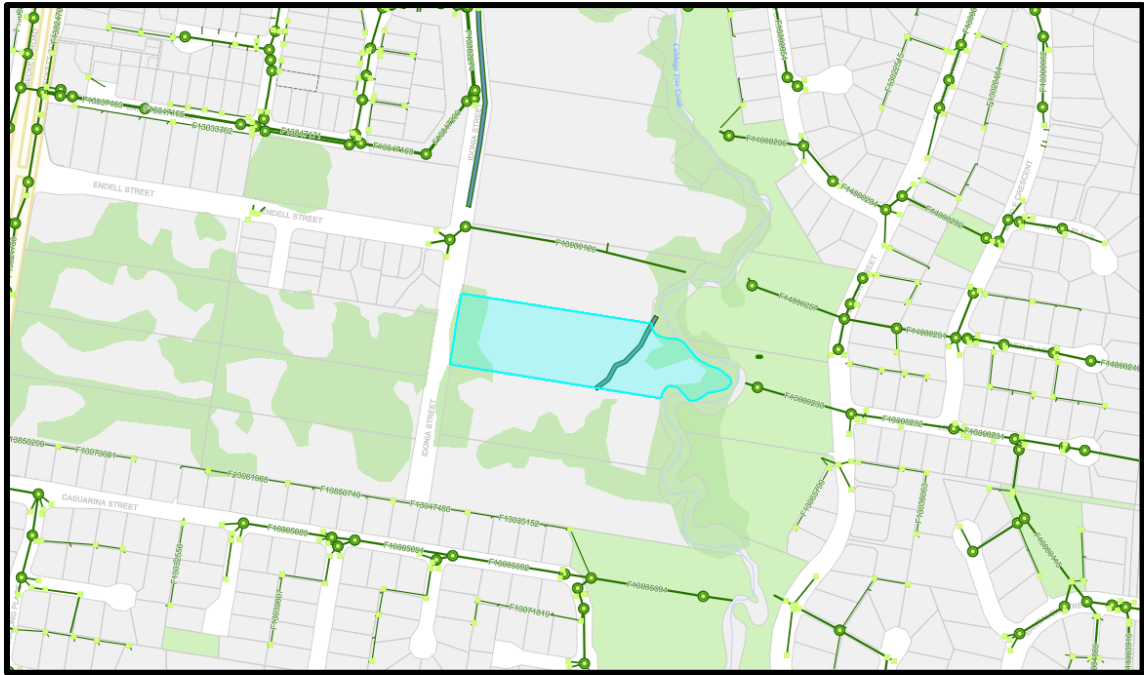


Figure 1.2: Municipal Stormwater Infrastructure (BCC Community Maps)

Brisbane City Council overlay maps indicate that the site is affected by Creek/Waterway Flood Planning Areas 1, 2, 3, 4 and 5. The site is not shown to be impacted by any other flood sources. Refer Figure 1.3 below.



Figure 1.3: Creek/Waterway Flood Planning Area (BCC City Plan 2014)

BCC's FloodWise Property Report provides estimated peak flood levels relative to the site for creek and waterway flooding, as outlined in Table 1.1 below.

Table 1.1: Creek/Waterway Flood Level

Likelihood	Level (mAHD)	Source
20% AEP	30.2	Creek/Waterway (Cabbage Tree Creek)
5% AEP	30.3	Creek/Waterway (Cabbage Tree Creek)
2% AEP	30.4	Creek/Waterway (Cabbage Tree Creek)
1% AEP	30.5	Creek/Waterway (Cabbage Tree Creek)
February 2022	30.5	River (Brisbane River and Creeks/Waterways)

1.2 Objectives and Scope

Milanovic Neale Consulting Engineers have been commissioned by Alexandra Porter to undertake an assessment of site flooding conditions.

This report seeks to establish the site-specific flooding conditions for the site in relation to existing and developed conditions. It will estimate the width, depth, velocity and the velocity depth products of site floodwaters and outline requirements for the proposed development in accordance with *Brisbane City Council's Planning Scheme Policy*.

The scope of works undertaken for this project are summarized below:

1. An integrated 1D-2D hydraulic model to be prepared in accordance with flood data outlined within Council's Cabbage Tree Creek Flood Study to recreate Creek/Waterway flood extents in the 1% AEP storm event.
2. Update the hydraulic model to reflect the development proposal to quantify developed site flooding conditions during the 1% AEP storm event.
3. Advise on compliance with Brisbane City Council's Flood Overlay Code with respect to flood planning levels and flow conveyance.

2 DATA

2.1 Modelling Parameters

Brisbane City Council's Flood Overlay Code, Brisbane City Council's Flood Planning Scheme Policy, the Queensland Urban Drainage Manual (QUDM, 2017) and Brisbane City Council's Cabbage Tree Creek Flood Study (2019) have been used as a guide to establish the required modelling parameters for the site.

2.2 Level Data

Surface levels external and internal to the site are based on 2019 LiDAR information from the Foundation Spatial Data Framework provided by the State of Queensland (Department of Natural Resources and Mines). Supplied publication data includes 2019 Brisbane City Council (LGA) 1 kilometre tiles in 1 metre Digital Elevation Models (DEM) in ASCII xyz format.

3 EXISTING SITE ANALYSIS

3.1 Existing Model Overview

This section of the report will analyse and comment on existing site flooding conditions. The modelling software InfoWorks ICM, utilising the RAFTS routing model, was used to replicate the Cabbage Tree Creek Flood Study hydrographs and peak flows from the catchments affecting the site for the 1% AEP. This software will also be utilised to prepare an integrated 1D-2D hydraulic model to quantify site flooding conditions.

3.2 Existing Hydrologic Model

Council’s Cabbage Tree Creek Flood Study outlines peak discharges under ultimate catchment conditions for several storm events at multiple locations along the Cabbage Tree Creek floodplain. The 1% AEP peak discharge recorded at the reporting location within closes proximity to the subject site was used to derive an inflow hydrograph for the hydraulic model. Refer Figure 3.1 and Table 3.1 below for selected reporting location and peak discharge information.

