



# CYBER

DRAFTING & DESIGN

BCC DS  
 RECEIVED  
 06/07/2026  
 APPLICATION REF  
 A007063369

## Building Energy Rating Scheme



Project: CAPT LOT 4 B11270  
 Location: THE GAP  
 Climate: climat10.TXT

Run: 1  
 Post Code: 4061  
 Date: 21.09.2011

**BERS**  
**V4.1**



6.0

Cooling: 22.6  
 Total: 46.2

Heating: 23.6  
 Adjusted Star Rating: 6.0

H. Willrath Copyright 2006

Dwelling Details			
DP Number	RP101805	Unit Number or Name	
Lot Number	4	Or House Number	
Street Name	1252 WATERWORKS ROAD		
Development Name			
Suburb or Town	THE GAP		
State	QLD	Post Code	4061
Client Details			
Name	CAPT BUILDING CONSULTANT SERV.		
Phone	0411 318212	Fax	
Email	capttemp@bigpond.com		
Postal Address	C/ PO BOX 4185 EIGHT MILE PLAINS QLD 4113		
Street Address			
Assessor Details			
Name	Grant Gooley	Assessor Number	QLD 163
Phone	07 3341 5455	Fax	07 3341 5400
Email	grant@cyberdrafting.com.au		
Postal Address			
Street Address	72 COLLETT STREET, EIGHT MILE PLAINS QLD 4113		

I am a fully trained and Registered BERS Pro energy assessor.  
 I certify that this is an accurate assessment of the building  
 I certify that this assessment is my own work and does not include the work of others.

Signed by the assessor

CAPT BUILDING CONSULTANT SERVICES P/L  
**APPROVED**  
 Subject to Compliance with conditions  
 endorsed. Building Certifier - Andrew Leung  
 Date 21.09.2011  
 BSA No. 22/19/2011  
 D.P. No: B011706



# CYBER

DRAFTING & DESIGN

72 Collett Street  
 Eight Mile Plains 4113  
 Phone: (07) 3341 5455  
 Fax: (07) 3341 5400  
 Mob: 0438 700576

email: [grant@cyberdrafting.com.au](mailto:grant@cyberdrafting.com.au)  
 web: [www.cyberdrafting.com.au](http://www.cyberdrafting.com.au)  
 ABN: 25 890 335 667  
 BSA: 1142338

**Project** CAPT LOT 4 B11270 **Run** 1  
**THE GAP PC 4061 Lat** -27.50 **Long** 152.90 **Climate File** climat10.TXT

**Summary**

Conditioned Area 135.0 m<sup>2</sup>  
 Unconditioned Area 115.1 m<sup>2</sup>  
 Total Floor Area 250.2 m<sup>2</sup>  
 Total Glazed Area 39.7 m<sup>2</sup>  
 Total External Solid door Area 18.7 m<sup>2</sup>  
 Glass to Floor Area 15.9 %  
 Gross External Wall Area 334.2 m<sup>2</sup>  
 Net External Wall Area 275.9 m<sup>2</sup>

**Window**

Area 39.7 m<sup>2</sup> GGG-05-001a Generics Uval 6.46 SHGC 0.76  
 Glass Single Glazed Clear  
 Frame Aluminium

**External Wall**

Net Wall Area 205.1 m<sup>2</sup> PowerPanel Foil, Reflective One Side, Anti-glare Other (40mm KOOLWALL & SISALATION)  
 Net Wall Area 45.8 m<sup>2</sup> Concrete Block No Insulation  
 Net Wall Area 25.0 m<sup>2</sup> Concrete Block to earth No Insulation

**Internal Wall**

Net Wall Area 100.0 m<sup>2</sup> Cavity Panel 75mm gap No Insulation

**External Floor**

Floor Area 98.5 m<sup>2</sup> Concrete Slab on Ground No Insulation Bare  
 Floor Area 69.8 m<sup>2</sup> Concrete Slab on Ground No Insulation Cork Tiles or Parquetry (TIMBER)

**External Ceiling**

Ceiling Area 168.3 m<sup>2</sup> Plasterboard Bulk Insulation R 2.5 0° slope Unventilated roof space cavity above ceiling

**Internal Floor/Ceiling**

Floor/Ceiling Area 81.9 m<sup>2</sup> Timber Above Plasterboard No Insulation

**Roof**

Floor Area 168.3 m<sup>2</sup> Corrugated Iron Foil, Reflective Side Down, Anti-glare Up, 15° slope Hip roof

**Zone 1 STORE ROOM Corridor Area on Level 1**

Air Movement Screens Seals Chimney Gas vent Wall vents Downlights Ex Fans Ceiling fans  
 No Yes No No 0 0 0 No

Void Area To Zone  
 Void 1 2.16 2

External Floor Area Under Floor  
 45.76 Bare Concrete Slab on Ground No Insulation

Internal Ceiling Area  
 45.80 Timber Above Plasterboard No Insulation

Partition Wall Length Height AdjZ Area Type

Door Int Width Height AdjZ Area Type

Window Width Height Eaves Orient Area Name Glass Frame



Door Ext	Width	Height	Eaves	Opening Orient	Covering Area	Shading Type	Abs
External Wall	Length	Height	Eaves	Orient	Area	Type	
Wall E 1	10.40	2.40	0.00	180	18.83	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50
Door E(1, 1)	0.82	2.10	0.00	180	1.72	Solid timber door	
Window(1, 1)	2.10	2.10	0.00	180	4.41	GGG-05-001a Single Glazed Clear Aluminium 50% Opening Sliding, Two Lites Holland Blind No Shading	
Wall E 2	4.40	2.40	0.00	270	10.56	Concrete Block No Insulation	0.50
Wall E 3	10.40	2.40	0.00	0	24.96	Concrete Block to earth No Insulation	0.50
Wall E 4	4.40	2.40	0.00	90	10.56	Concrete Block No Insulation	0.50

Zone 2 KITCHENETTE DINING LOUNGE Living/Kitchen Area on Level 2

Air Movement	Screens	Seals	Chimney	Gas vent	Wall vents	Downlights	Ex Fans	Ceiling fans
No	Yes	No	No	0	0	0	0	No

Void	Area	To Zone
Void 1	2.16	1
Void 2	2.16	10

External Floor	Area	Under Floor	
	37.52	Cork Tiles or Parquetry Concrete Slab on Ground No Insulation	
Internal Ceiling	Area		
	36.10	Timber Above Plasterboard No Insulation	
Int Floor Cover	Area		
	26.20	Carpet and Underlay	
Ceiling	Slope	Area	
	0	27.62 Plasterboard Bulk Insulation R2.50 Unventilated roof space cavity above ceiling	
Roof	Slope	Shape	Type
	15	Hip	Corrugated Iron Foil, Reflective Side Down, Anti-glare Up

Partition Wall	Length	Height	AdjZ	Area	Type
Door Int	Width	Height	AdjZ	Area	Type
Wall P 6	1.80	2.80	5	1.44	Cavity Panel 75mm gap No Insulation
Door I(6, 1)	1.50	2.40	5	3.60	Opening in wall
Wall P 8	9.60	2.80	6	26.88	Cavity Panel 75mm gap No Insulation
Wall P 9	1.00	2.80	6	1.08	Cavity Panel 75mm gap No Insulation
Door I(9, 1)	0.82	2.10	6	1.72	Hollow core door
Wall P 10	1.00	2.80	3	1.08	Cavity Panel 75mm gap No Insulation
Door I(10, 1)	0.82	2.10	3	1.72	Hollow core door
Wall P 11	1.80	2.80	4	3.32	Cavity Panel 75mm gap No Insulation
Door I(11, 1)	0.82	2.10	4	1.72	Hollow core door
Wall P 12	2.60	2.80	4	7.28	Cavity Panel 75mm gap No Insulation

Window	Width	Height	Eaves	Opening Orient	Covering Area	Shading Type	Abs
External Wall	Length	Height	Eaves	Orient	Area	Type	
Wall E 1	6.00	2.80	1.20	270	14.64	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50
Window(1, 1)	1.20	0.90	1.20	270	1.08	GGG-05-001a Single Glazed Clear Aluminium 50% Opening Sliding, Two Lites Holland Blind No Shading	
Window(1, 2)	1.80	0.60	1.20	270	1.08	GGG-05-001a Single Glazed Clear Aluminium 50% Opening Sliding, Two Lites Holland Blind No Shading	
Wall E 2	1.20	2.80	3.00	0	3.36	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50
Wall E 3	3.00	2.80	2.40	270	2.73	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50
Window(3, 1)	2.70	2.10	2.40	270	5.67	GGG-05-001a Single Glazed Clear Aluminium 50% Opening Sliding, Two Lites Holland Blind No Shading	
Wall E 4	2.00	2.80	0.00	0	2.45	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50
Window(4, 1)	1.50	2.10	0.00	0	3.15	GGG-05-001a Single Glazed Clear Aluminium 50% Opening Sliding, Two Lites Holland Blind No Shading	
Wall E 5	4.20	2.80	2.80	270	10.14	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50
Window(5, 1)	1.80	0.90	2.80	270	1.62	GGG-05-001a Single Glazed Clear Aluminium 50% Opening Sliding, Two Lites Holland Blind No Shading	
Wall E 7	1.20	2.80	8.20	0	1.64	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50
Door E(7, 1)	0.82	2.10	8.20	0	1.72	Solid timber door	
Wall E 13	5.40	2.80	0.60	180	14.04	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50
Window(13, 1)	1.80	0.60	0.60	180	1.08	GGG-05-001a Single Glazed Clear Aluminium 50% Opening Sliding, Two Lites Holland Blind No Shading	

**APPROVED**

Subject to Compliance with conditions endorsed.

Building Certifier - Arthur Leung  
BSA No. A66352  
Date 22/9/2011

D.P. No: B011706

Zone 3 BEDROOM GF Sleeping Area on Level 2

Air Movement	Screens	Seals	Chimney	Gas vent	Wall vents	Downlights	Ex Fans	Ceiling fans
	No	Yes	No	No	0	0	0	No
Int Floor Cover			Area					
			14.10	Cork Tiles or Parquetry				
Ceiling	Slope	Area						
	0	14.08		Plasterboard Bulk Insulation R2.50 Unventilated roof space cavity above ceiling				
Roof	Slope	Shape	Type					
	15	Hip	Corrugated Iron	Foil, Reflective Side Down, Anti-glare Up				
Partition Wall	Length	Height	AdjZ	Area	Type			
Door Int	Width	Height	AdjZ	Area	Type			
Wall P 1	3.20	2.80	6	8.96	Cavity Panel 75mm gap	No Insulation		
Wall P 4	2.60	2.80	4	7.28	Cavity Panel 75mm gap	No Insulation		
Wall P 5	1.00	2.80	2	1.08	Cavity Panel 75mm gap	No Insulation		
Door I (5, 1)	0.82	2.10	2	1.72	Hollow core door			
Wall P 6	0.80	2.80	6	2.24	Cavity Panel 75mm gap	No Insulation		
Window	Width	Height	Eaves	Orient	Area	Name	Glass	Frame
			Opening	Covering	Shading			
Door Ext	Width	Height	Eaves	Orient	Area	Type		
External Wall	Length	Height	Eaves	Orient	Area	Type	Abs	
Wall E 2	4.40	2.80	0.60	90	10.70	PowerPanel Foil, Reflective One Side, Anti-glare	Other	0.50
Window (2, 1)	1.80	0.90	0.60	90	1.62	GGG-05-001a Single Glazed Clear	Aluminium	
					50% Opening Sliding, Two Lites Holland Blind		No Shading	
Wall E 3	3.20	2.80	0.60	180	7.34	PowerPanel Foil, Reflective One Side, Anti-glare	Other	0.50
Window (3, 1)	1.80	0.90	0.60	180	1.62	GGG-05-001a Single Glazed Clear	Aluminium	
					50% Opening Sliding, Two Lites Holland Blind		No Shading	

Zone 4 ENS Wet Area on Level 2

Air Movement	Screens	Seals	Chimney	Gas vent	Wall vents	Downlights	Ex Fans	Ceiling fans
	No	Yes	No	No	0	0	0	No
Int Floor Cover			Area					
			4.70	Ceramic Tiles				
Ceiling	Slope	Area						
	0	4.68		Plasterboard Bulk Insulation R2.50 Unventilated roof space cavity above ceiling				
Roof	Slope	Shape	Type					
	15	Hip	Corrugated Iron	Foil, Reflective Side Down, Anti-glare Up				
Partition Wall	Length	Height	AdjZ	Area	Type			
Door Int	Width	Height	AdjZ	Area	Type			
Wall P 1	2.60	2.80	2	7.28	Cavity Panel 75mm gap	No Insulation		
Wall P 2	1.80	2.80	2	3.32	Cavity Panel 75mm gap	No Insulation		
Door I (2, 1)	0.82	2.10	2	1.72	Hollow core door			
Wall P 3	2.60	2.80	3	7.28	Cavity Panel 75mm gap	No Insulation		
Window	Width	Height	Eaves	Orient	Area	Name	Glass	Frame
			Opening	Covering	Shading			
Door Ext	Width	Height	Eaves	Orient	Area	Type		
External Wall	Length	Height	Eaves	Orient	Area	Type	Abs	
Wall E 4	1.80	2.80	0.60	180	4.50	PowerPanel Foil, Reflective One Side, Anti-glare	Other	0.50
Window (4, 1)	0.60	0.90	0.60	180	0.54	GGG-05-001a Single Glazed Clear	Aluminium	
					50% Opening Sliding, Two Lites Holland Blind		No Shading	

Zone 5 RUMPUS Living Area on Level 2

Air Movement	Screens	Seals	Chimney	Gas vent	Wall vents	Downlights	Ex Fans	Ceiling fans
	No	Yes	No	No	0	0	0	No
External Floor			Area	Under Floor				
			32.24	Cork Tiles or Parquetry Concrete Slab on Ground No Insulation				
Ceiling	Slope	Area						
	0	32.24		Plasterboard Bulk Insulation R2.50 Unventilated roof space cavity above ceiling				
Roof	Slope	Shape	Type					
	15	Hip	Corrugated Iron	Foil, Reflective Side Down, Anti-glare Up				
Partition Wall	Length	Height	AdjZ	Area	Type			
Door Int	Width	Height	AdjZ	Area	Type			
Wall P 3	1.80	2.80	2	1.44	Cavity Panel 75mm gap	No Insulation		
Door I (3, 1)	1.50	2.40	2	3.60	Opening in wall			



Window	Width	Height	Eaves	Orient	Area	Name	Glass	Frame
Door Ext	Width	Height	Eaves	Orient	Area	Type	Abs	
External Wall	Length	Height	Eaves	Orient	Area	Type	Abs	
Wall E 1	5.00	2.80	0.60	0	12.28	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50	
Door E(1, 1)	0.82	2.10	0.60	0	1.72	Solid timber door		
Wall E 2	7.60	2.80	0.80	90	15.61	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50	
Window(2, 1)	2.70	2.10	0.80	90	5.67	GGG-05-001a Single Glazed Clear Aluminium		
						50% Opening Sliding, Two Lites Holland Blind No Shading		
Wall E 4	1.80	2.80	2.80	270	5.04	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50	
Wall E 5	3.20	2.80	12.40	180	7.34	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50	
Window(5, 1)	1.80	0.90	12.40	180	1.62	GGG-05-001a Single Glazed Clear Aluminium		
						50% Opening Sliding, Two Lites Holland Blind No Shading		
Wall E 6	5.80	2.80	0.80	270	16.24	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50	

Zone 6 GARAGE WORK SHOP Garage Area on Level 2

Air Movement	Screens	Seals	Chimney	Gas vent	Wall vents	Downlights	Ex Fans	Ceiling fans
	No	Yes	No	No	0	0	0	No

External Floor	Area	Under Floor
	52.80	Bare Concrete Slab on Ground No Insulation
Int Floor Cover	Area	
	0.80	Carpet and Underlay
Ceiling	Slope	Area
	0	53.60 Plasterboard Bulk Insulation R2.50 Unventilated roof space cavity above ceiling
Roof	Slope	Shape
	15	Hip Corrugated Iron Foil, Reflective Side Down, Anti-glare Up

Partition Wall	Length	Height	AdjZ	Area	Type
Door Int	Width	Height	AdjZ	Area	Type
Wall P 1	0.80	2.80	3	2.24	Cavity Panel 75mm gap No Insulation
Wall P 2	1.00	2.80	2	1.08	Cavity Panel 75mm gap No Insulation
Door I(2, 1)	0.82	2.10	2	1.72	Hollow core door
Wall P 3	9.60	2.80	2	26.88	Cavity Panel 75mm gap No Insulation
Wall P 7	3.20	2.80	3	8.96	Cavity Panel 75mm gap No Insulation