Figure 3.1: 1% AEP Hydrograph

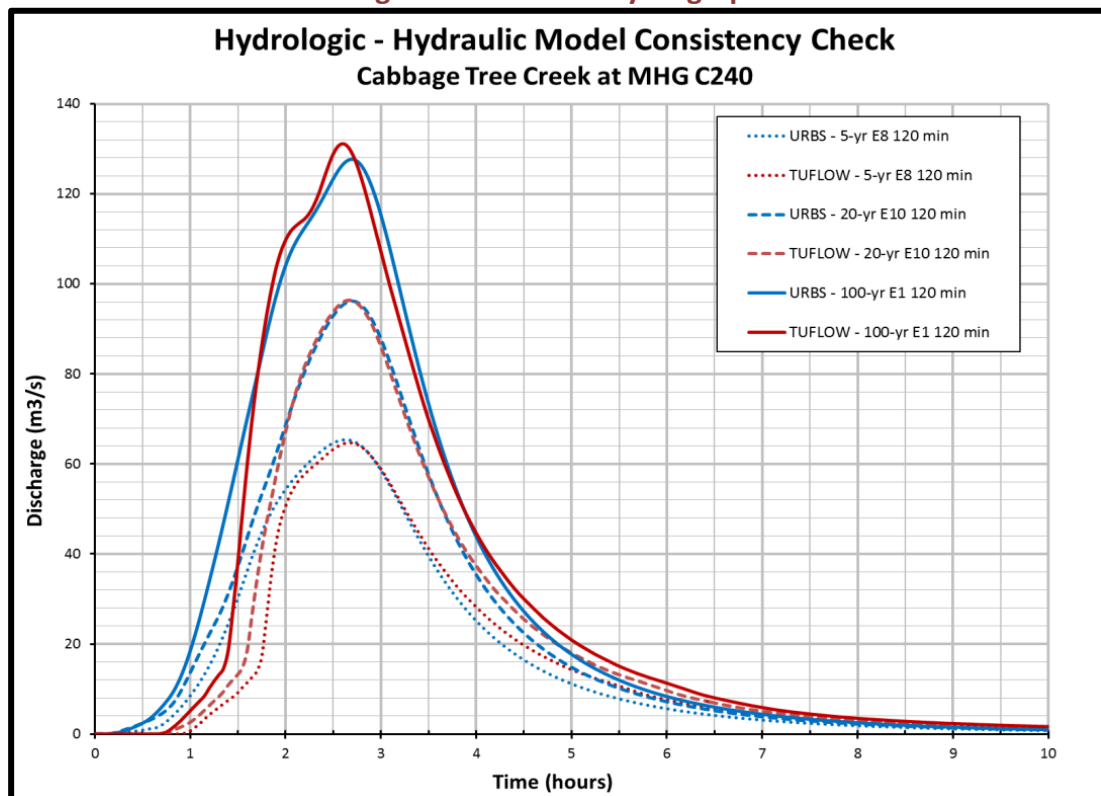


Table 3.1: Peak Flow Selection

Sub-Catchment Location	1% AEP Peak Discharge (m ³ /s)
240	128

The 1% AEP inflow hydrograph was defined with reference to a stage hydrograph recorded at 1.4km upstream of Albany Creek Road. See below map for approximate location.

Figure 3.2: MGH C240 Location (Cabbage Tree Creek Flood Study)



3.3 Existing Hydraulic Model

The two-dimensional model domain for the analysis covers an area of approximately 96ha. As outlined in Section 2 above, surface levels external to and including the site are based on LiDAR information.

The model utilises a minimum and maximum mesh size of 1m² and 2m² to provide the appropriate level of detail required to represent the study area with a 1 second time step. Refer Appendix C for model setup.

Manning 'n' roughness coefficients were used throughout the 2D domain to represent the surface roughness. These coefficients have been allocated in accordance with Council's *Cabbage Tree Creek Flood Study* and are summarised in Table 3.2 on below.

Table 3.2: Manning's Roughness Values

Landuse	Manning's 'n' Value
Roads	0.02
Open Space	0.04
Emerging Communities	0.06
Environmental Management and Conservation	0.08
Community Facilities (Community Purposes)	0.10
Low Density Residential	0.12
Vegetation (High Density)	0.15

An inflow line with reference to the 1% AEP inflow hydrograph identified in Figure 3.1 was referenced in the hydraulic model at 1.4km upstream of Albany Creek Road. The model domain was allocated a normal boundary condition and extended approximately 270m downstream of the subject site. Flows which reached the extents of the domain were therefore allowed to freely exit the model as per local topography and is considered to have no effect on the flooding conditions over and adjacent to the site.

3.4 Model Results

Flood depth, elevation and depth-velocity product estimates for existing conditions in the 1% AEP event relative to the existing dwelling and proposed area of works are presented in the following figures. Refer Appendix D for flooding conditions relative to the overall site.

Figure 3.3: 1% AEP Flood Depth Estimates



Figure 3.4: 1% AEP Flood Elevation Estimates



Figure 3.5: 1% AEP Hazard Estimates



A peak flood elevation of 29.9m AHD was identified within the vicinity of the proposed area of works towards the site's southern boundary, which strongly correlates with Council's existing 1% AEP flood elevation result file (29.92m AHD). The MNCE hydraulic model is therefore considered to provide a fair representation of Cabbage Tree Creek flood conditions in the 1% AEP storm event. The existing model is to therefore be updated to assess whether the proposed development works adversely impact flooding conditions within adjacent properties.

4 DEVELOPED SITE ANALYSIS

4.1 Developed Model Overview

This section of the report analyses and comments on developed site flooding conditions. The assessment has been undertaken using InfoWorks ICM, adopting the peak flow hydrograph data for the 1% AEP event from Council's Cabbage Tree Creek Flood Study.

4.2 Developed Hydrologic Model

Since the upstream sub catchments are independent of the works on the subject site, hydrologic model parameters were maintained as per existing conditions.

4.3 Developed Hydraulic Model

The existing model was updated to reflect the proposed 1 into 2 lot subdivision. This involved modifying the existing site surface levels to reference a flood immune building pad within proposed Lot 2.

Hydraulic parameters external to the proposed Lot 2 were retained as per existing conditions.

Refer Appendix A for sketch showing proposed fill extents.

4.4 Developed Model Results

Developed site flooding conditions in the 1% AEP flood event are presented in the following figures. Refer Appendix D for flooding conditions relative to the overall area.

Figure 4.1: 1% AEP Flood Depth Estimates for Developed Conditions



Figure 4.2: 1% AEP Flood Level Estimates for Developed Conditions

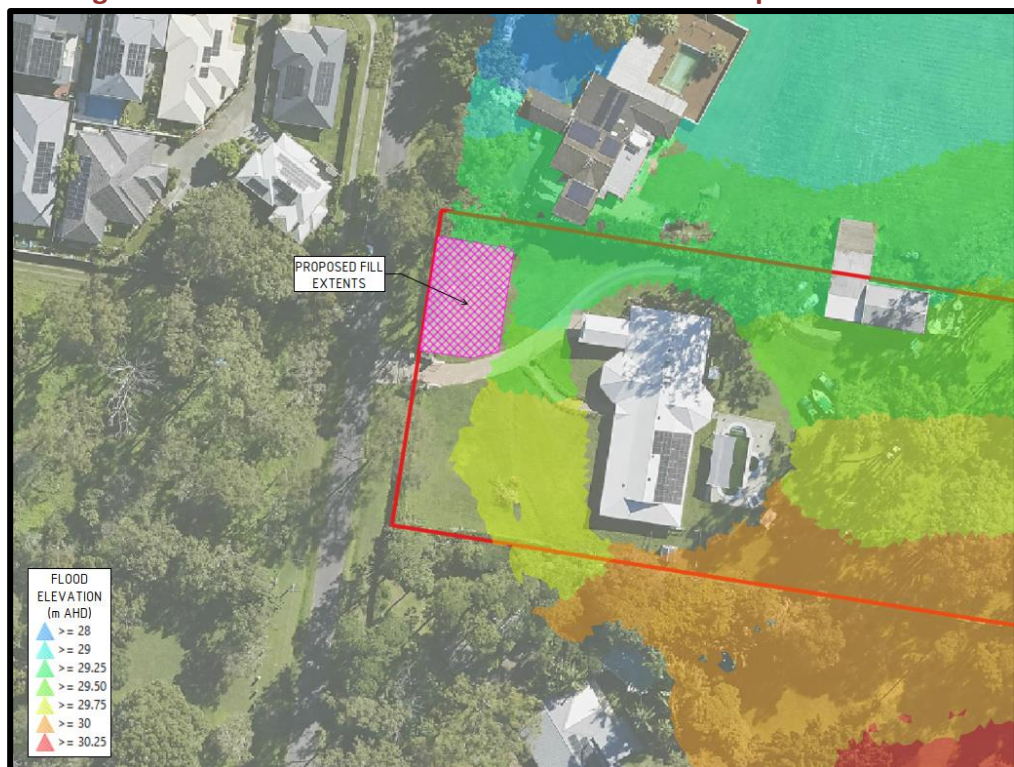
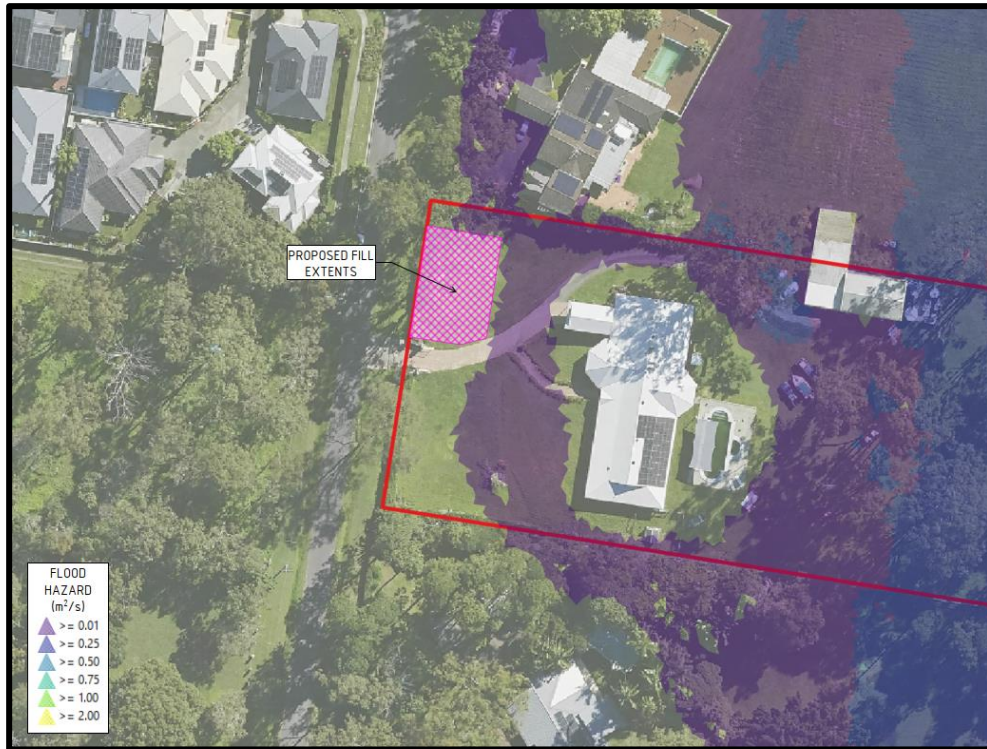


Figure 4.3: 1% AEP Hazard Estimates for Developed Conditions



The ICM model demonstrates that Creek flooding continues to affect the overall site under developed conditions, with exception of the proposed flood immune building pad within proposed Lot 2. The proposed works within Lot 2 are not shown to adversely impact flooding conditions within neighbouring private properties. Refer Figure 4.4 below for flood depth impact map.

Figure 4.4: 1% AEP Flood Depth Impact



5 PLANNING SCHEME REQUIREMENTS

This section outlines minimum flood planning levels for the proposed development based on Council's FloodWise Property Report.

5.1 Flood Planning Levels

The FloodWise Property Report identifies a 1% AEP Creek/Waterway flood level of 30.5m AHD for the site, which is adopted as the governing level for determining minimum lot levels and future dwelling floor level requirements.

It is considered that flood immunity requirements apply to Proposed Lot 2 only, as this will accommodate a future dwelling. Proposed Lot 1 contains the existing dwelling to be retained with only minor servicing works proposed; therefore, flood planning levels are not considered applicable to this lot.

The table below summarises minimum lot level and future dwelling floor level requirements for Proposed Lot 2.

Table 5.1: Flood Immunity Levels

Development Item	Requirement	Minimum Flood Immunity Level
Proposed Lot 2	Min. 300m ² at 1% AEP flood level + 300mm	30.80m AHD (30.5m AHD + 0.3m)
Future Lot 2 Dwelling Habitable Floor Level	1% AEP + 500mm	31.00m AHD (30.5m AHD + 0.5m)
Future Lot 2 Dwelling Non-habitable Floor Level	1% AEP + 300mm	30.80m AHD (30.5m AHD + 0.3m)

Proposed development works within proposed Lot 2 must be in accordance with the levels specified in Table 5.1 above to comply with Council's flood immunity requirements.

Refer Appendix A for preliminary services layout plan by MNCE, which references proposed filling works to be undertaken within proposed Lot 2 to satisfy the Council's flood immunity requirements.

6 INTERPRETATION AND CONCLUSIONS

An assessment of the limitations surrounding the potential development of the property at 104 Idonia Street, Bridgeman Downs in line with *Brisbane City Council's Planning Scheme Policy* and the *Queensland Urban Drainage Manual (QUDM)*, has been undertaken to support the proposed 1 into 2 lot subdivision.

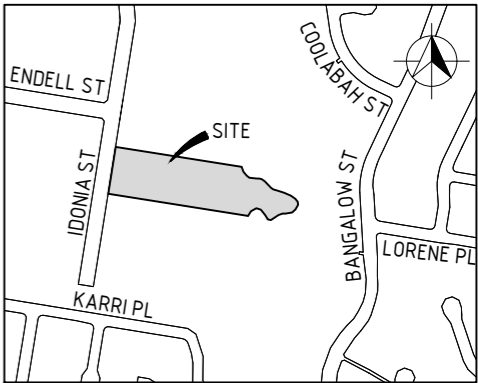
To determine whether the proposed development causes adverse impacts upon neighbouring properties in the 1% AEP Creek/Waterway Flood event, a hydraulic impact assessment was undertaken with reference to Council's Cabbage Tree Creek Flood Study.

Proposed filling works within proposed Lot 2 were shown to bear no adverse impact conditions on neighbouring private properties and therefore is considered to comply with Council's flow conveyance requirements.

Minimum lot and future habitable and non-habitable flood planning requirements are also considered to be satisfied for proposed Lot 2 based on a maximum 1% AEP Creek/Waterway flood planning level as outlined within Council's FloodWise Property Report. Council's flood planning requirements are not considered to be applicable to proposed Lot 1 as the existing dwelling is to be retained and works related to this lot are to be limited to underground servicing.