Window	Width	Height	Eaves	Orient	Area	Name	Glass	Frame
Door Ext	Width	Height	Eaves	Orient	Area	Type	Abs	
External Wall	Length	Height	Eaves	Orient	Area	Type	Abs	
Wall E 4	6.00	2.80	1.00	0	6.72	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50	
Door E(4, 1)	4.80	2.10	1.00	0	10.08	Steel door		
Wall E 5	8.80	2.80	0.20	90	24.64	Concrete Block No Insulation	0.50	
Wall E 6	1.80	2.80	0.60	180	5.04	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50	

Zone 7 BED UPPER Sleeping Area on Level 3

Air Movement	Screens	Seals	Chimney	Gas vent	Wall vents	Downlights	Ex Fans	Ceiling fans
	No	Yes	No	No	0	0	0	No

Int Floor Cover	Area	
	13.00	Cork Tiles or Parquetry
Ceiling	Slope	Area
	0	13.00 Plasterboard Bulk Insulation R2.50 Unventilated roof space cavity above ceiling
Roof	Slope	Shape
	15	Hip Corrugated Iron Foil, Reflective Side Down, Anti-glare Up

Partition Wall	Length	Height	AdjZ	Area	Type
Door Int	Width	Height	AdjZ	Area	Type
Wall P 3	2.20	2.40	8	5.28	Cavity Panel 75mm gap No Insulation
Wall P 4	1.00	2.40	10	2.40	Cavity Panel 75mm gap No Insulation
Wall P 5	0.60	2.40	10	1.44	Cavity Panel 75mm gap No Insulation
Wall P 6	2.40	2.40	9	5.76	Cavity Panel 75mm gap No Insulation

Window	Width	Height	Eaves	Orient	Area	Name	Glass	Frame
Door Ext	Width	Height	Eaves	Orient	Area	Type	Abs	
External Wall	Length	Height	Eaves	Orient	Area	Type	Abs	
Wall E 1	3.40	2.40	0.60	270	7.08	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50	
Window(1, 1)	1.80	0.60	0.60	270	1.08	GGG-05-001a Single Glazed Clear Aluminium		
						50% Opening Sliding, Two Lites Holland Blind No Shading		
Wall E 2	1.20	2.40	5.60	0	1.16	PowerPanel Foil, Reflective One Side, Anti-glare Other	0.50	
Door E(2, 1)	0.82	2.10	5.60	0	1.72	Solid timber door		



Wall E 7 4.00 2.40 0.60 180 8.52 PowerPanel Foil, Reflective One Side, Anti-glare Other 0.50  
 Window( 7, 1) 1.80 0.60 0.60 180 1.08 GGG-05-001a Single Glazed Clear Aluminium  
 50% Opening Sliding, Two Lites Holland Blind No Shading

Zone 8 BED UPPER Sleeping Area on Level 3

Air Movement Screens Seals Chimney Gas vent Wall vents Downlights Ex Fans Ceiling fans  
 No Yes No No 0 0 0 No

Int Floor Cover Area  
 12.00 Cork Tiles or Parquetry

Ceiling Slope Area  
 0 12.00 Plasterboard Bulk Insulation R2.50 Unventilated roof space cavity above ceiling

Roof Slope Shape Type  
 15 Hip Corrugated Iron Foil, Reflective Side Down, Anti-glare Up

Partition Wall Length Height AdjZ Area Type

Door Int Width Height AdjZ Area Type

Wall P 3 3.00 2.40 10 7.20 Cavity Panel 75mm gap No Insulation

Wall P 4 1.80 2.40 10 4.32 Cavity Panel 75mm gap No Insulation

Wall P 5 2.20 2.40 7 5.28 Cavity Panel 75mm gap No Insulation

Window Width Height Eaves Orient Area Name Glass Frame  
 Opening Covering Shading

Door Ext Width Height Eaves Orient Area Type

External Wall Length Height Eaves Orient Area Type Abs

Wall E 1 3.00 2.40 1.80 270 6.12 PowerPanel Foil, Reflective One Side, Anti-glare Other 0.50

Window( 1, 1) 1.80 0.60 1.80 270 1.08 GGG-05-001a Single Glazed Clear Aluminium  
 50% Opening Sliding, Two Lites Holland Blind No Shading

Wall E 2 4.00 2.40 2.60 0 3.93 PowerPanel Foil, Reflective One Side, Anti-glare Other 0.50

Window( 2, 1) 2.70 2.10 2.60 0 5.67 GGG-05-001a Single Glazed Clear Aluminium  
 50% Opening Sliding, Two Lites Holland Blind No Shading

Zone 9 BATH Wet Area on Level 3

Air Movement Screens Seals Chimney Gas vent Wall vents Downlights Ex Fans Ceiling fans  
 No Yes No No 0 0 0 No

Int Floor Cover Area  
 5.30 Ceramic Tiles

Ceiling Slope Area  
 0 5.28 Plasterboard Bulk Insulation R2.50 Unventilated roof space cavity above ceiling

Roof Slope Shape Type  
 15 Hip Corrugated Iron Foil, Reflective Side Down, Anti-glare Up

Partition Wall Length Height AdjZ Area Type

Door Int Width Height AdjZ Area Type

Wall P 1 2.40 2.40 7 5.76 Cavity Panel 75mm gap No Insulation

Wall P 2 2.20 2.40 10 5.28 Cavity Panel 75mm gap No Insulation

Window Width Height Eaves Orient Area Name Glass Frame  
 Opening Covering Shading

Door Ext Width Height Eaves Orient Area Type

External Wall Length Height Eaves Orient Area Type Abs

Wall E 3 2.40 2.40 4.80 90 5.22 PowerPanel Foil, Reflective One Side, Anti-glare Other 0.50

Window( 3, 1) 0.60 0.90 4.80 90 0.54 GGG-05-001a Single Glazed Clear Aluminium  
 50% Opening Sliding, Two Lites Holland Blind No Shading

Wall E 4 2.20 2.40 0.60 180 5.28 PowerPanel Foil, Reflective One Side, Anti-glare Other 0.50

Zone10 HALL STAIRS Corridor Area on Level 3

Air Movement Screens Seals Chimney Gas vent Wall vents Downlights Ex Fans Ceiling fans  
 No Yes No No 0 0 0 No

Void Area To Zone

Void 1 2.16 2

Int Floor Cover Area  
 5.80 Cork Tiles or Parquetry

Ceiling Slope Area  
 0 5.80 Plasterboard Bulk Insulation R2.50 Unventilated roof space cavity above ceiling

Roof Slope Shape Type  
 15 Hip Corrugated Iron Foil, Reflective Side Down, Anti-glare Up

Partition Wall Length Height AdjZ Area Type

Door Int Width Height AdjZ Area Type

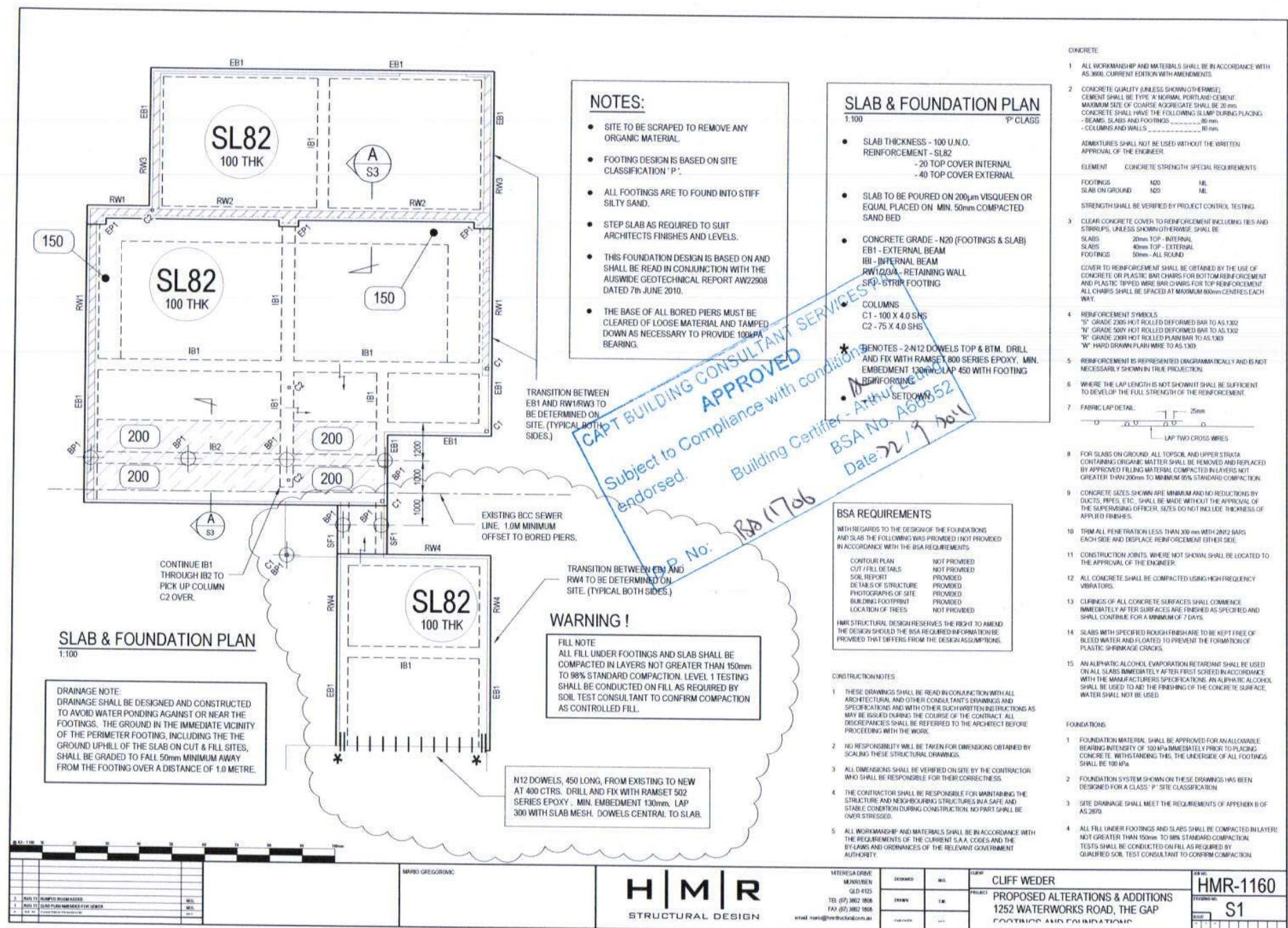
Wall P 1 2.20 2.40 9 5.28 Cavity Panel 75mm gap No Insulation

Wall P 2 0.60 2.40 7 1.44 Cavity Panel 75mm gap No Insulation



Wall P 3	1.00	2.40		7	2.40	Cavity Panel 75mm gap	No Insulation	
Wall P 4	1.80	2.40		8	4.32	Cavity Panel 75mm gap	No Insulation	
Wall P 5	3.00	2.40		8	7.20	Cavity Panel 75mm gap	No Insulation	
Window	Width	Height	Eaves	Orient	Area	Name	Glass	Frame
			Opening			Covering	Shading	
Door Ext	Width	Height	Eaves	Orient	Area	Type		
External Wall	Length	Height	Eaves	Orient	Area	Type		Abs
Wall E 6	1.00	2.40	2.60	0	2.40	PowerPanel Foil, Reflective One Side, Anti-glare Other		0.50
Wall E 7	4.00	2.40	4.80	90	6.80	PowerPanel Foil, Reflective One Side, Anti-glare Other		0.50
Door E( 7, 1)	0.82	2.10	4.80	90	1.72	Solid timber door		
Window( 7, 1)	1.80	0.60	4.80	90	1.08	GGG-05-001a Single Glazed Clear Aluminium		
						50% Opening Sliding, Two Lites Holland Blind	No Shading	





**NOTES:**

- SITE TO BE SCRAPPED TO REMOVE ANY ORGANIC MATERIAL.
- FOOTING DESIGN IS BASED ON SITE CLASSIFICATION 'P'.
- ALL FOOTINGS ARE TO FOUND INTO STIFF SILTY SAND.
- STEP SLAB AS REQUIRED TO SUIT ARCHITECTS FINISHES AND LEVELS.
- THIS FOUNDATION DESIGN IS BASED ON AND SHALL BE READ IN CONJUNCTION WITH THE AUSWIDE GEOTECHNICAL REPORT AW22908 DATED 7th JUNE 2010.
- THE BASE OF ALL BORED PIERS MUST BE CLEARED OF LOOSE MATERIAL AND TAMPED DOWN AS NECESSARY TO PROVIDE 100kPa BEARING.

**SLAB & FOUNDATION PLAN**  
1:100 'P' CLASS

- SLAB THICKNESS - 100 U.N.O. REINFORCEMENT - SL82
- 20 TOP COVER INTERNAL
- 40 TOP COVER EXTERNAL
- SLAB TO BE POURED ON 200µm VISQUEEN OR EQUAL PLACED ON MIN. 50mm COMPACTED SAND BED
- CONCRETE GRADE - N20 (FOOTINGS & SLAB)
- EB1 - EXTERNAL BEAM
- IB1 - INTERNAL BEAM
- RW1,2,3,4 - RETAINING WALL
- SFP - STRIP FOOTING
- COLUMNS
- C1 - 100 X 4.0 SHS
- C2 - 75 X 4.0 SHS

**CONCRETE**

- 1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3601 CURRENT EDITION WITH AMENDMENTS.
- 2 CONCRETE QUALITY (UNLESS SHOWN OTHERWISE) CEMENT SHALL BE TYPE A NORMAL PORTLAND CEMENT. MAXIMUM SIZE OF COARSE AGGREGATE SHALL BE 20mm. CONCRETE SHALL HAVE THE FOLLOWING SLUMP DURING PLACING:
  - BEAMS, SLABS AND FOOTINGS ----- 80mm
  - COLUMNS AND WALLS ----- 100mm

ADMITTURES SHALL NOT BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.

ELEMENT	CONCRETE STRENGTH	SPECIAL REQUIREMENTS
FOOTINGS	N20	NL
SLAB ON GROUND	N20	NL

STRENGTH SHALL BE VERIFIED BY PROJECT CONTROL TESTING.

- 3 CLEAR CONCRETE COVER TO REINFORCEMENT INCLUDING TIES AND STIRRUPS, UNLESS SHOWN OTHERWISE, SHALL BE:
  - SLABS 20mm TOP - INTERNAL
  - SLABS 40mm TOP - EXTERNAL
  - FOOTINGS 50mm - ALL ROUND
- 4 COVER TO REINFORCEMENT SHALL BE OBTAINED BY THE USE OF CONCRETE OR PLASTIC BARS CHAIRS FOR BOTTOM REINFORCEMENT AND PLASTIC TIPPED WIRE BAR CHAIRS FOR TOP REINFORCEMENT. ALL CHAIRS SHALL BE SPACED AT MAXIMUM 80mm CENTRES EACH WAY.
- 5 REINFORCEMENT IS REPRESENTED DIMENSIONALLY AND IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- 6 WHERE THE LAP LENGTH IS NOT SHOWN IT SHALL BE SUFFICIENT TO DEVELOP THE FULL STRENGTH OF THE REINFORCEMENT.
- 7 FABRIC LAP DETAIL
 

0	25	50	75	100
---	----	----	----	-----

 LAP TWO CROSS WIRES
- 8 FOR SLABS ON GROUND ALL TOPSOIL AND UPPER STRATA CONTAINING ORGANIC MATTER SHALL BE REMOVED AND REPLACED BY APPROVED FILLING MATERIAL COMPACTED IN LAYERS NOT GREATER THAN 200mm TO MINIMUM 95% STANDARD COMPACTION.
- 9 CONCRETE SIZES SHOWN ARE MINIMUM AND NO REDUCTIONS BY DUCTS, PIPES, ETC. SHALL BE MADE WITHOUT THE APPROVAL OF THE SUPERVISING OFFICER. SIZES DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- 10 TRIM ALL PENETRATION LESSES THAN 200mm WITH 20x2 BARS EACH SIDE AND DISPLACE REINFORCEMENT EITHER SIDE.
- 11 CONSTRUCTION JOINTS, WHERE NOT SHOWN, SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
- 12 ALL CONCRETE SHALL BE COMPACTED USING HIGH FREQUENCY VIBRATORS.
- 13 CURINGS OF ALL CONCRETE SURFACES SHALL COMMENCE IMMEDIATELY AFTER SURFACES ARE FINISHED AS SPECIFIED AND SHALL CONTINUE FOR A MINIMUM OF 7 DAYS.
- 14 SLABS WITH SPECIFIED ROUGH FINISH ARE TO BE KEPT FREE OF BLEED WATER AND FLOATED TO PREVENT THE FORMATION OF PLASTIC SHRINKAGE CRACKS.
- 15 AN ALIPHATIC ALCOHOL EVAPORATION RETARDANT SHALL BE USED ON ALL SLABS IMMEDIATELY AFTER FIRST SCREEN IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. AN ALIPHATIC ALCOHOL SHALL BE USED TO AID THE FINISHING OF THE CONCRETE SURFACE. WATER SHALL NOT BE USED.