Appendix A: Proposed Development Layout

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LOCALITY PLAN
SCALE 1:2500

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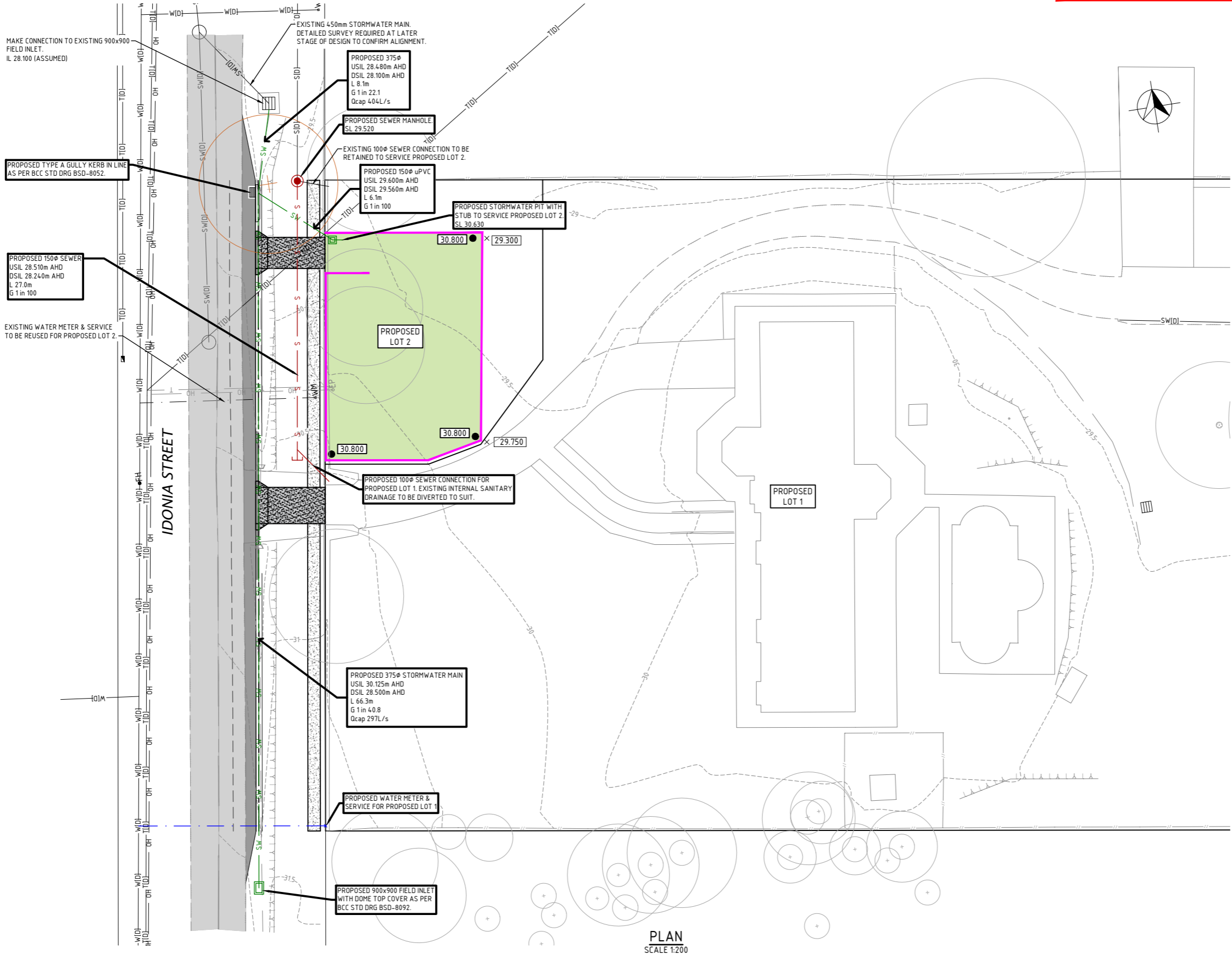
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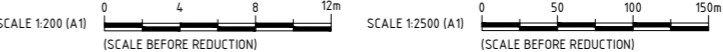
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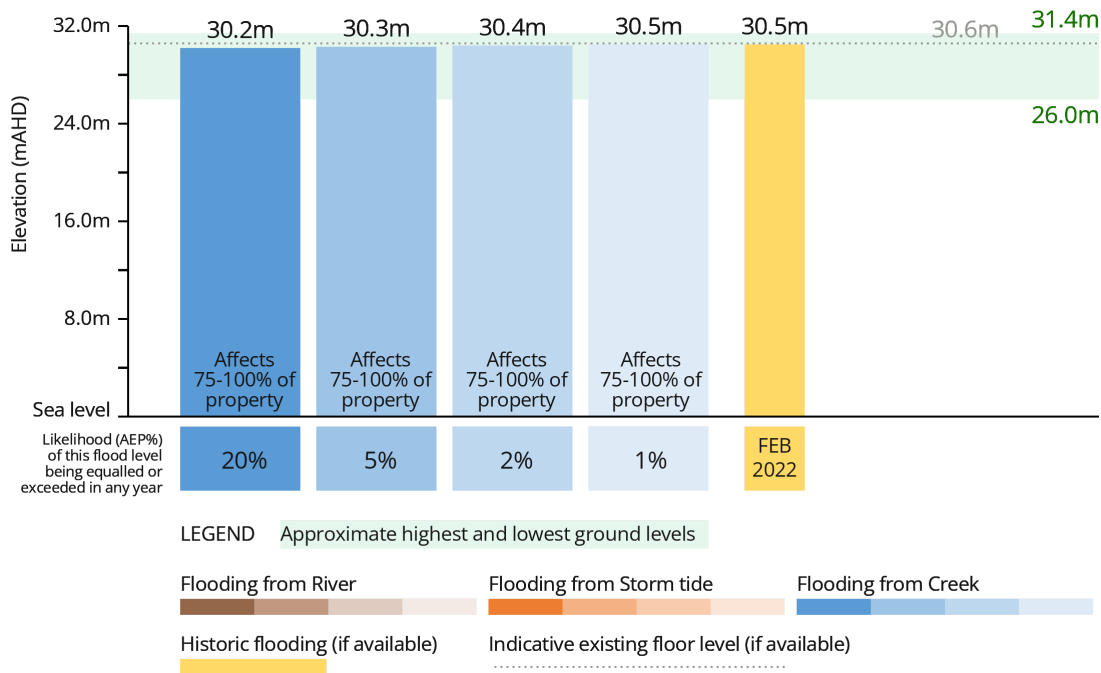
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Appendix B: BCC FloodWise Property Report

THE PURPOSE OF THIS REPORT IS FOR BUILDING AND DEVELOPMENT

Brisbane City Council's FloodWise Property Report provides technical flood planning information including estimated flood levels, habitable floor level requirements and more. This report uses the adopted flood planning information in Brisbane City Plan 2014, that guides how land in Brisbane is used and developed for the future. Find out more about [planning and building](#). To understand how to be resilient and prepare for floods, visit Council's [Be Prepared](#) webpage. Find more information about [how to read a FloodWise Property Report](#).

Graph showing only the highest source/type of flooding for 1%, 2%, 5% and 20% likelihoods. Also shows historic flood levels. Other flood types and levels may be present and will be listed in the Flood Planning Information table below. This graph does not include overland flow flooding. If applicable, overland flow information is shown in the Planning and Development Information section below.
NOTE: See Useful Definitions section to explain terminology.



Combined 1% AEP for river, creek and storm tide flood extent (if applicable) from the adopted Brisbane City Plan 2014. Read more about [Brisbane City Plan 2014](#).



Are you resilient and ready for flood?

- Sign up to the Brisbane Severe Weather Alert at brisbane.qld.gov.au/beprepared
- Visit bom.gov.au for the latest weather updates.
- Have an evacuation plan, emergency kit and important phone numbers ready.
- Observe where water flows from and to during heavy rain.
- Consider how flood-resilient building techniques will have you home faster and with less damage.

Life threatening emergencies
000 Police/fire/ambulance
(mobiles **000** and **112**)

State Emergency Service (SES) **132 500**
Energex **13 19 62**
Brisbane City Council **3403 8888**

Technical Summary

This section of the FloodWise Property Report contains more detailed flood information for this property so **surveyors, builders, certifiers, architects, and engineers can plan and build** in accordance with Council's planning scheme.

Find more information about [planning and building](#) in Brisbane or talk to a Development Services Planning Information Officer via Council's Contact Centre on (07) 3403 8888.

Property Information Summary

The following table provides a summary of flood information for this property. More detailed flood level information is provided in the following sections of this report.

Property Summary	Level (mAHD) / Comment	Data Quality Code
Minimum ground level	26.0	C
Maximum ground level	31.4	C
Indicative existing floor level	30.6	C
Source of highest flooding	Creek/Waterway	

Flood Planning Information

The table below displays the peak estimated flood levels by probability for this property. Estimated flood level data should be used in conjunction with applicable planning scheme requirements - Refer to Flood Planning and Development Information section below for further information.

Note this table does not include overland flow. If overland flow is applicable to this property, refer to the Flood Planning and Development section below for further information.

Likelihood / Description	Level (mAHD)	Source
20%	30.2	Creek/Waterway (Cabbage Tree Creek)
5%	30.3	Creek/Waterway (Cabbage Tree Creek)
2%	30.4	Creek/Waterway (Cabbage Tree Creek)
1%	30.5	Creek/Waterway (Cabbage Tree Creek)
0.2%	30.4	Creek/Waterway (Cabbage Tree Creek)
February 2022	30.5	River (Brisbane River and Creeks/Waterways)
Minimum Habitable Floor Level (dwelling house)	N/A*	

* Council may not have this data available. Customers are recommended to engage a Registered Professional Engineer of QLD (RPEQ) for further advice. For information on seeking Planning Advice, please visit www.brisbane.qld.gov.au/planning-and-building.

Flood Planning and Development Information

This section of the FloodWise Property Report contains information about Council's planning scheme overlays. Overlays identify areas within the planning scheme that reflect distinct themes that may include constrained land and/or areas sensitive to the effects of development.

Flood overlay code

The Flood overlay code of Council's planning scheme uses the following information to provide guidelines when developing properties. The table below summarises the flood planning areas (FPAs) that apply to this property. Development guidelines for the FPAs are explained in [Council's planning scheme](#).

Flood planning areas (FPA)		
River	Creek / waterway	Overland flow
	FPA1	Not Applicable
	FPA2	
	FPA3	
	FPA4	
	FPA5	

To find more information about Council's flood planning areas (FPAs) for Brisbane River and Creek/waterway flooding to guide future building and development in flood prone areas, please review [Council's Flood Planning Provisions](#).

Coastal hazard overlay code

The Coastal hazard overlay code of Council's planning scheme uses the following information to provide guidelines when conducting new developments. The table below summarises the coastal hazard categories that apply to this property. Development guidelines for the following Coastal hazard overlay sub-categories are explained in Council's [planning scheme](#).

Coastal hazard overlay sub-categories
There are currently no Coastal hazard overlay sub-categories that apply to this property.

Note: Where land is identified within one or more flood planning areas on the Flood overlay or is identified within one of the Storm tide inundation area sub-categories on the Coastal hazard overlay, the assessment criteria that provides the highest level of protection from any source of flooding applies.

Property development flags

Waterway corridor - This property may also be located within a mapped waterway corridor as identified in the Waterway corridors overlay map of Council's planning scheme. Please consider this in conjunction with Council's planning scheme requirements.

Large allotment - This property is either a Large Allotment of over 1000 square metres or is located within a Large Allotment. Flood levels may vary significantly across allotments of this size. Further investigations may be warranted in determining the variation in flood levels and the minimum habitable floor level across the site.

For more information or advice, please consult a Registered Professional Engineer of Queensland (RPEQ).

Useful Flood Information Definitions

Australian Height Datum (AHD) - The reference level for defining ground levels in Australia. The level of 0.0m AHD is approximately mean sea level.

Annual Exceedance Probability (AEP) - The probability of a flood event of a given size occurring in any one year, usually expressed as a percentage annual chance.

- **0.2% AEP** - A flood event of this size is considered rare but may still occur. A flood of size or larger has a 1 in 500 chance or a 0.2% probability of occurring in any year.
- **1% AEP** - A flood of this size or larger has a 1 in 100 chance or a 1% probability of occurring in any year.
- **2% AEP** - A flood of this size or larger has a 1 in 50 chance or a 2% probability of occurring in any year.
- **5% AEP** - A flood of this size or larger has a 1 in 20 chance or a 5% probability of occurring in any year.
- **20% AEP** - A flood of this size or larger has a 1 in 5 chance or a 20% probability of occurring in any year.

Data quality

- **Data Quality Code A** - Level data based on recent surveyor report or approved as-constructed drawings.
- **Data Quality Code B** - Level data based on ground-based mobile survey or similar.
- **Data Quality Code C** - Level data derived from Airborne Laser Scanning or LiDAR information.

Defined Flood Level (DFL) - The DFL is used for commercial and industrial development. The Defined flood level (DFL) for Brisbane River flooding is a level of 3.7m AHD at the Brisbane City Gauge based on a flow of 6,800 m/s. DFL is only applicable for non-residential uses affected by Brisbane River flooding.

Flood planning area (FPA) - Council has developed five Flood planning areas (FPAs) as part of Brisbane City Plan 2014 Flood overlay mapping for Brisbane River, Creek/waterway flooding and Overland flow to guide future building and development in flood prone areas. Storm tide flooding is mapped separately. The FPAs are designed to recognise the flood hazard for different flooding types. Flood hazard is a combination of frequency of flooding, the flood depth, and the speed at which the water is travelling. [Find more information here.](#)

Maximum and minimum ground level - Highest and lowest ground levels on the property based on available ground level information. A Registered Surveyor can confirm exact ground levels.

Minimum habitable floor level (dwelling house) - The minimum level in metres AHD at which habitable areas of development (generally including bedrooms, living rooms, kitchen, study, family, and rumpus rooms) must be constructed as required by the Brisbane City Plan 2014.

Indicative existing floor level - The approximate level in metres AHD of the lowest habitable floor in the existing building (excluding apartments). The data is sourced from a range of sources with varying accuracy levels.

Property - A property will contain 1 or more lots. The multiple lot warning is shown if you have selected a property that contains multiple lots.

Residential flood level (RFL) - This flood level for the Brisbane River equates to the 1% annual exceedance probability (AEP) flood level.