TRANSITION BETWEEN EB1 AND RW1/RW3 TO BE DETERMINED ON SITE. (TYPICAL BOTH SIDES.)

TRANSITION BETWEEN EB1 AND RW4 TO BE DETERMINED ON SITE. (TYPICAL BOTH SIDES.)

**WARNING !**

**FILL NOTE**  
ALL FILL UNDER FOOTINGS AND SLAB SHALL BE COMPACTED IN LAYERS NOT GREATER THAN 150mm TO 98% STANDARD COMPACTION. LEVEL 1 TESTING SHALL BE CONDUCTED ON FILL AS REQUIRED BY SOIL TEST CONSULTANT TO CONFIRM COMPACTION AS CONTROLLED FILL.

N12 DOWELS, 450 LONG, FROM EXISTING TO NEW AT 400 CTRS. DRILL AND FIX WITH RAMSET 502 SERIES EPOXY. MIN. EMBEDMENT 130mm. LAP 300 WITH SLAB MESH. DOWELS CENTRAL TO SLAB.

**SLAB & FOUNDATION PLAN**  
1:100

**DRAINAGE NOTE:**  
DRAINAGE SHALL BE DESIGNED AND CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTINGS. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTINGS, INCLUDING THE GROUND UPHILL OF THE SLAB ON CUT & FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF 1.0 METRE.

**BSA REQUIREMENTS**

WITH REGARDS TO THE DESIGN OF THE FOUNDATIONS AND SLAB THE FOLLOWING WAS PROVIDED (NOT PROVIDED IN ACCORDANCE WITH THE BSA REQUIREMENTS)

CONTOUR PLAN	NOT PROVIDED
CUT / FILL DETAILS	NOT PROVIDED
SOIL REPORT	PROVIDED
DETAILS OF STRUCTURE	PROVIDED
PHOTOGRAPHS OF SITE	PROVIDED
BUILDING FOOTPRINT	PROVIDED
LOCATION OF TREES	NOT PROVIDED

HMR STRUCTURAL DESIGN RESERVES THE RIGHT TO AMEND THE DESIGN SHOULD THE BSA REQUIRED INFORMATION BE PROVIDED THAT DIFFERS FROM THE DESIGN ASSUMPTIONS.

**CONSTRUCTION NOTES**

- 1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 2 NO RESPONSIBILITY WILL BE TAKEN FOR DIMENSIONS OBTAINED BY SCALING THESE STRUCTURAL DRAWINGS.
- 3 ALL DIMENSIONS SHALL BE VERIFIED ON SITE BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
- 4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE AND NEIGHBOURING STRUCTURES IN A SAFE AND STABLE CONDITION DURING CONSTRUCTION. NO PART SHALL BE OVER STRESSED.
- 5 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT S.A.A. CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT GOVERNMENT AUTHORITY.

NO. 1	DATE	DESCRIPTION	BY	CHECKED
1	10/10/2011	ISSUED FOR PERMIT	HW	HW
2	10/10/2011	ISSUED FOR CONSTRUCTION	HW	HW

SAVED GREGOROVIC

**H | M | R**  
STRUCTURAL DESIGN

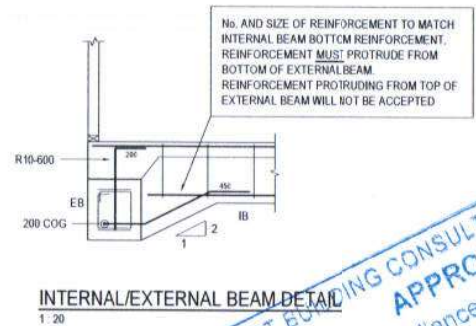
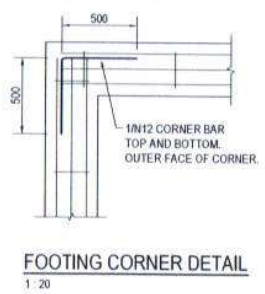
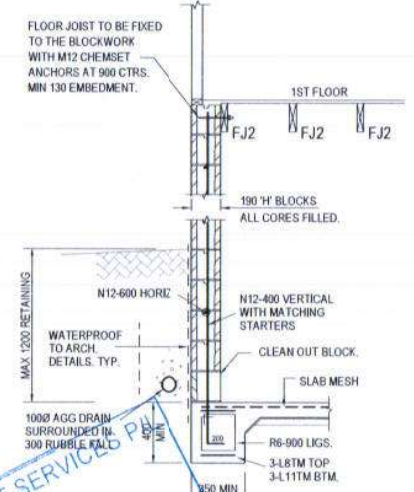
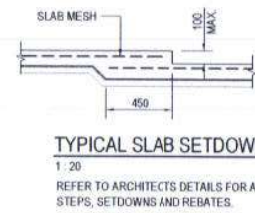
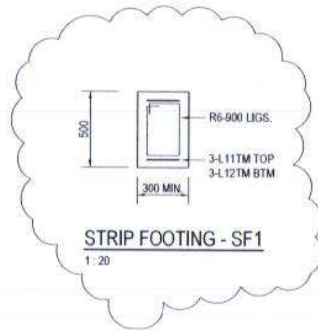
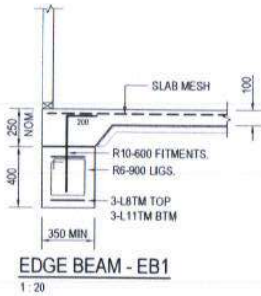
INTERESA DRIVE  
MURRUERIE  
GLD 4125  
TEL (07) 3802 3808  
FAX (07) 3802 1886  
email hmr@hmrstructural.com.au

DESIGNED: CLIFF WEDER  
DRAWN: HW  
DATE: 10/10/2011

PROJECT: PROPOSED ALTERATIONS & ADDITIONS  
1252 WATERWORKS ROAD, THE GAP  
FOOTINGS AND FOUNDATIONS

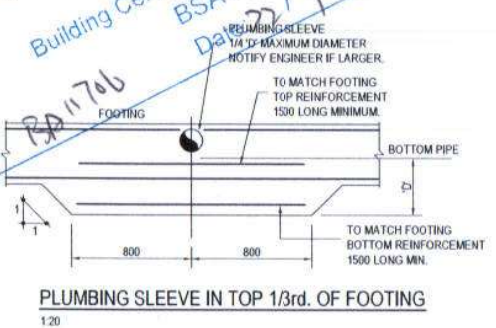
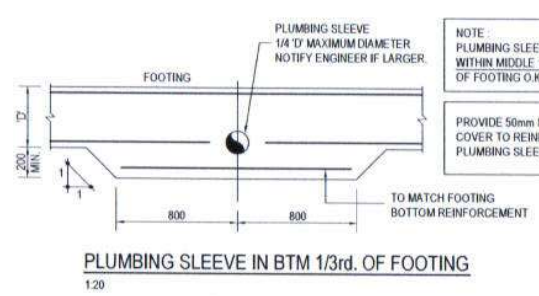
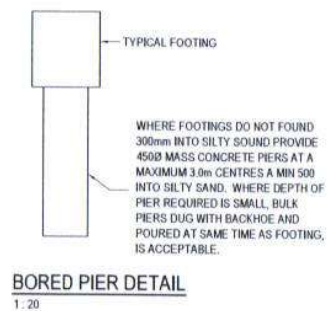
HMR-1160  
DRAWING NO: S1

CAPT BUILDING CONSULTANT SERVICES PTY LTD  
 APPROVED  
 Subject to Compliance with conditions of approval  
 Building Certifier - Anthony...  
 BSA No. 1706  
 Date 22/7/2011

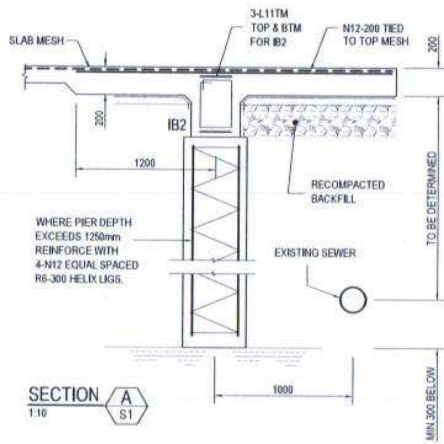


No. AND SIZE OF REINFORCEMENT TO MATCH INTERNAL BEAM BOTTOM REINFORCEMENT. REINFORCEMENT MUST PROTRUDE FROM BOTTOM OF EXTERNAL BEAM. REINFORCEMENT PROTRUDING FROM TOP OF EXTERNAL BEAM WILL NOT BE ACCEPTED.

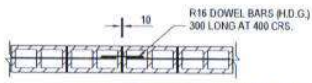
**APPROVED**  
 Subject to Compliance with conditions  
 Building Certifier - Arthur Lee  
 BSA No. A66352  
 Date 27/9/2011  
 D.P. No. PA 11706



1. SEE 11 STRIP FOOTING DETAILS 2. SEE 12 STRIP FOOTING DETAILS		MARIO GREGOROVIC		11 TERESA DRIVE MURRUMBidgee QLD 4325 TEL: (07) 3802 1868 FAX: (07) 3802 1868 email: mario@hmrstructural.com.au	DESIGNED: CLIFF WEDER DRAWN: T.M. CHECKED:	PROJECT: PROPOSED ALTERATIONS & ADDITIONS 1252 WATERWORKS ROAD, THE GAP FOOTING & FOUNDATION DETAILS	HMR-1160 DRAWING NO: S2
--	--	------------------	--	--	--	--	----------------------------

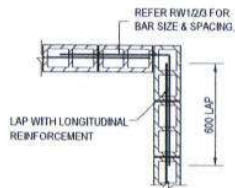


**BORED PIER / SEWER DETAIL**  
1:20

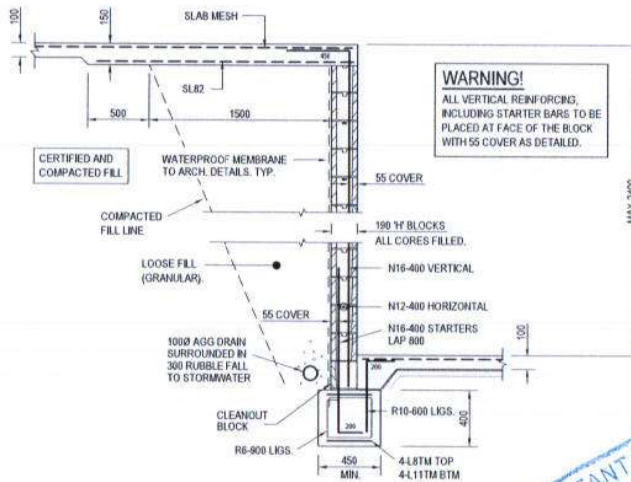


- CONTROL JOINT (C.J.) SHALL BE STRAIGHT JOINT
- FULL HEIGHT OF WALL.
- NO MORTAR IN JOINT.
- LAP LONGITUDINAL BARS AS SHOWN.
- VERTICAL REINFORCEMENT NOT SHOWN.
- PROVIDE VERTICAL REINFORCEMENT EACH SIDE OF JOINT.

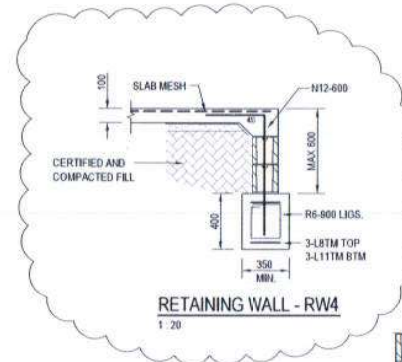
**BLOCKWALL CONTROL JOINT - B.C.J.**  
1:10  
H.D.G. = HOT DIPPED GALVANISED



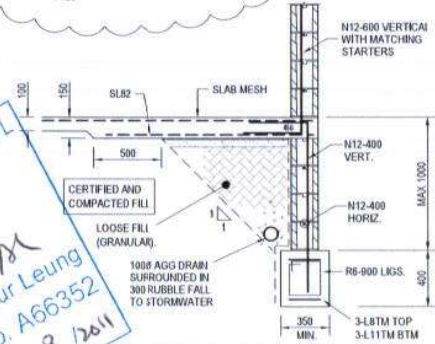
**BLOCKWALL CORNER DETAIL**  
1:10  
LAP LONGITUDINAL BARS AS SHOWN.  
• VERTICAL REINFORCEMENT NOT SHOWN.



**RETAINING WALL - RW2**  
1:20  
SECTION A-S1



**RETAINING WALL - RW4**  
1:20

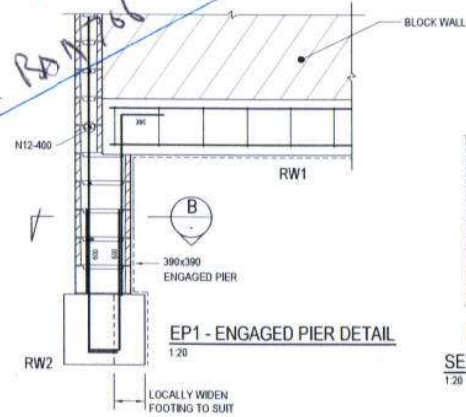


**RETAINING WALL - RW1**  
1:20

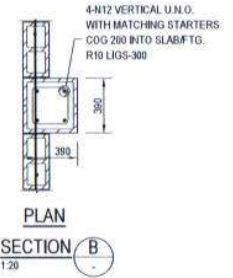
**CAPT ENGINEERING & CONSULTANT SERVICES P/L**  
**APPROVED**  
Subject to Compliance with conditions endorsed.  
Building Certifier - Arthur Leung  
BSA No. A66352  
Date: 22/9/2011  
D.P. No: BSA/206

**BLOCKWORK NOTES**

- ALL VERTICAL REINFORCING, INCLUDING STARTER BARS, TO BE PLACED AS DETAILED.
- BUILDER TO ENSURE THAT ALL FOOTINGS FOUND ONTO 100KPA BEARING MATERIAL. REFER TO SOIL REPORT FOR FURTHER INFORMATION.
- WALL TO BE BACKPROPPED FOR A MINIMUM OF 28 DAYS AFTER CORE-FILLING.
- CLEANOUT BLOCKS TO BE INSPECTED PRIOR TO CLOSING OF BLOCKS.
- PROVIDE BLOCKWORK CONTROL JOINTS AT 8.0m MAXIMUM CENTRES.



**EP1 - ENGAGED PIER DETAIL**  
1:20



**PLAN SECTION B-B**  
1:20

NO.	DATE	DESCRIPTION	BY	CHECKED
1.	SEP 13	REVISIONS ADDED	MEG	
2.	NOV 11	SEWER DETAIL ADDED	MEG	

MARK GREGORIC

**H | M | R**  
STRUCTURAL DESIGN

14 TERESA DRIVE  
MUNKSBY  
QLD 4175  
TEL (07) 3802 9866  
FAX (07) 3802 3800  
email: mark@hmrstructural.com.au

DESIGNED	MEG	CHECKED	CLIFF WEDER
DRAWN	T.W.	PROJECT	PROPOSED ALTERATIONS & ADDITIONS 1252 WATERWORKS ROAD, THE GAP FOOTING & FOUNDATION DETAILS

CLIFF WEDER  
PROPOSED ALTERATIONS & ADDITIONS  
1252 WATERWORKS ROAD, THE GAP  
FOOTING & FOUNDATION DETAILS

HMR-1160  
S3

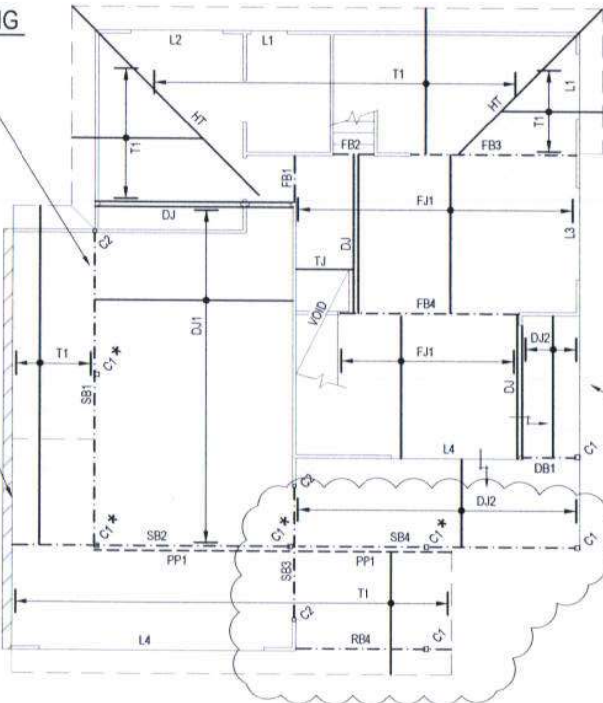
# 1st FLOOR FRAMING

1:100

TRUSS FIXED TO STUDWORK OVER SB1 AT 450 CTRS WITH M12 COACH SCREWS, MIN 50 EMBEDMENT TO STUDS.

FIX LAST TRUSS TO CORE-FILLED BLOCK WALL WITH M12 CHEMSETS AT 1200 MAX CTRS.

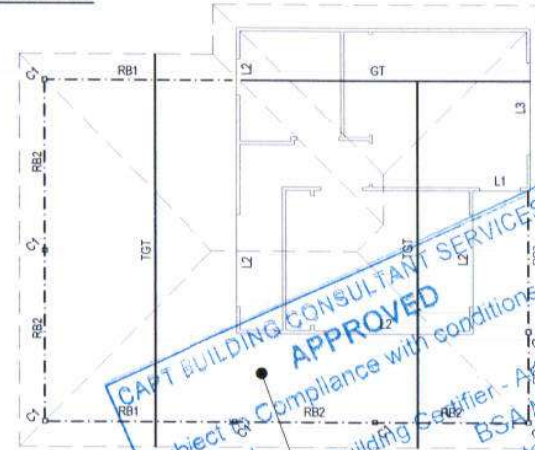
C1\* DENOTES COLUMN OVER.



DOUBLE JOISTS TYPICAL AT THE END OF ALL JOIST RUNS. (EXTERNAL WALLS ETC.)

# ROOF FRAMING

1:100



**CAPT BUILDING CONSULTANT SERVICES P/L**  
**APPROVED**  
 Subject to Compliance with conditions endorsed.  
 Building Signifier - Ashur Leung  
 BSA No. A66352  
 Date: 21/9/2011  
 P.P. No. B2-11706  
 INFILL T1 TRUSSES OMITTED FOR CLARITY.

## NOTE

LINTEL AND ROOF BEAM LAYOUT IS BASED ON THE ASSUMED TRUSS / RAFTER LAYOUT AS SHOWN. IF THE LAYOUT DIFFERS FROM THE ASSUMED THE DESIGN ENGINEER IS TO BE NOTIFIED FOR POSSIBLE REDESIGN.

## NOTE

ALL EXPOSED TIMBER SHALL BE LOSP TREATED TO LEVEL H3 OR SHALL BE DURABILITY CLASS 2 UNLESS NOTED.

## NOTE

ALL MEMBER SIZES ARE A MINIMUM. LARGER MEMBER SIZES MAY BE SUBSTITUTED FOR SIMPLICITY IF REQUIRED.

NOTE: ALL TIMBER SHALL BE TREATED TO MINIMUM H2 LEVEL.

## TRUSS NOTES

PREFABRICATED ROOF TRUSSES (T1) TO MAN. DESIGN AND CERTIFICATION. NOTE: INFILL TRUSSES OMITTED FOR CLARITY.

ROOF TRUSSES:  
 TGT - TRUNCATED GIRDER TRUSS  
 GT - GIRDER TRUSS  
 HT - HIP TRUSS

NOTE: DESIGN & CERTIFICATION OF TGT TIE-DOWN BY TRUSS MANUFACTURER.

## LINTEL SCHEDULE

MARK	MEMBER
L1	90 X 35 MGP12
L2	140 X 35 F27 SEAS. HWD or 140 X 35 MGP12
L3	200 X 45 HYNE LVL or 2/190 X 35 MGP12
L4	300 X 45 HYNE LVL or 230 X 65 HYNEBEAM 17C

## FLOOR JOISTS

MARK	MEMBER
DJ1	245 X 45 HYNE LVL or 240 X 45 ARAUCARIA MGP12
DJ2	200 X 45 HYNE LVL or 190 X 35 ARAUCARIA MGP12
FJ1	H1 20060 HYNE I-BEAM or 190 X 35 MGP12
FJ2	H1 24590 HYNE I-BEAM or 245 X 45 HYNE LVL
DJ	DOUBLE JOIST
TJ	TRIMMER JOIST

## MEMBER SCHEDULE

MARK	MEMBER
RB1	300 X 45 HYNE LVL
RB2	200 X 45 HYNE LVL or 2/190 X 35 MGP12
RB3	150 X 50 F14 UNS. HWD or 190 X 35 MGP12
RB4	200 X 45 HYNE LVL or 2/190 X 35 MGP12
SB1	300 PFC or 310 UB 40
SB2	310 UB 32
SB3	250 PFC
SB4	250 PFC
FB1	140 X 35 MGP12
FB2	140 X 35 MGP12
FB3	300 X 45 HYNE LVL or 260 X 65 HYNEBEAM 17C
FB4	300 X 63 HYNE LVL or 295 X 65 HYNEBEAM 17C
DB1	200 X 45 HYNE LVL or 190 X 35 ARAUCARIA MGP12
TS	TRIPLE STUD
C1	100 X 4.0 SHS
C2	75 X 4.0 SHS
PP1	140 X 35 MGP12 or EQUIVALENT

## N2 TIE DOWNS

- BATTEN TO TRUSS/RAFTER: 1/75 No. 14 TYPE 17 SCREW 50mm MIN. PENETRATION TO RECEIVING MEMBER.
- TRUSS / RAFTER TO TOP PLATE: 2 FRAMING ANCHORS WITH 4/2.8mm Ø NAILS TO EACH END UNLESS NOTED OTHERWISE.
- TOP PLATE TO LINTEL: 30 x 0.8mm G.I. LOOPED STRAP AT 1800 CTRS WITH 4/2.8mm Ø NAILS EACH END.
- TOP PLATE TO SLAB / BEARER: M12 ANCHOR RODS AT 1800 CTRS, CORNERS AND EACH SIDE OF OPENINGS.
- HOLD DOWN ROD TO SLAB: RAMSET 'CHEMSET' INJECTION SYSTEM - 502 SERIES OR HILT HIT - RE 500 INJECTION ADHESIVE. 150 MIN. EMBEDMENT OR APPROVED EQUIVALENT TO MANUF. SPECIFICATIONS.
- ALL OTHER TIE DOWNS SHALL BE IN ACCORDANCE WITH AS1684.2 2006

## WALL FRAMING

- EXTERNAL AND LOAD BEARING WALLS: STUDS - 70 x 35 MGP12 AT 450 CRS NOGGING - 70 x 35 MGP10 AT MAX 1350 CRS TOP PLATE - 3/45 x 70 MGP12 BOTTOM PLATE - 35 x 70 MGP12
- INTERNAL NON LOAD BEARING WALLS: STUDS - 70 x 35 MGP10 AT 450 CRS NOGGING - 70 x 35 MGP10 AT MAX 1350 CRS TOP PLATE - 35 x 70 MGP10 BOTTOM PLATE - 35 x 70 MGP10

## NOTES

- ARTICULATION CJ - 10mm BRICK CONTROL JOINT
- LBW DENOTES LOAD BEARING WALL
- SHEET ROOF TRUSSES/RAFTERS - 900 CTRS BATTENS - 900 CTRS

1	DATE 11/09/2010	N/A
2	DATE 11/09/2010	N/A
3	DATE 11/09/2010	N/A
4	DATE 11/09/2010	N/A
5	DATE 11/09/2010	N/A

MARK GREGORIAN

MEASUREMENT REPORT

**H | M | R**  
 STRUCTURAL DESIGN

14 TERSA DRIVE  
 MANDRELLA  
 QLD 4125  
 TEL (07) 3902 1808  
 FAX (07) 3902 1808  
 email hmr@hmrstructural.com.au  
 A.S.N. 81 398 670 360

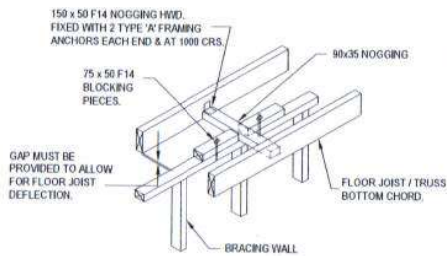
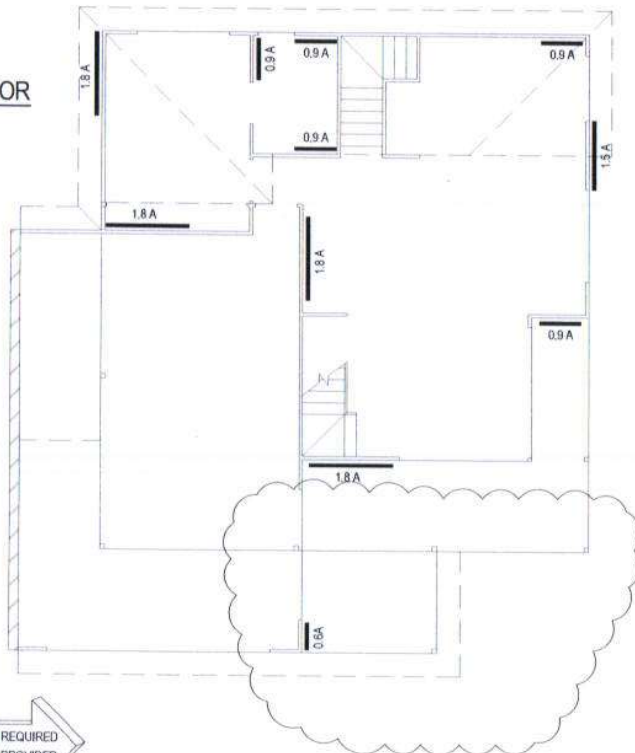
DESIGNED	N/A
DRAWN	N/A
CHECKED	N/A

CLIENT: CLIFF WEDER  
 PROJECT: PROPOSED ALTERATIONS & ADDITIONS  
 1252 WATERWORKS ROAD, THE GAP  
 FOOTING & FOUNDATION DETAILS

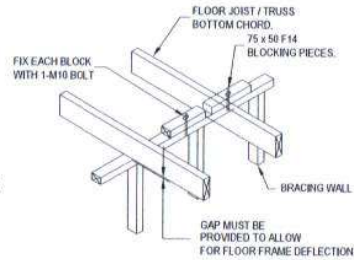
PROJECT	HMR-1160
REVISIONS	S4
DATE	01/12/2010

# GROUND FLOOR BRACING

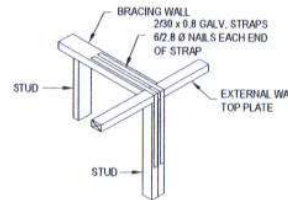
1:100



**TYPICAL BRACING WALL TO FLOOR FRAMING CONNECTION AT EVERY JOIST. WALL PARALLEL TO TRUSS / FLOOR FRAMING.**



**TYPICAL BRACING WALL TO FLOOR FRAMING CONNECTION AT EVERY JOIST. BRACING WALL PERPENDICULAR TO FLOOR FRAMING.**

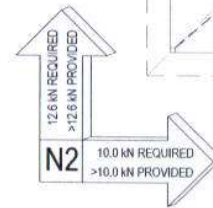
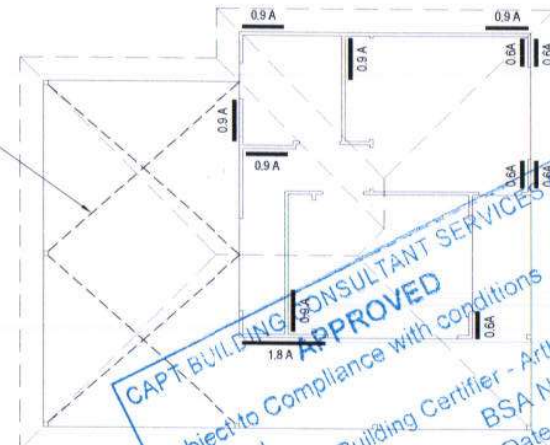


**TYPICAL BRACING WALL TO EXTERNAL WALL CONNECTION.**

DENOTES 30 X 0.8 G.I. STRAP WITH TENSIONER. LOOPED ENDS WITH 3 NAILS. LOCATE ACROSS BOTTOM CHORD OF ROOF TRUSSES. PROVIDE 2 NAILS AT EACH TRUSS CROSSING.

# 1st FLOOR BRACING

1:100



**CAP & BUILDING CONSULTANT SERVICES PTY LTD**  
**APPROVED**  
Subject to Compliance with conditions endorsed.  
Building Certifier - Arthur Leung  
BSA No. A66352  
Date 22/9/2014  
1304706

## N2 BRACING

2.4A = 2.4 m LENGTH OF BRACING WALL TYPE A  
HEIGHT MULTIPLIERS HAVE BEEN USED IN ACCORDANCE WITH AS 1684.2 1989.

TYPE	DESCRIPTION	VALUE
A	PLYWOOD NAILED ONE SIDE USING 30mm x 2.8mm Ø FLATHEAD NAILS IN ACCORDANCE WITH AS 1684.2 - 1989 TABLE 8.18 (b) METHOD B. PROVIDE M16 ANCHOR RODS TO EACH END OF DOUBLE BRACED WALLS.	6.0 kN/m
B	M4 SHORTWALL BRACEBOARD WITH ANCHOR RODS TO MANUFACTURERS SPECIFICATIONS TO ACHIEVE REQUIRED BRACING CAPACITY. PROVIDE M16 ANCHOR RODS TO EACH END OF DOUBLE BRACED WALLS.	6.0 kN/m

**BRACING NOTES:**  
PLYWOOD BRACING SHEETS SHALL BE THICKNESS AND STRESS GRADE SPECIFIED IN ABOVE MENTIONED TABLES TO ACHIEVE THE NOMINATED VALUE.  
ALL BRACING WALL BOTTOM PLATES SHALL BE FIXED TO THE FLOOR FRAMING AT EACH END WITH 1.6M12 BOLTS (J.N.O.)  
BRACING WALLS WITH A VALUE OF 6.0 kN/m OR MORE SHALL HAVE THE BOTTOM PLATE FIXED TO THE FLOOR FRAME OR SLAB WITH 1.6M10 BOLT AT 1200mm MAX CTRS (J.N.O.)  
M4 BRACEBOARD MAY BE SUBSTITUTED FOR PLY BUT PLY CAN NOT BE USED WHERE M4 BRACE BOARD IS SHOWN.  
TOP OF ALL BRACE WALLS SHALL BE INDIRECTLY FIXED TO ROOF FRAMING OR THE FLOOR ABOVE VIA TRANSFER BLOCKS IN ACCORDANCE WITH AS 1684.2 - 1989 RESIDENTIAL TIMBER FRAMED CONSTRUCTION MANUAL.

1. REV. TO: ROOF TRIMMER	NO.
2. REV. TO: CORRECTING MISTAKE	NO.
3. REV. TO: BRACE	NO.

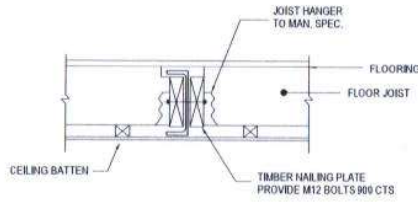
MANRO GREGOROVIC  
MEASUREMENTS REQUIRED

**H | M | R**  
STRUCTURAL DESIGN

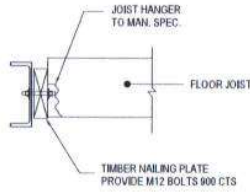
14 TERRACE DRIVE  
MARRICKVILLE  
NSW 2122  
TEL: (07) 3822 1688  
FAX: (07) 3822 1999  
email: info@hmrstructural.com.au  
A.B.N. 61 559 620 340

DESIGNED	N.L.	CLIENT	CLIFF WEDER
DRAWN	T.W.	PROJECT	PROPOSED ALTERATIONS & ADDITIONS 1252 WATERWORKS ROAD, THE GAP GROUND & FIRST FLOOR BRACING
CHECKED	N.L.		