To learn more, visit [Brisbane City Council's Flood Information Hub](#)

Brisbane City Council's Online Flood Tools

Council provides several online flood tools:

- to guide planning and development
- to help residents and businesses understand their flood risk and prepare for flooding.

Council's online flood tools for planning and development purposes include:

- **FloodWise Property Report**
- **Flood Overlay Code**

For more information on Council's planning scheme and online flood tools for planning and development:

- phone (07) 3403 8888 and ask to talk to a Development Services Planning Information Officer

- visit brisbane.qld.gov.au/planning-building

Council's Planning Scheme - The Brisbane City Plan 2014 (planning scheme) has been prepared in accordance with the Sustainable Planning Act as a framework for managing development in a way that advances the purpose of the Act. In seeking to achieve this purpose, the planning scheme sets out the Council's intention for future development in the planning scheme area, over the next 20 years.

Disclaimer

1. Defined flood levels and residential flood levels, minimum habitable floor levels and indicative existing floor levels are determined from the best available information to Council at the date of issue. These levels, for a particular property, may change if more detailed information becomes available or changes are made in the method of calculating levels.
2. Council makes no warranty or representation regarding the accuracy or completeness of a FloodWise Property Report. Council disdaims any responsibility or liability in relation to the use or reliance by any person on a FloodWise Property Report.

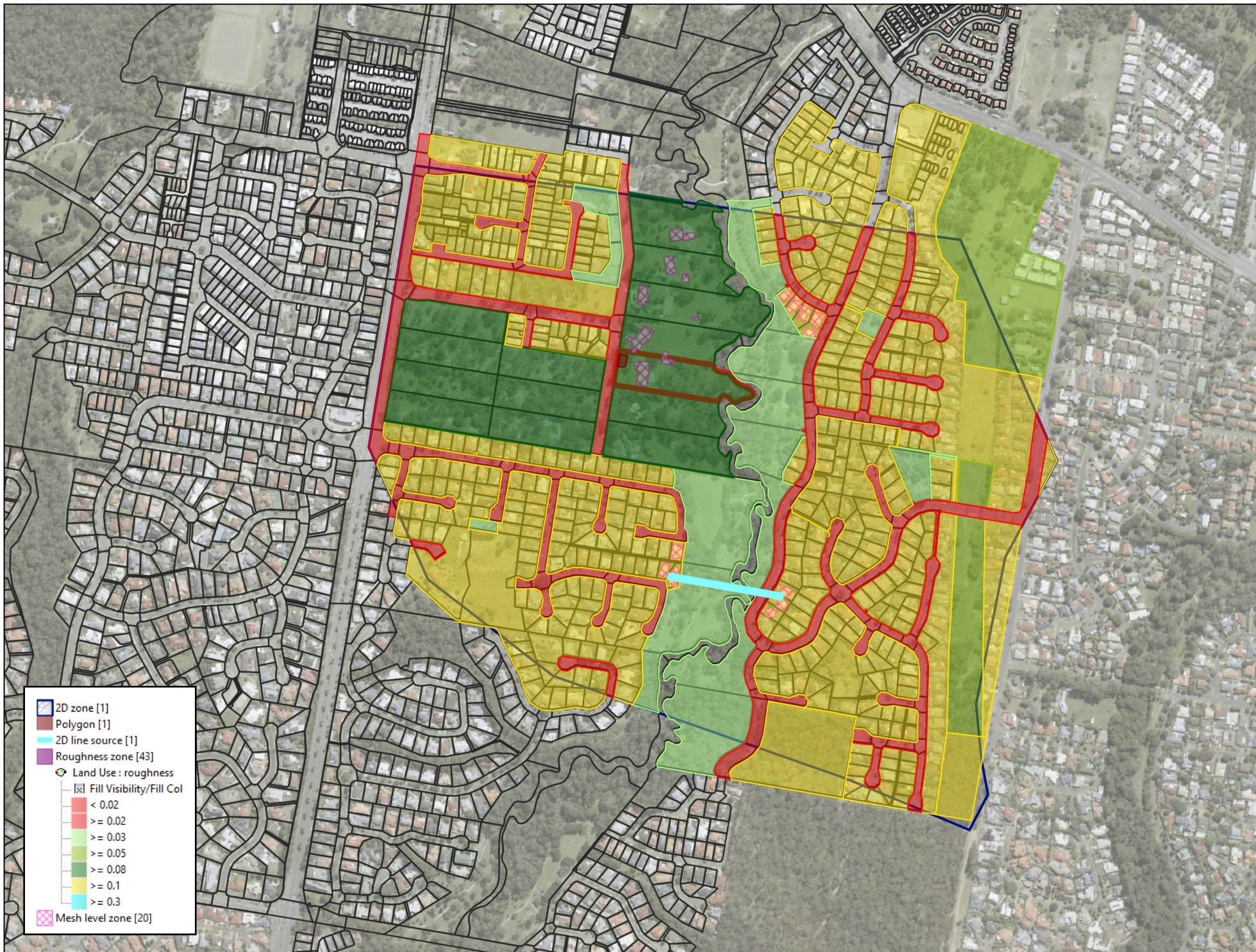


Planning to build or renovate?

For information, guidelines, tools and resources to help you track, plan or apply for your development visit brisbane.qld.gov.au/planning-building

You can also find the Brisbane City Plan 2014 and Neighbourhood Plans as well as other information and training videos to help, with your building and development plans.