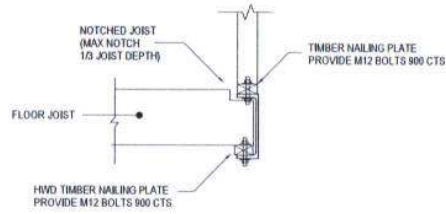
JOB NO.	HMR-1160
DATE	S5
SCALE	0/1



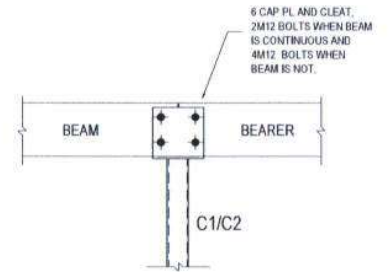
JOIST TO STEEL BEARER  
1:10 AS REQUIRED



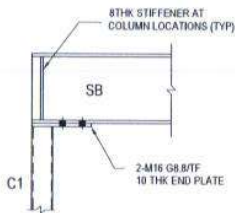
JOIST TO STEEL BEARER  
1:10 AS REQUIRED



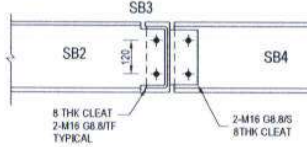
JOIST TO STEEL BEARER  
1:10 AS REQUIRED



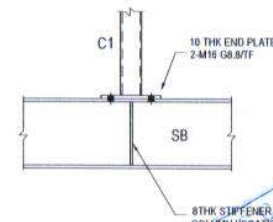
TYPICAL BEAM / COLUMN DETAIL  
1:10



TYPICAL COLUMN TO BEAM DETAIL  
1:10

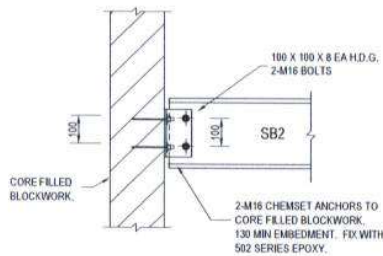


TRANSFER BEAM SB3 DETAIL  
1:10

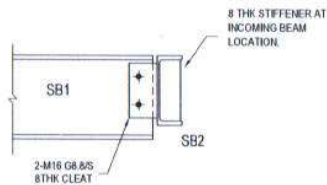


STEEL BEAM OVER COLUMN DETAIL  
1:10

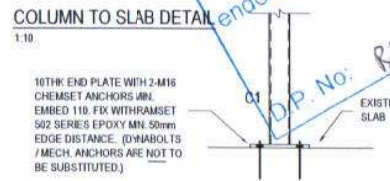
SB - STEEL BEAM AS SPECIFIED ON FRAMING PLAN



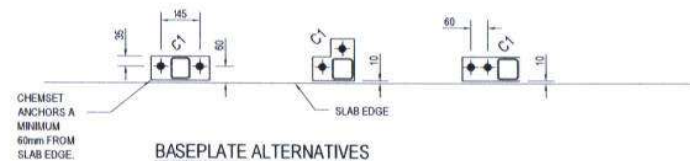
SB2 TO BLOCK WALL DETAIL  
1:10



SB1 TO SB2 DETAIL  
1:10



COLUMN TO SLAB DETAIL  
1:10



BASEPLATE ALTERNATIVES  
AS REQUIRED C2 SIMILAR

APPROVED  
 Subject to Compliance with conditions  
 Building Certifier - Arthur Leung  
 BSA No. A66352  
 Date: 22/11/2011  
 D.P. No: 881761

NO.	DATE	DESCRIPTION	BY	CHKD.

NAME: GREGOROVIC  
 M/EAUST. CPENG. RPEQ. 7018

**H | M | R**  
 STRUCTURAL DESIGN

4 TERESA DRIVE  
 MERRIBEN  
 QLD 4125  
 TEL: (07) 3802 1806  
 FAX: (07) 3802 1808  
 email: hmr@hmrstructural.com.au  
 A.B.N. 61 596 626 340

DESIGNED	ML	CLIENT
DRAWN	TL	PROJECT
CHECKED	ML	

CLIFF WEDER  
 PROPOSED ALTERATIONS & ADDITIONS  
 1252 WATERWORKS ROAD, THE GAP  
 FRAMING DETAILS

PROJECT NO.	HMR-1160
CONTRACT NO.	S6
SCALE	0



# BUILDING SERVICES AUTHORITY

Please address all correspondence to GPO BOX 5099 BRISBANE QLD 4001

Contact: **Customer Service Centre**  
BSA Office: **Brisbane**  
Telephone: **1300 272 272**  
Fax: **07 3225 2829**

Our Ref: 10973421

4 July 2011

Vs Stone Products Pty Ltd  
18 Balgowlah Street  
WAKERLEY QLD 4154

**BRISBANE**  
299 Montague Road  
West End QLD 4101  
Fax 3225 2999

**GOLD COAST**  
Robina Super Centre  
86 Robina Town  
Centre Drive  
Robina QLD 4226  
Fax 5575 7666

**TOOWOOMBA**  
Clestrain Mall  
131A Herries Street  
Toowoomba QLD 4350  
Fax 4638 1917

**SUNSHINE COAST**  
6 Pikki Street  
Maroochydore QLD 4558  
Fax 5459 9655

**MARYBOROUGH**  
208 Lennox Street  
Maryborough QLD 4650  
Fax 4122 3814

**ROCKHAMPTON**  
164 Berserker Street  
Cnr Elphinstone Street  
North Rockhampton  
QLD 4701  
Fax 4926 1377

**MACKAY**  
25 River Street  
Mackay QLD 4740  
Fax 4953 4151

**TOWNSVILLE**  
287 Ross River Road  
Aitkenvale QLD 4814  
Fax 4725 3401

**CAIRNS**  
181 Aumuller Street  
Westcourt QLD 4870  
Fax 4048 1124

## Confirmation of Insurance No. 10973421

**CONSTRUCTION AT:** LOT 4 ON RP 101805  
**SITE ADDRESS:** 1252 Waterworks Road, THE GAP QLD 4061  
**PERFORMED BY:** Vs Stone Products Pty Ltd  
**LICENCE NUMBER:** 1197781

The BSA confirms the abovementioned contractor has paid the "appropriate insurance premium" for work described as **1 X NEW DWELLING** to be performed at the above address. This letter is satisfactory evidence for an Assessment Manager to comply with the requirements of Section 68(2) of the *Queensland Building Services Authority Act 1991* for issue of a development approval.

**Mandy McCosker**  
Executive Manager Insurance

Notified Contract Value \$333,600.00  
Insurance Premium \$2,866.20  
Premium includes GST of \$ 260.56

**NOTE: THIS DOCUMENT IS TO BE PRESENTED TO THE CERTIFIER / COUNCIL AS EVIDENCE THAT INSURANCE HAS BEEN EFFECTED TO ENABLE THE ISSUE OF THE DEVELOPMENT APPROVAL.**

# Compliance Certificate for building Design or Specification

# 15

<p>NOTE</p>	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot &amp; plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include no., street, suburb / locality &amp; postcode)</i></p> <p>1252 WATERWORKS ROAD</p> <p>THE GAP Postcode 4061</p> <p>Lot &amp; plan details <i>(attach list if necessary)</i></p> <p>LOT 4 RP101805</p> <p>In which local government area is the land situated?</p> <p>BRISBANE CITY COUNCIL</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams</p>	<p>ENERGY EFFICIENCY</p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>BERS V 4.1</p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p>

CAPT BUILDING CONSULTANT SERVICES P/L  
**APPROVED**  
 Subject to Compliance with conditions endorsed.  
 Building Certifier - Arthur Leung  
 BSA No. A86352  
 Date 22/9 2011  
 D.P. No: 15011706

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

SCOTT MEDLIN DESIGN & DRAFTING JOB NO 201014 ; Project CAPT LOT 4  
B11270 Run 1

□□□□□□□□ □□□□ □□□□ □□□□  
□□□□ □□□□ □□□□ □□□□

Building certifier reference number

Name

GRANT GOOEY

Company name

CYBER DRAFTING AND DESIGN BRISBANE

Contact person

Phone no.

07 3341 5455

Mobile no.

0438 700576

Fax no.

07 3341 5400

Email address

grant@cyberdrafting.com.au

Postal address

72 COLLETT STREET

EIGHT MILE PLAINS QLD

Postcode 4113

Licence or registration number

QLD 163

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

Date

21<sup>ST</sup> SEPTEMBER 2011

CAPT BUILDING CONSULTANT SERVICES PIL  
**APPROVED**  
Subject to Compliance with conditions  
endorsed. Building Certifier - Arthur Leung  
BSA No. A66352  
Date: 22/9/2011  
D.P. No: B011701

The Building Act 1975 is administered by the  
Department of Infrastructure and Planning



Queensland Government  
Department of Infrastructure and Planning

# CAPT Building Consultant Services Pty Ltd

Commercial and Residential Building Approval

ABN 34 125 340 490

PO Box 4185 Eight Mile Plains Q4113

Telephone : 07 3341 3330

Mobile : 0411 318 212

Email : captemp@bigpond.com

## Development Application Decision Notice

Sustainable Planning Act 2009 S335

This form must be used by Assessment managers and Private Certifiers when giving a decision on a Development Application.

Dear Applicant

B/P No: BA 11706

The Development Application (identify application) Extension to Existing Dwelling at 1252 Lot 4 on RP 101805 Waterworks Road, The Gap Q4061

was assessed and  Approved  Approved with Conditions  Refused

The decision was made by **Arthur Leung** on 22 / 09 / 2011

(If the Assessment Manager is not a local government, the local government area must be identified)

Local government area Brisbane City Council

The following schedule provides all the relevant details.

**1. Referral Agencies**

Concurrence Agencies  
name and address

Advice Agencies : QFRS File no:  
name and address

**2. Conditions If Applicable under SPA 2009 s331**

Assessment Manager's  
Conditions :

Concurrence Agency  
conditions

**3. Reasons for refusal If Applicable**

Explanation of refusal  
see Div 4 SD 2 289 of SPA

**4. Approval Type**

X Development Permit

**5. Further Development Permits  
required If Applicable**

**6. Rights of Appeal**

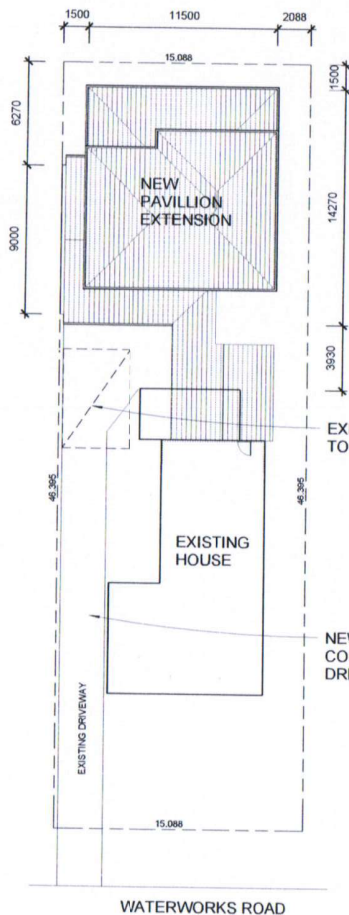
See Attach detail sheet

**7. Assessment Manager/Private Certifier**

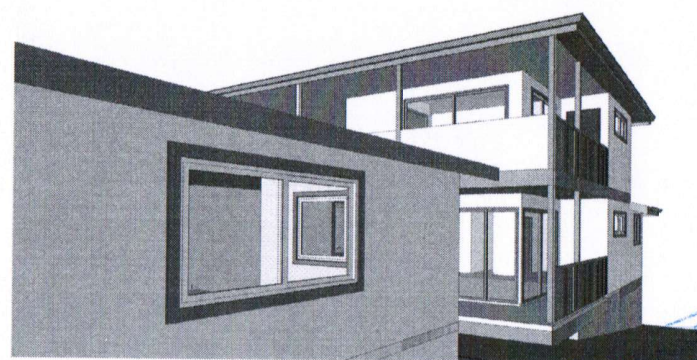
Name: Arthur Leung Accreditation No: A66352

Signature: Arthur Leung

Date: 22 / 09 / 2011



1 Site  
1:200



2 3D View 1  
Subject to Compliance with conditions endorsed.  
CAPTAIN BUILDING CONSULTANTS  
APPROVED  
Building Certifier - Arthur Leung  
BSA No. A66352  
Date: 22/19/2011  
BA 11766

**SLAB & FOOTINGS**  
TO STRUCTURAL ENGINEER'S SPECIFICATIONS  
REFER GENERAL NOTES FOR TERMITES PROOFING.  
**WATERPROOFING:-**  
MEMBRANE A: (UNDER SLAB) 0.2mm POLYTHENE FILM SLAB UNDERLAY  
ON 50mm SAND BED  
MEMBRANE B: PROPRIETARY BITUMINOUS MEMBRANE WITH CORFLUTE PROTECTIVE SHEET (BEHIND BLOCK WALLS)

**GROUND LEVEL**  
TO BE MINIMUM 225mm BELOW FLOOR SSL AROUND PERIMETER OF BUILDING  
LAND FALL GROUND AWAY FROM BUILDING EDGE WHERE POSSIBLE

**PAINTWORK**  
BUILDER TO ALLOW FOR MINIMUM 3 COAT PAINT SYSTEM

**STRUCTURAL STEEL**  
REFER FRAMING PLANS. ALL EXPOSED MILD STEEL TO BE HOT DIP GALVANISED

**EXTERNAL BALUSTRADE**  
REFER TO ELEVATIONS. BALUSTRADE TO BE 1000HT WITH 150 X 38 TIMBER TOP RAIL. 3mm STAINLESS STEEL WIRES AT 80mm CRS MAX

**ROOF FRAMING**  
TIMBER TRUSSES AS PER MANF SPEC  
PROVIDE SEALATION UNDER ROOF BATTENS AND INSULATION ABOVE CEILING TO ACHIEVE MINIMUM OF R2.5  
FOR ALL OTHER ROOF FRAMING REFER TO STRUCTURAL ENGINEER'S DOCUMENTATION

**CERINGS / WALLS**  
WALLS AND CEILINGS TO BE 10MM PLASTERBOARD

**TYPICAL EAVES**  
FASCIA: METAL COLORBOND  
GUTTER: COLORBOND 150D  
DOWNPIPE: UPVC. PAINT FINISH  
EAVE LINING: HARRIS 'DECORVENT' DESIGN NGR WITH VENTS CLOSEST TO WALL

**TYPICAL EXTERNAL WALL TYPES**  
40mm KOOLWALL INSULATED PANELING TYPICALLY. 50mm INSULATION TO WESTERN STUD WALLS & TO ALL INTERNAL BATHROOM PERIMETER WALLS. ALL OTHER EXTERNAL WALLS TO HAVE INSULATION EQUIVALENT TO WALLS R.1.0  
FOR ALL WALL FRAMING AND BRACING REFER TO FRAMING PLANS.

**TYPICAL INTERNAL LINING**  
WET AREAS: FIBRE CEMENT - 6mm VILLABOARD  
OTHER: PLASTERBOARD  
ARCHITRAVES - 42 x 12 DRESSED PINE  
SKIRTINGS - 42 x 12 DRESSED PINE

**JOINERY**  
REFER TO JOINERY DETAILS

**FLOORING**  
TILE FINISH TO WET AREAS. TIMBER TO ALL OTHERS AREAS

**STAIRS**  
STAIRS TO BE TIMBER TO MATCH FLOORING

**GLAZING AND DOORS**  
REFER TO WINDOW AND DOOR SCHEDULES.

**ELECTRICAL**  
REFER TO ELECTRICAL PLANS

Level	Mark	Location	Height	Door Schedule	Comments
Store Room Level	1	STORE	2100	2100	AUTOMATIC PANEL LIFT GARAGE DOOR
Store Room Level	1A	STORE	2040	820	EXTERNAL GRADE TIMBER HINGED DOOR
Store Room Level	2				
Ground Floor	3	ENS	2100	980	INTERNAL HOLLOW GRADE TIMBER HINGED DOOR
Ground Floor	2	LOUNGE	2143	1510	2 PANEL POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS DOOR
Ground Floor	4	GARAGE	2100	800	AUTOMATIC PANEL LIFT GARAGE DOOR
Ground Floor	5	WORKSHOP	2040	820	INTERNAL HOLLOW GRADE TIMBER HINGED DOOR
Ground Floor	6	BEDROOM	2040	820	INTERNAL HOLLOW GRADE TIMBER HINGED DOOR
Ground Floor	7	LIDY	2040	744	2 PANEL SLIDING DOOR
Ground Floor	8	LOUNGE	2143	2710	2 PANEL POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS DOOR
Ground Floor	9	ROBE	2040	750	3 PANEL SLIDING ROBE DOOR
Ground Floor	11	GARAGE	2143	2710	2 PANEL POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS DOOR
Ground Floor	19	ENS	2040	820	INTERNAL HOLLOW GRADE TIMBER HINGED DOOR WITH LIFT OFF HINGES
Ground Floor	22		2040	820	
Ground Floor	23		2143	2710	
Ground Floor	24		2040	820	
Ground Floor	13				

Level	Mark	Location	Window Style	Width	Height	Remarks
Level 1	16	BATH	SLIDING GLASS	2040	820	INTERNAL HOLLOW GRADE TIMBER HINGED DOOR WITH LIFT OFF HINGES
Level 1	11	BEDROOM	SLIDING GLASS	2040	820	INTERNAL HOLLOW GRADE TIMBER HINGED DOOR
Level 1	12	BEDROOM	SLIDING GLASS	2040	820	INTERNAL HOLLOW GRADE TIMBER HINGED DOOR
Level 1	13	BEDROOM	SLIDING GLASS	2143	2710	2 PANEL POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS DOOR
Level 1	14	BEDROOM	SLIDING GLASS	2040	820	INTERNAL HOLLOW GRADE TIMBER HINGED DOOR
Level 1	15	ROBE	SLIDING GLASS	2040	744	3 PANEL SLIDING ROBE DOOR
Level 1	16	ROBE	SLIDING GLASS	2040	744	3 PANEL SLIDING ROBE DOOR
Level 1	26	HALL	SLIDING GLASS	2040	820	EXTERNAL GRADE TIMBER HINGED DOOR

Level	Mark	Location	Window Style	Width	Height	Remarks
1		BEDROOM	SLIDING GLASS	1810	600	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
2		BEDROOM	SLIDING GLASS	1810	600	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
3		DINING	SLIDING GLASS	1810	600	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
4		BEDROOM	SLIDING GLASS	1810	900	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
5		ENS	SLIDING GLASS	610	900	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
6		BATH	SLIDING GLASS	610	900	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
7		STAIR	SLIDING GLASS	1910	600	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
8		KITCHEN	SLIDING GLASS	1210	900	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
9		BEDROOM	SLIDING GLASS	1810	900	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
10		BEDROOM	SLIDING GLASS	1810	600	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
11		BEDROOM	SLIDING GLASS	1810	600	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
12		BEDROOM	SLIDING GLASS	1810	600	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
13			SLIDING GLASS	1810	900	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
14			SLIDING GLASS	1810	900	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW
15			SLIDING GLASS	1810	900	POWDERCOAT ALUMINIUM FRAMED SLIDING GLASS WINDOW

ISSUE	DATE	DISTRIBUTION
A	23/10/10	ISSUE FOR APPROVAL

LEGEND

FW	FLOOR WASTE
DP	LAPVED DOWNPIPE
EG	EAVES GUTTER
SP	STEEL POST
B	1000HT
	BALUSTRADE
CCO	COLORBOND ROOF SHEETING
R	FRIDGE
P	PANTRY
CT	COOK TOP
KS	KITCHEN SINK
FC	SYCOUM LINEA BOARD CLADDING
BW	BLOCK WALL



RPD LOT 4 ON RP 101805 PARISH ENGGERA COUNTY STANLEY AREA 683SQ.M

Scott Medlin Design and Drafting

PO Box 323  
New Farm QLD 4805  
ph 3256 1234 fax 3256 2686  
mob 0412 551 042  
scot@scottmedlin.net.au

PROJECT  
House Extension  
AT  
The Gap  
FOR  
1252 Waterworks Rd  
SHOWN ON THIS DRAWING.

Site  
DO NOT SCALE OFF THIS DRAWING  
VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ALL WORK

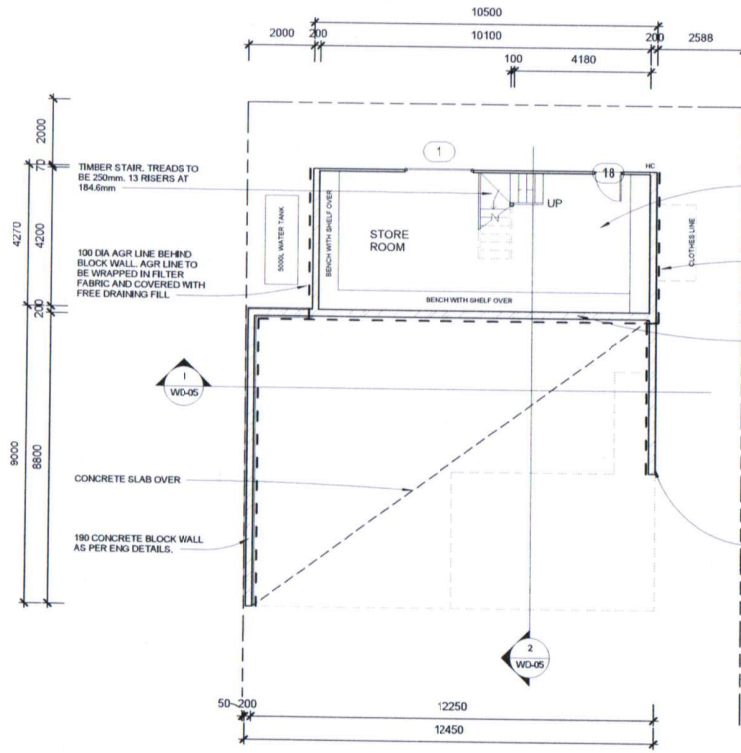
Feb 2010  
SCALE As indicated

JOB NUMBER  
201014

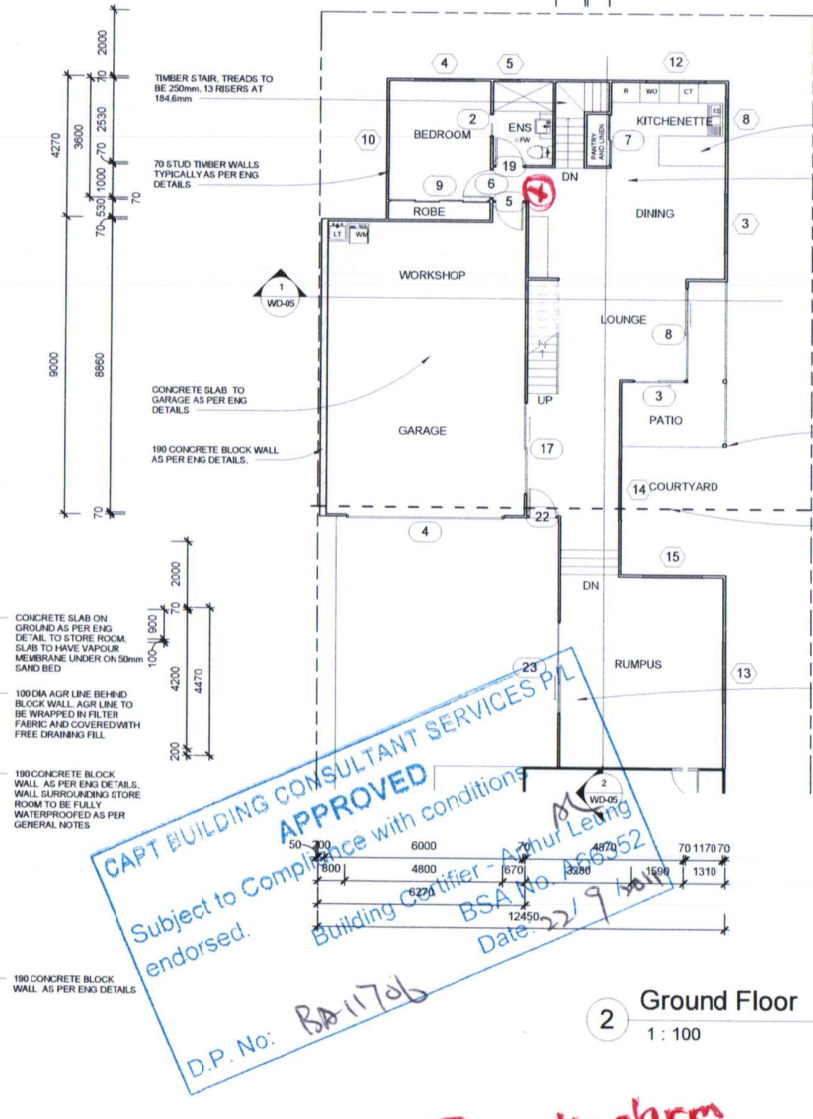
DRAWING NO. WDW-01  
REVISION

- LEGEND**
- FW FLOOR WASTE
  - DP U/P/C DOWNPIPE
  - EG EAVES GUTTER
  - SP STEEL POST
  - B 100HIT
  - CCO COLORBOND ROOF
  - R SHEETING
  - P FRIDGE
  - CT PANTRY
  - CT COOK TOP
  - KS KITCHEN SINK
  - FC SYCON LINEA
  - BW BOARD CLADDING
  - BLOCK WALL

ISSUE	DATE	DISTRIBUTION



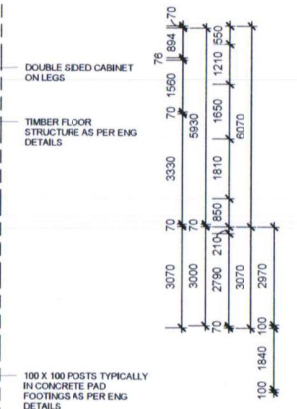
**1 Store Room Level**  
1 : 100



**2 Ground Floor**  
1 : 100

**CAPT BUILDING CONSULTANT SERVICES P/L**  
**APPROVED**  
 Subject to Compliance with conditions endorsed.  
 Building Certifier - Arthur Leung  
 BSA No. 153052  
 Date 22/9/2011  
 D.P. No: BA-11706

**⊗ Smoke alarm**



**Scott Medlin**  
 Design and Drafting  
 PO Box 323  
 New Farm QLD 4005  
 ph 3256 1234 fax 3256 6886  
 mob 0412 551 042  
 scott@scottmedlin.net.au

**PROJECT**  
 House Extension  
 AT  
 The Gap  
 FOR  
 1252 Waterworks Rd  
 SHOWN ON THIS DRAWING.  
**Store Grd Plans**  
 DO NOT SCALE OFF THIS DRAWING  
 VERIFY ALL DIMENSIONS ON SITE  
 PRIOR TO COMMENCEMENT OF ALL WORK.  
**Feb 2010**  
 SCALE 1 : 100  
 JOB NUMBER  
 201014  
 DRAWING NO. REVISION  
 WD-02

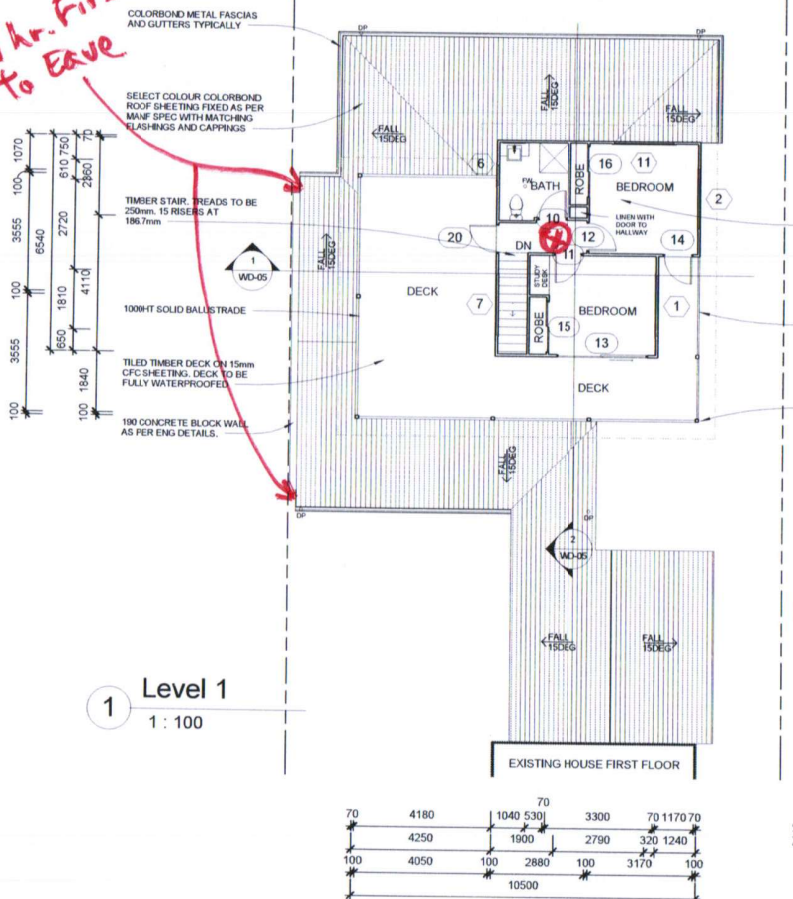
ISSUE	DATE	DISTRIBUTION

LEGEND

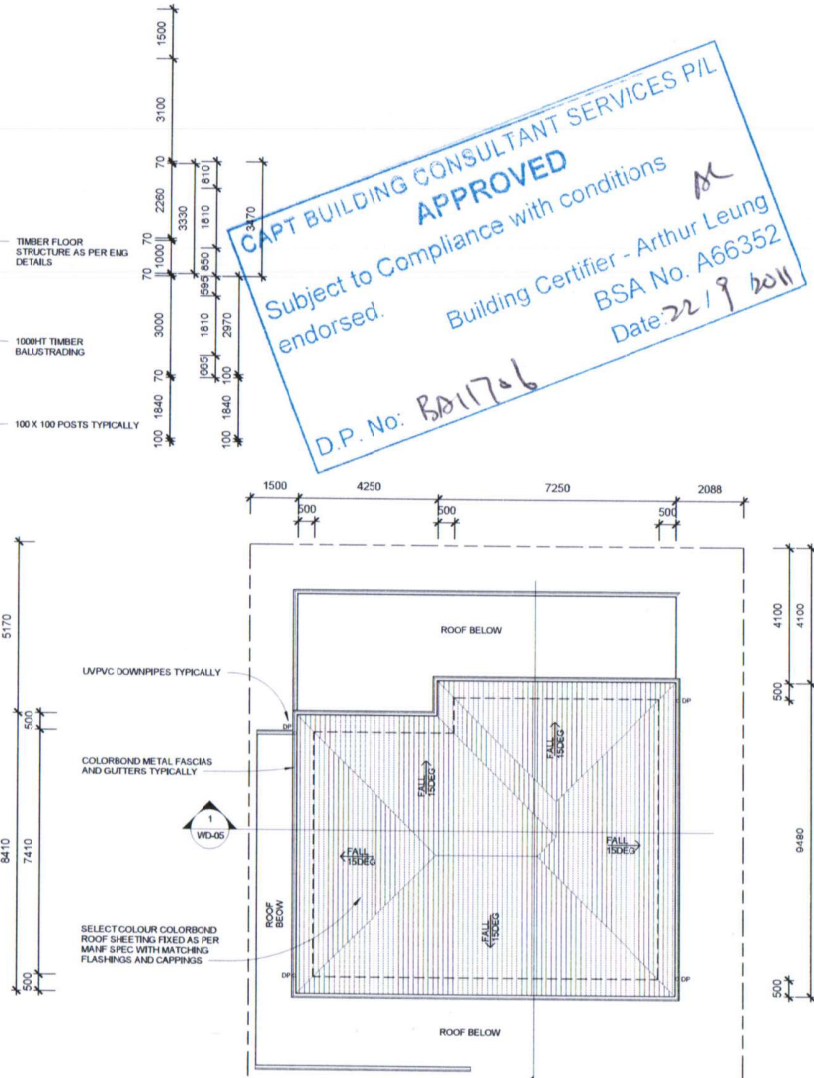
- FW FLOOR WASTE
- DP LVPVC DOWNPIPE
- EG LEAVES GUTTER
- SP STEEL POST
- B 100HIT
- CCD COLORTRADE
- COLORBOND ROOF SHEETINGS
- R FRIDGE
- P PANTRY
- CT COOK TOP
- KS KITCHEN SINK
- FC SYCON LINEA BOARD CLADDING
- BW BLOCK WALL

**CAPT BUILDING CONSULTANT SERVICES P/L**  
**APPROVED**  
 Subject to Compliance with conditions endorsed.  
 Building Certifier - Arthur Leung  
 BSA No. A66352  
 Date: 22/9/2011  
 D.P. No: B011706

*1 hr. Fire Rate to Eave*



*(X) = smoke alarm*



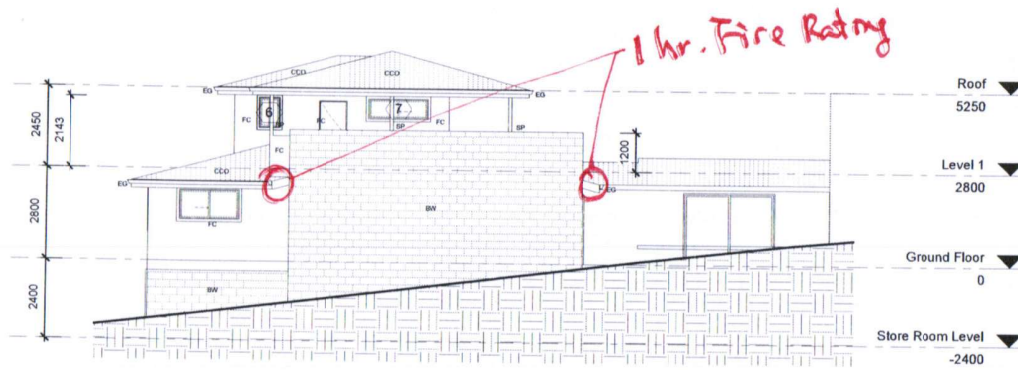
Scott Medlin Design and Drafting

PO Box 323  
New Farm QLD 4005  
ph 3256 1234 fax 3256 2686  
mob 0412 551 042  
scor@scottmedlin.net.au

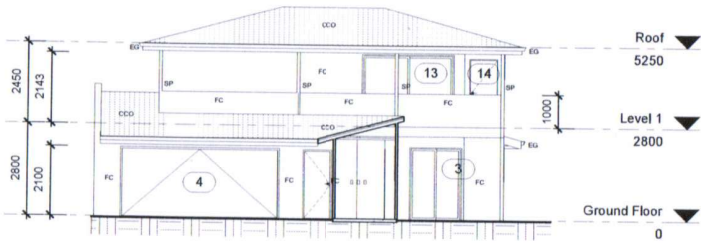
PROJECT  
**House Extension**  
 AT  
**The Gap**  
 FOR  
**1252 Waterworks Rd**  
 SHOWN ON THIS DRAWING.