Appendix C: Hydraulic Model Setup

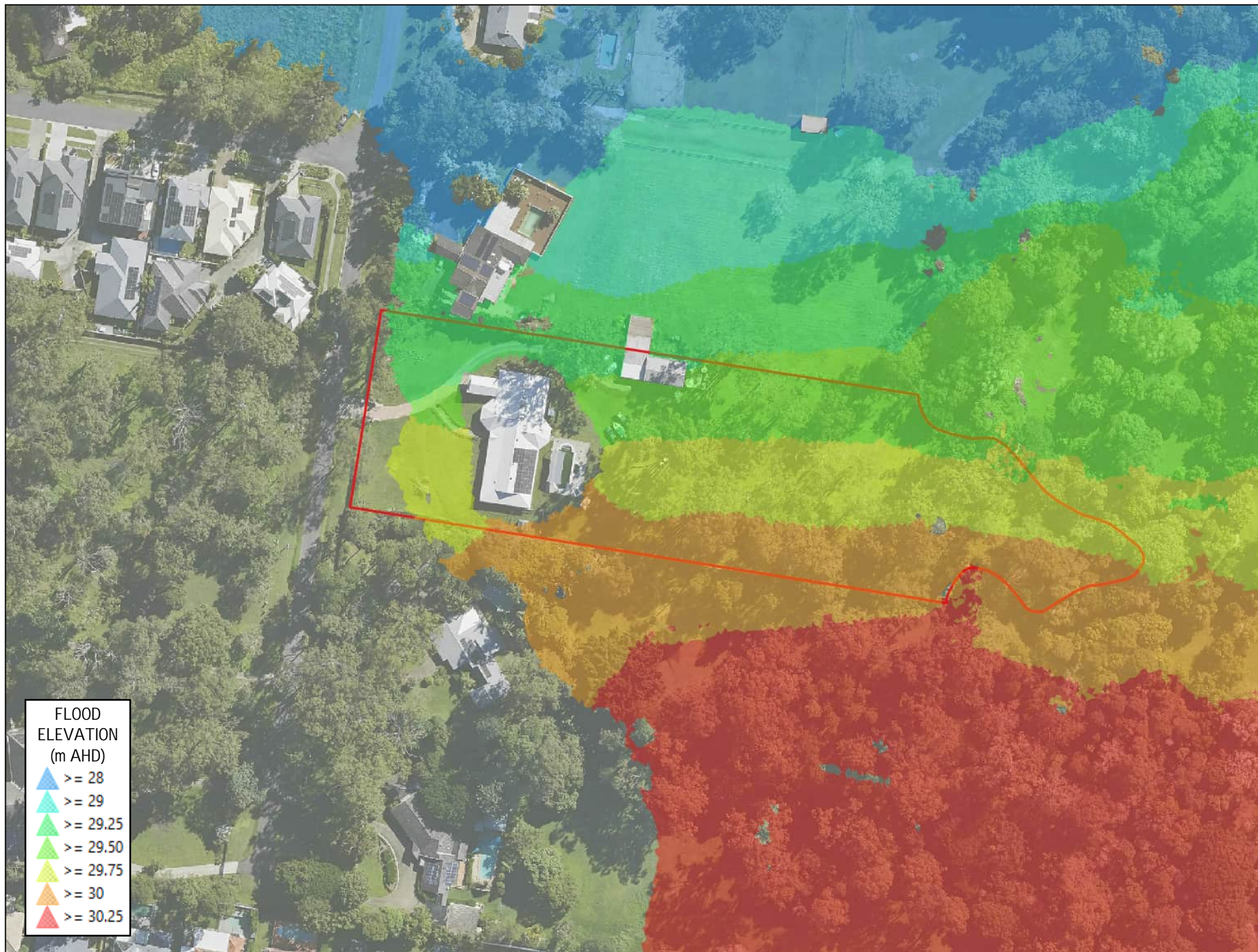


Appendix D: 1% AEP Flood Maps

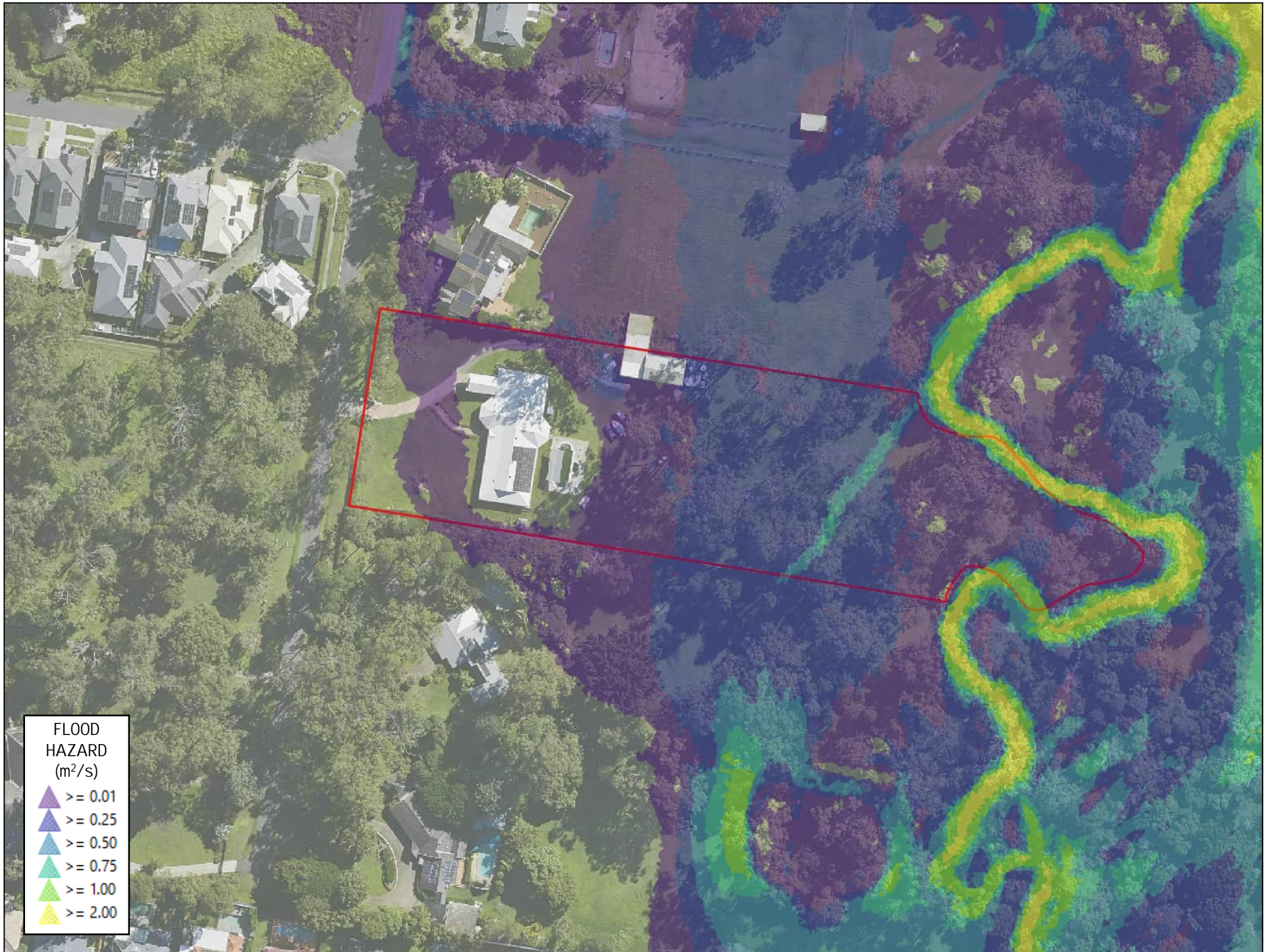
1% AEP FLOOD DEPTH - EXISTING CONDITIONS