**First / Roof**  
 DO NOT SCALE OFF THIS DRAWING  
 VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ALL WORK

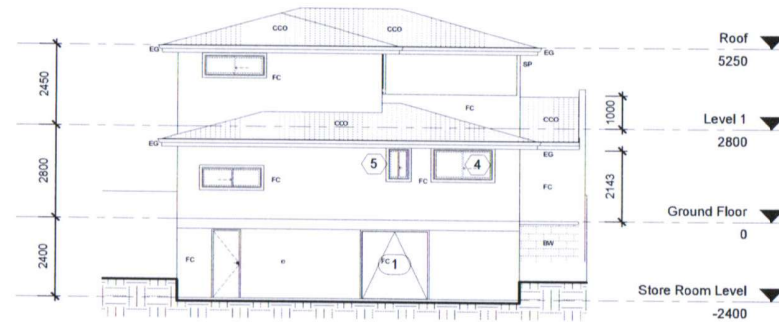
Feb 2010  
 SCALE 1 : 100  
 JOB NUMBER  
 201014  
 DRAWING NO. REVISION  
 WD-03



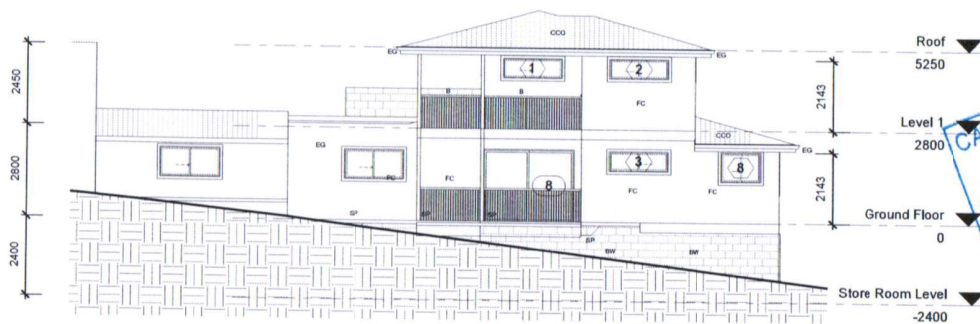
1 East  
1 : 100



2 North  
1 : 100



3 South  
1 : 100



4 West  
1 : 100

ISSUE	DATE	DISTRIBUTION

LEGEND

FW	FLOOR WASTE
DP	UP/PVC DOWNPIPE
EG	EAVES GUTTER
SP	STEEL POST
B	1000HT
CCO	BALUSTRADE
	COLORBOND ROOF SHEETING
R	FRIDGE
P	PANTRY
CT	COOK TOP
KS	KITCHEN SINK
FC	SYCON LINEA
BW	BOARD GLADDING
	BLOCK WALL

Scott Medlin  
Design and Drafting

PO Box 323  
New Farm QLD 4005  
ph 3256 1234 fax 3256 2666  
mob 0412 551 042  
scott@scottmedlin.net.au

PROJECT  
House Extension  
AT  
The Gap  
FOR  
1252 Waterworks Rd

SHOWN ON THIS DRAWING.

Elevations  
DO NOT SCALE OFF  
THIS DRAWING  
VERIFY ALL DIMENSIONS ON SITE  
PRIOR TO COMMENCEMENT OF ALL  
WORK

Feb 2010  
SCALE 1 : 100

JOB NUMBER  
201014

DRAWING NO. REVISION  
WD-04

**CAPT BUILDING CONSULTANT SERVICES P/L**  
**APPROVED**  
Subject to Compliance with conditions  
endorsed.  
Building Certifier - Arthur Leung  
Date: 22/9/2011  
D.P. No: B011706

COLORBOND ROOF SHEETING FIXED AS PER MANF SPEC WITH MATCHING FLASHINGS AND CAPPINGS

TIMBER ROOF TRUSSES TYPICALLY AS PER MANF SPEC. 900CRS

METAL COLORBOND FASCIA AND GUTTERS TYPICALLY

VILLABOARD LINING TO DECK SOFFITS TYPICALLY  
1000HT SOLID TIMBER BLAUSTRADE

COLORBOND ROOF SHEETING FIXED AS PER MANF SPEC WITH MATCHING FLASHINGS AND CAPPINGS

TIMBER ROOF TRUSSES TYPICALLY AS PER MANF SPEC. 900CRS

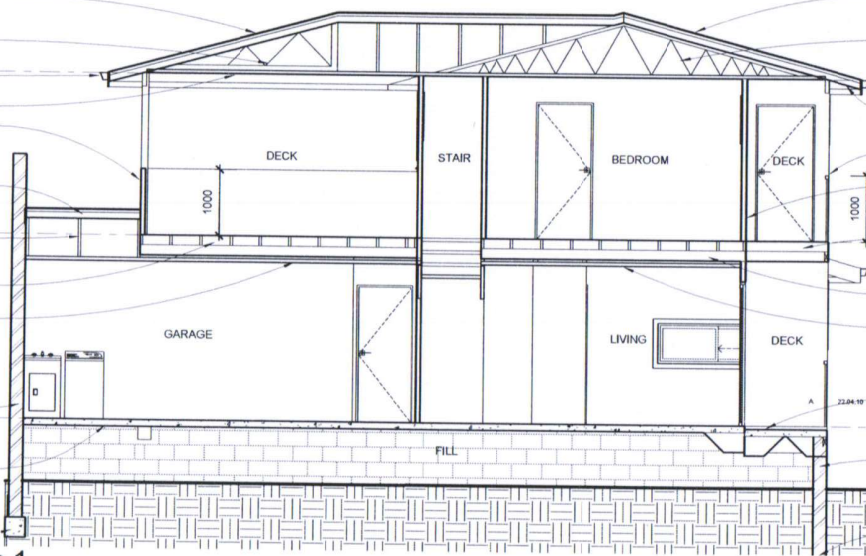
FLOOR FRAMING AS PER ENG DETAILS

PLASTERBOARD CEILING LINING TYPICALLY

190 CONCRETE BLOCK WALL CORED FILLED AS PER ENG DETAILS

CONCRETE SLAB ON GROUND AS PER ENG DETAIL. FILL UNDER SLAB AS REQUIRED AS PER ENG DETAILS

CONCRETE FOOTING TO BLOCK WALL AS PER ENG DETAILS



1 Section 1  
1 : 50

COLORBOND ROOF SHEETING FIXED AS PER MANF SPEC WITH MATCHING FLASHINGS AND CAPPINGS

TIMBER ROOF TRUSSES TYPICALLY AS PER MANF SPEC. 900CRS

METAL COLORBOND FASCIA AND GUTTERS TYPICALLY

EAVES LINING AS PER GENERAL NOTES

1000HT TIMBER BALUSTRADE

70 STUD WALLS TYPICALLY. FINISHES AS PER GENERAL NOTES

DECK FRAMING AS PER ENG DETAILS. DECK TO BE TILED FINISH ON 15mm CFC WITH FULLY WATERPROOFED FINISH.

FLOOR FRAMING AS PER ENG DETAILS

PLASTERBOARD CEILING LINING TYPICALLY

CONCRETE SLAB ON GROUND AS PER ENG DETAIL. FILL UNDER SLAB AS REQUIRED AS PER ENG DETAILS

190 CONCRETE BLOCK WALL CORED FILLED AS PER ENG DETAILS

CONCRETE FOOTING TO BLOCK WALL AS PER ENG DETAILS

Roof ▼  
5250

Level 1 ▼  
2800

Ground Floor ▼

ISSUE	DATE	DISTRIBUTION

LEGEND

FW	FLOOR WASTE
DP	UPVC DOWNPIPE
EG	EAVES GUTTER
SP	STEEL POST
B	1000HT BALUSTRADE
CCO	COLORBOND ROOF SHEETING
R	FRIDGE
P	PANTRY
CT	COOK TOP
KS	KITCHEN SINK
FC	SYCON LINEA BOARD CLADDING
BW	BLOCK WALL

CAPT BUILDING CONSULTANT SERVICES P/L  
 APPROVED  
 Subject to Compliance with conditions  
 Building Certifier - Arthur Leung  
 BSA No. A66352  
 Date: 22/9/2014  
 P.P. No: PD11706

COLORBOND ROOF SHEETING FIXED AS PER MANF SPEC WITH MATCHING FLASHINGS AND CAPPINGS

TIMBER ROOF TRUSSES TYPICALLY AS PER MANF SPEC. 900CRS

METAL COLORBOND FASCIA AND GUTTERS TYPICALLY

VILLABOARD LINING TO DECK SOFFITS TYPICALLY  
1000HT SOLID TIMBER BLAUSTRADE

COLORBOND ROOF SHEETING FIXED AS PER MANF SPEC WITH MATCHING FLASHINGS AND CAPPINGS

TIMBER ROOF TRUSSES TYPICALLY AS PER MANF SPEC. 900CRS

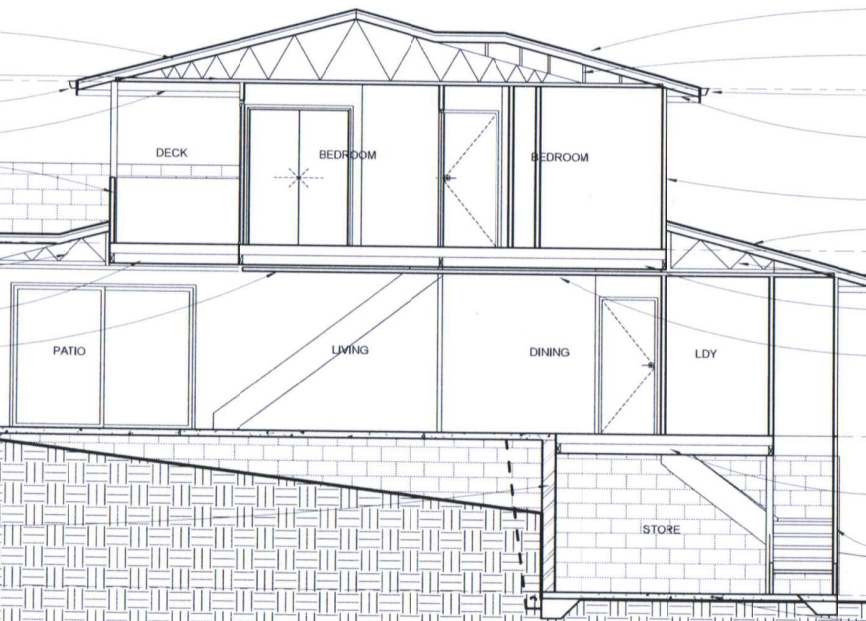
FLOOR FRAMING AS PER ENG DETAILS

PLASTERBOARD CEILING LINING TYPICALLY

CONCRETE SLAB ON GROUND AS PER ENG DETAIL. FILL UNDER SLAB AS REQUIRED AS PER ENG DETAILS

190 CONCRETE BLOCK WALL CORED FILLED AS PER ENG DETAILS FULLY WATERPROOFED AS PER GENERAL NOTES WITH A 300MM BEHIND CLEAR DRAINING FILL

CONCRETE FOOTING TO BLOCK WALL AS PER ENG DETAILS



2 Section 2  
1 : 50

COLORBOND ROOF SHEETING FIXED AS PER MANF SPEC WITH MATCHING FLASHINGS AND CAPPINGS

TIMBER ROOF TRUSSES TYPICALLY AS PER MANF SPEC. 900CRS

METAL COLORBOND FASCIA AND GUTTERS TYPICALLY

EAVES LINING AS PER GENERAL NOTES

70 STUD WALLS TYPICALLY. FINISHES AS PER GENERAL NOTES

COLORBOND ROOF SHEETINGS FIXED AS PER MANF SPEC WITH MATCHING FLASHINGS AND CAPPINGS

TIMBER ROOF TRUSSES TYPICALLY AS PER MANF SPEC. 900CRS

FLOOR FRAMING AS PER ENG DETAILS

PLASTERBOARD CEILING LINING TYPICALLY

FLOOR FRAMING AS PER ENG DETAILS

70 STUD WALLS TYPICALLY. FINISHES AS PER GENERAL NOTES

CONCRETE SLAB ON GROUND AS PER ENG DETAIL. FILL UNDER SLAB AS REQUIRED AS PER ENG DETAILS

Roof ▼  
5250

Level 1 ▼  
2800

Ground Floor ▼  
0

Store Room Level ▼  
-2400

Scott Medlin  
Design and Drafting

PO Box 323  
New Farm QLD 4005  
ph 3256 1234 fax 3256 2686  
mob 0412 551 042  
scott@scottmedlin.net.au

PROJECT  
House Extension  
AT  
The Gap  
FOR  
1252 Waterworks Rd

SHOWN ON THIS DRAWING.

Sections

DO NOT SCALE OFF THIS DRAWING  
VERIFY ALL DIMENSIONS ON SITE  
PRIOR TO COMMENCEMENT OF ALL WORK

Feb 2010

SCALE As indicated

JOB NUMBER  
201014

DRAWING NO. WD-05 REVISION

7<sup>th</sup> June, 2010Scott Medlin Design & Drafting  
PO Box 323  
NEW FARM QLD 4005OUR REF      AW22908  
YOUR REF     201014  
                 Weder**Brisbane**  
T [07] 3343 5092  
F [07] 3343 7655  
PO Box 4044  
Eight Mile Plains  
Queensland 4113  
**Sydney**  
T [02] 9723 5411  
F [02] 9723 5422  
ausgeo@ozemail.com.au  
www.ausgeo.net**Site Classification as per AS 2870-1996**No 1252 Waterworks Road, The Gap

Site Classification	<b>CLASS P</b>
Site Features	Existing buildings, grasses and trees
Ground Slope	Steep
Proposed Earthworks	Unknown (refer "about your report")
Ys Range (normal)	40-50mm (Hs = 2300mm)
Ips Value	TS2 (500-800) = 3.6%
Water Table	Not present

Allowable Bearing Pressures

100 kPa	At all levels in the natural undisturbed strata
250 kPa	500mm and deeper into the natural undisturbed stiff clay strata
400 kPa	Refusal on Bedrock

The pages which form the last 2 pages of this report are an integral part of this report. The notes contain advice and recommendations for all stakeholders in this project (i.e. the structural engineer, builder, owner and future owners) and should be read and followed by everyone concerned. This report may only be copied in full. If there is any doubt whether this report is complete, please check with our office.

Please note that should additional information become available which was not supplied or known at the time of our testing, we reserve the right to revise this report without penalty.

CAPT BUILDING CONSULTANT SERVICES P/L	
<b>APPROVED</b>	
Subject to Compliance with conditions endorsed.	
Building Certifier - Arthur Leung	
D.P. No: BA11706	BSA No: A66352
	Date: 22/9/11

Site Specific Notes

Using the guidelines in AS 2870-1996 we have derived a normal  $\gamma_s$  in excess of 20 mm (refer front page) which is a measure of the potential of the strata to change volume with changes in soil moisture (generated by seasonal moisture variations).

During the site visit, we also noted features (see front page) within the zone of influence of the proposed building footprint, which are specifically mentioned in Clause 1.3.3 of AS 2870-1996 as contributing to abnormal moisture conditions (AMC). Clause 2.1.2 specifically notes that AMC sites require a "P" classification and AS 2870-1996 offers the following advice to the footing designer on the impact of AMC conditions.

**Clause 1.3.3 (in part)**

*"Footings have a higher probability of damage than that given in Clause 1.3.1"*

**Clause 1.4.1 General** For the purpose of this Clause, the design conditions below apply for normal sites. Where abnormal sites or abnormal environmental conditions apply, the design of the footing system shall be by engineering principles which may be beyond the scope of those set out in Section 4.

**Clause 1.4.3(b)** "Past satisfactory performance of similar footings on similar sites"

As the above quoted normal  $\gamma_s$  does not take into account ground movements generated by the abnormal conditions, the design engineer must use his/her experience and judgment to ensure that the design provides acceptable performance. In doing this, the following must be considered:

- How the proposed development will change the existing equilibrium of the soil moistures.
- The long term impact on the soil moisture equilibrium of existing and future vegetation and structures.