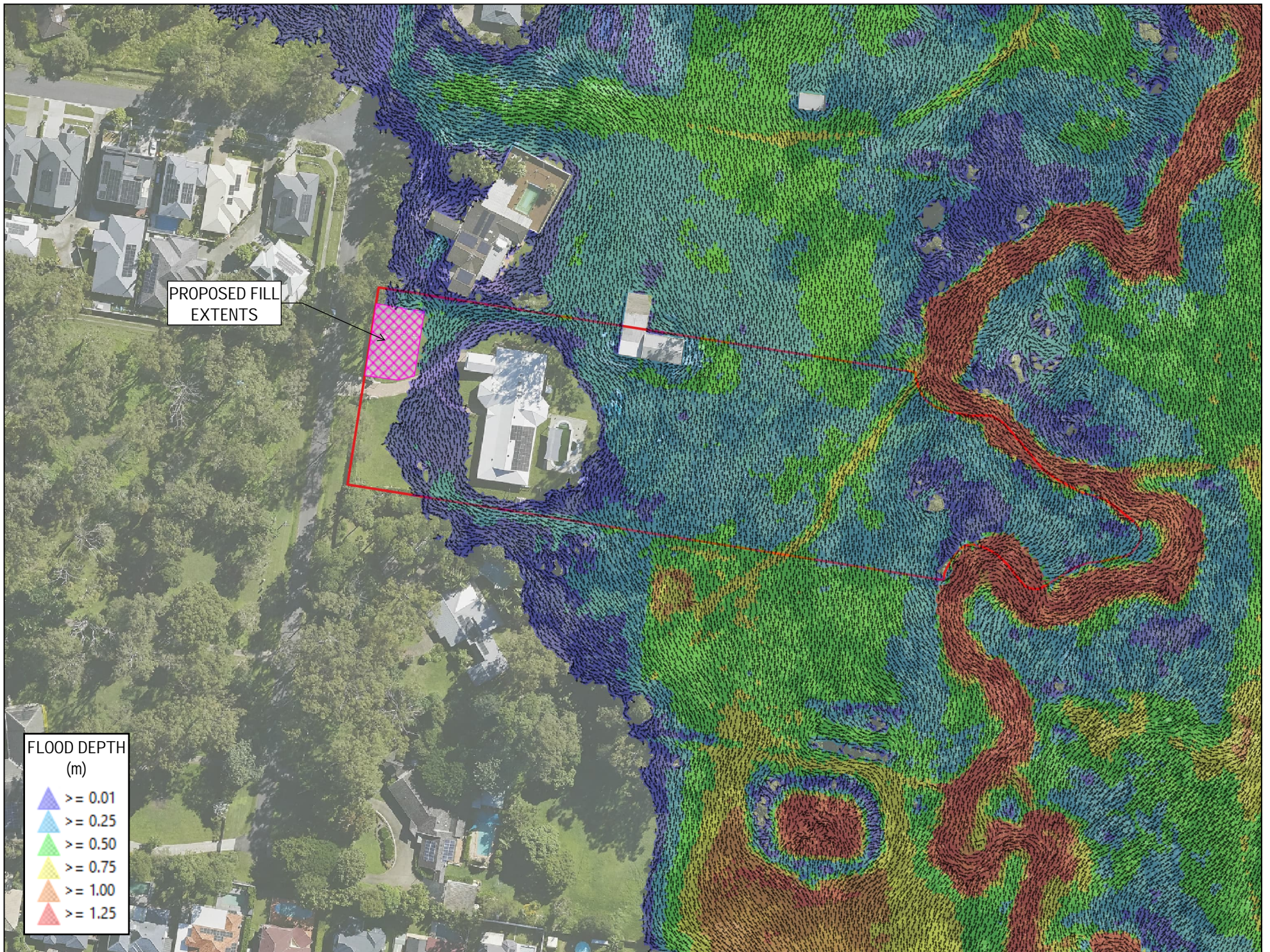
1% AEP FLOOD ELEVATION - EXISTING CONDITIONS



1% AEP FLOOD HAZARD - EXISTING CONDITIONS



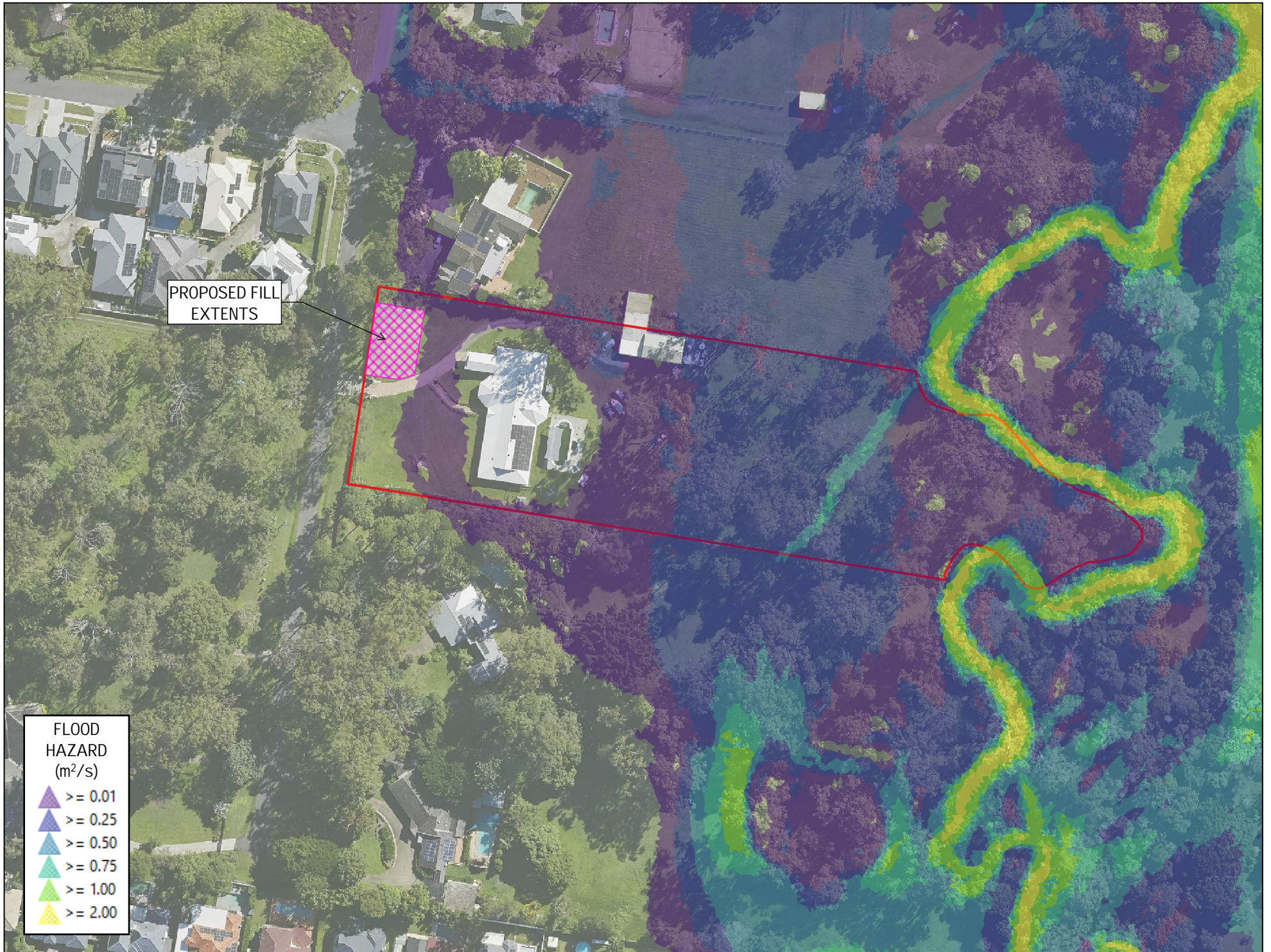
1% AEP FLOOD DEPTH - PROPOSED CONDITIONS



1% AEP FLOOD ELEVATION - PROPOSED CONDITIONS



1% AEP FLOOD HAZARD - PROPOSED CONDITIONS



1% AEP FLOOD DEPTH IMPACT - PROPOSED CONDITIONS