During our onsite testing we encountered weathered rock at both test sites, which was very dense and may prove difficult to excavate.

Because of limited access, drilling on this site was carried out with portable auger. Prudence dictates that once better access is available, the consistency of this material and the underlying strata be determined with hydraulic equipment (if requested, this will involve an additional fee, equal to our original invoice).

Although no water table was encountered during our testing, a perched water table or water seepage can occur during or after wet periods, generally where a porous layer overlies less porous strata. This generally results in some water seepage into excavations down to this level but a competent contractor can usually resolve this issue.



Unless specifically mentioned elsewhere within this report, we make no representation about the trafficability of the site during construction, however the thicker the topsoil/estate dressing, the greater the problem with moving construction equipment during or after rain periods.

Auswide Geotechnical



**Bruce L Hargreaves**  
Dip.App.Sc (Geology), RPGeo (Geotechnical Engineering)  
Affil.I.E. (Aus), M.A.G.S.,  
BSA Licence No. 1058767 (Site Classifier)  
TCC Accreditation No. CC4047U (Engineer-Geotechnical)

References

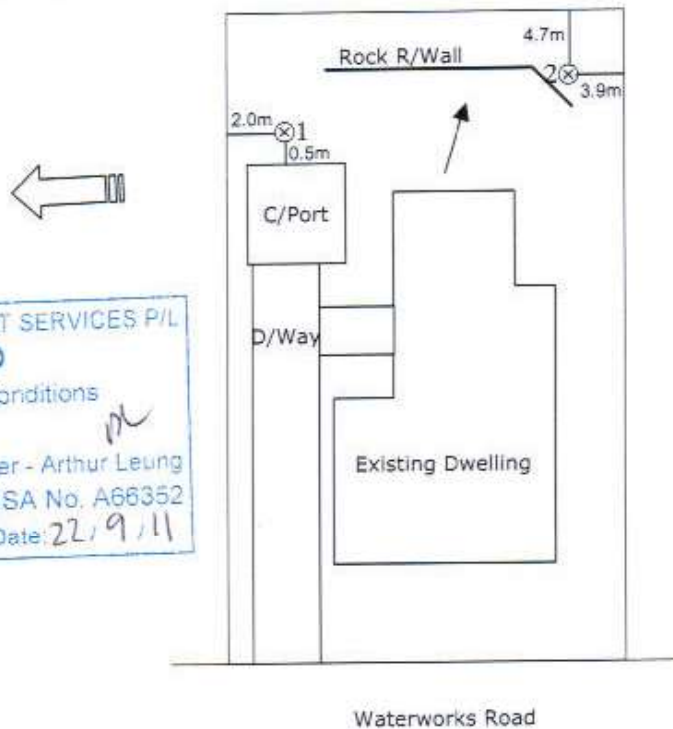
- AS 2870-1996 "Residential Slabs & Footings"
- AS 2870-1996 Supplement 1-1996 "Residential Slabs & Footings - Construction Commentary"
- SAA HB 28-1997 "The Design of Residential Slabs & Footings"
- CSIRO "Foundation Maintenance & Footing Performance A Home Owner's Guide" (Sheet BTF18)
- CSIRO "Plant Roots in Drains - Prevention and Cure" (Sheet BTF17)
- AS4055-2006 "Wind Loads for Housing"

CAPT BUILDING CONSULTANT SERVICES P/L	
<b>APPROVED</b>	
Subject to Compliance with conditions endorsed.	
	
Building Certifier - Arthur Leung	
BSA No. A66352	
D.P. No: BA 11706	Date 22/9/11

Log Sections

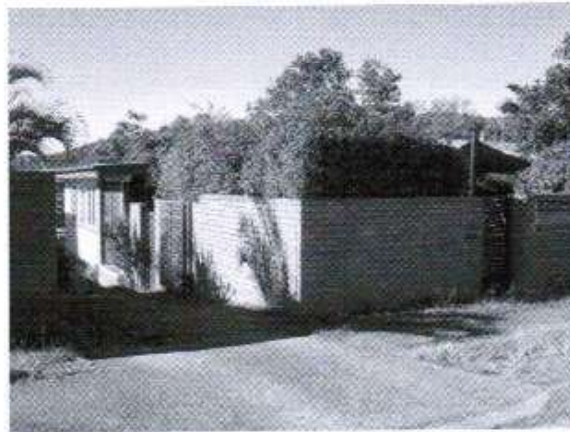
TEST SITE 1			TEST SITE 2		
Location:	refer to site sketch		Location:	refer to site sketch	
depth	description	fill	depth	description	fill
100mm	SILTY SAND		100mm	SILTY SAND	
200mm	(brown-orange/brown)		200mm	(brown-orange/brown)	
300mm	sl moist & med dense		300mm	dry & med dense	
400mm			400mm		
500mm	sl moist & dense		500mm	SILTY CLAY with sands/gravels	
600mm	SILTY CLAY with gravels		600mm	(grey-mott/orange)	
700mm	(mott/brown-lt grey)		700mm	sl moist & very stiff	
800mm	XW ROCK (org/grey)		800mm		
900mm	dry & strong		900mm		
1000mm	UTP H/A - xw rock		1000mm		
1100mm			1100mm	XW ROCK (org/grey)	
1200mm			1200mm	dry & strong	
1300mm			1300mm	UTP H/A - xw rock	
1400mm			1400mm		
1500mm			1500mm		
1600mm			1600mm		
1700mm			1700mm		
1800mm			1800mm		
1900mm			1900mm		
2000mm			2000mm		
2100mm			2100mm		
2200mm			2200mm		
2300mm			2300mm		
2400mm			2400mm		
2500mm			2500mm		

Site Sketch (Not to scale)



CAPT BUILDING CONSULTANT SERVICES P/L  
**APPROVED**  
 Subject to Compliance with conditions  
 endorsed.  
 Building Certifier - Arthur Leung  
 BSA No. A66352  
 D.P. No: BA 11706 Date: 22/9/11

Site Photos:



CAPT BUILDING CONSULTANT SERVICES P/L  
**APPROVED**  
Subject to Compliance with conditions  
endorsed.  
Building Certifier - Arthur Leung  
BSA No. A66352  
D.P. No: BA 11706 Date 22/9/11

### About Your Report

This is a site classification report generally in accordance with AS 2870-1996 and should be sufficient for a qualified person to design footings for structures which are covered under the scope of this standard.

Where our proposed earthworks specification states "Unknown", AS 2870-1996 Clause 2.4.5 requires the site to be reclassified prior to footing construction if the proposed cut exceeds 500 mm and the proposed fill exceeds the limits in Clause 2.4.6 of AS 2870-1996. In these instances, the site classification is in the "as tested" may not reflect the final site classification after earthworks. Normally this reclassification is done by the design engineer but upon request, we can do this.

Where the site preparation is stated as "known", our classification is based on the data given, as we envisage the finished building footprint (which conforms to the AS 2870-1996 guidelines), therefore re-classification is only required if these guidelines change. This report may not be adequate for large complex dwellings which are generally outside the scope of AS 2870-1996.

AS 2870-1996 contains a system of classifying soils based on their ability to change volume with changes in soil moisture. These classes are Class A, Class S, Class M, Class H and Class E (the most severe). These "Normal" classes also have a minimum allowable bearing capacity as outlined in Clause 2.3.5 of AS 2870-1996.

AS 2870-1996 also has a Class P for problem sites which covers fill, soft or collapsing soils, potential slope stability problems, mining subsidence and abnormal moisture conditions.

Abnormal Moisture Conditions (AMC) is a particularly contentious area and Clause 1.3.3 of AS 2870-1996 covers many situations where this clause applies. The most common situations are sites with clay soils (normally Class M, H or E ( $ys > 20$ )) which have either existing structures or trees or gardens within the zone of influence of the proposed footing. Some of these trees may be on adjoining properties. Where this clause is applicable, we have added further explanatory advice.

The soil shrinkage Index (Ips) range quoted in this report was assigned after considering the guidelines in Section 2 of AS 2870-1996 and from this we have derived ays which is the "characteristic surface movement" under NORMAL moisture conditions.

Footings designed in accordance with AS 2870-1996 have a long-term performance criteria and it should be noted that this does not offer a crack or distress-free performance. It offers a performance criteria which ensures a low probability of foundation failure, provided abnormal moisture conditions, such as over-watering, bad drainage, leaking pipes or nearby trees are not allowed to exist or develop.

This performance criteria is outlined in Appendix C of AS 2870-1996 and under normal conditions a low incidence of Category 1 damage and an occasional incidence of Category 2 damage is

expected. This appendix is available from our office upon request.

Where Abnormal Moisture Conditions exist and/or are allowed to continue or develop, then not only will the above probabilities increase, but the damage will be greater. The ultimate responsibility falls on the design engineer to negate the effects of these conditions when they are known and for the owner/occupier to ensure that they do not develop. Our responsibility is limited to identifying these conditions.

If any potential owner is not satisfied with the performance criteria in AS 2870 (which has been applied Australia wide since 1986) then prior to footing design he/she should consult with the design engineer and have a specially designed footing more suited to their needs.

#### Classification Limitations

The content of this report is based on the expertise and experience of the author representing this company. Our commission didn't extend to assessing instability due to previous or existing sub-surface mining, landslide or earthquakes, nor did it extend to testing to comply with the relevant contaminated land act or for acid sulfate soils (see note below). If, however any of these exclusions was obvious or where the allotment is within an area where we are aware of a past history of these exclusions, we have made comment and given further advice.

This report is based on the assumption that the test results are representative of the true site conditions. Even under optimum circumstances, actual conditions may differ from those reported to exist. Although our investigation exceeds the minimum requirements of AS 2870-1996, economic constraints necessarily limit the practical extent of any investigation. We therefore cannot accept responsibility for conditions encountered on this site outside the areas tested which are different to those reported. The positions of these test sites has not been surveyed, and should be regarded as approximate. We have followed AS 2870-1996 soil descriptions contained in Clause C2.1 rather than AS 1289 because where there is a conflict between referenced codes, AS 2870-1996 takes precedence.

#### Underslab Termiticide Irrigation Systems

These are becoming popular and besides serving their obvious purpose, they also inject extra moisture beneath the slab at various times (measured in years). This creates long term "abnormal" moisture conditions which needs to be addressed at the design stage, therefore if one of these is proposed for this project, the design engineer must be informed prior to preparing the slab.

As a general rule, to cope with these systems, the ys must be increased by about 50%, which will generally result in a slab one category higher than would normally be used (refer P12, Supplement to AS 2870-1996). Upon request we can supply more specific advice.



**Acid Sulfate Soils (ASS)**

Unless specifically stated, we have not considered the possibility of ASS which occur around the coastline, generally below AHD 5.0 and occasionally on broad river flood plains at higher levels. Most councils maintain maps of these areas. In new estates the ASS problem has normally been assessed and neutralised, but it is worthwhile confirming this at land sales, if ASS are suspected. In older areas, the council is normally the best source of advice. ASS, if present, do have the potential to dramatically shorten the life of footings, slabs, reinforcement and bricks. This advice is also relevant for saline soils.

**Filled Ground**

**Controlled Fill** - Material that has been placed and compacted in layers by compaction equipment within a defined moisture range to a defined density requirement in accordance with AS 3798-1996 and clause 6.4.2 of AS 2870-1996 is controlled fill.

**Uncontrolled Fill** - Fill which does not have sufficient documentation to be classified as controlled is by exclusion, uncontrolled. Where found we have offered further advice within this report.

**Topsail/Estate Dressing**

In our soil log section, where we have logged "Topsail" or "Estate Dressing" it is defined as per clause 1.3.12 of AS 3798-1996 thus:

"A poorly compacted superficial soil containing some organic matter, usually darker than the underlying soils"

Good building practice dictates that all heavy organic strata be scraped clear of the building envelope during the early stages of site preparation and we have assumed that this will be done.

**Short Term Site Management**

This is the responsibility of the builder, and besides ensuring that the site is handed over to the owner at completion in accordance with accepted practice, the following should also be done:

- Ensure all service trenches are back-filled as soon as possible in accordance with Clause 6.6 of AS 2870-1996, including the clay plug where a service pipe trench exits the building footprint.
- Ensure guttering is connected to the stormwater (via temporary pipes if necessary) as soon as the roof is on.
- Ensure that during construction and at the time of hand-over that the site is maintained as per Clause 5.2.1 of AS 2870-1996.

If any of these practices are not carried out, the site may develop "abnormal" moisture conditions which increases the risk of damage above the AS 2870-1996 criteria.

**Other Construction Issues**

The builder must also ensure that other sub-trades such as plumbers, drainers and swimming

pool contractors don't establish excavations within the critical zone of influence of the footing system unless the footing is pierced below the influence of these excavations. This critical zone varies from 20° (1V:2H) to 45° (1V:1H), depending on the nature of the strata. If this situation is considered possible, then once the proposal is known we can offer further advice. These excavations include inground tanks. Unless we have specifically given written approval, no inground tanks should be sited within 8 metres of any structural footing.

Where the proposed earthworks involve the establishment of cut/fill batters, advice concerning safe angles is beyond the scope of commission in this report. AS 2870-1996, Clause 6.4.4 offer guidelines.

**Long Term Site Management**

It is the owner's responsibility to ensure both tenants and future owners are aware of these responsibilities. The referenced CSIRO sheets outline these responsibilities and if the builder does not give the owner a copy, they can be sourced from either the CSIRO (1800645051) or our office.

The major danger to dwellings is allowing site conditions to deteriorate to "abnormal" in the long term.

Where abnormal moisture conditions are allowed to continue or to develop, then not only will the above probabilities increase, but the damage will be greater.

The CSIRO sheets define both "normal" and "abnormal" conditions.

The significant (not necessarily in order) abnormal conditions which adversely affect the performance of AS 2870-1996 type footings are:

- Trees growing or allowed to grow within the critical zone of influence of the footings.
- Poor site drainage
- Saturated service trenches (poor site drainage).
- Leaking service pipes

The builder, owner/occupier and engineer should take note that management of trees is the most difficult part of the site management procedures and trees present the greatest risk to the future poor performance of the footing system. Trees (existing or proposed) must not be allowed to grow without taking action to negate their effects within the critical zone of the footing system.

Class	Normal vs	Critical Zone
Class M	< 40mm	.75 times mature height
Class H	40-70mm	1.0 times mature height
Class E	70-100mm	1.5 times mature height
Class E	>100mm	2 times mature height

These spacings must be increased for groups or rows of trees.

These distances are only a "rule of thumb" as the tree species and their root systems play an equally important role. The distances from drains explained in the referenced document BTF 17 applies equally to structural footings.

CAPT BUILDING CONSULTANT SERVICES P/L

APPROVED

Subject to Compliance with conditions endorsed.

Building Certifier - Arthur Leung  
BSA No. A66352  
Date 22/9/11

D.P. No: BA 11706

**Build Over Sewer – Fast Track Self Certification**  
**Part 1 – Request for Consent**

Office Use Only

No. B05254460211**Privacy Statement**

The personal information collected on this form will be used by Brisbane City Council for the purposes of fulfilling your request and undertaking associated Council functions and services. Your personal information will not be disclosed to any third party without your consent, unless this is required or permitted by law.

**1. Mandatory Requirements for a Properly Made Request for Consent**Payment of prescribed fee (GST exempt) Part 1 - Request for consent (2 copies) Part 2 - Assessment RPEQ certification report and plans as required **Plans showing:**Site plan including sewer location Foundation / footings design Dimensions of development in relation to sewer location **2. Property Owner's Details**

Name	Phone no.	Fax no.
Mr Clifford N Weder & Mrs Shirley M Weder	07 - 33005156	
Address		Postcode
27 Kilsby St THE GAP QLD 4061		4061

**3. Property Details**

Real Property Description	House No.	Street / Road	Suburb
Lot 4 Plan RP.101805	1252	WATERWORKS RD	The Gap Q 4061

**4. Development Type**

New dwelling <input type="checkbox"/>	Filling / excavation <input type="checkbox"/>	Industrial building e.g. factory, shop <input type="checkbox"/>
Dwelling extension <input checked="" type="checkbox"/>	Garage <input type="checkbox"/>	High-rise residential building <input type="checkbox"/>
Retaining wall <input type="checkbox"/>	Roofed deck / patio / pergola <input type="checkbox"/>	Other <input type="checkbox"/>

**5. Engineer's (RPEQ) Details**

Engineer's name	RPEQ Registration no.	Company name
Mario Gregorovic	RPEQ 7018	HMR Structural Design
Address		Phone no.
14 Teresa Drive Munruben		07 38021808
Postcode		
Q4125		

**6. Private Certifier's Details**

Private certifier's name	BSA Accreditation no.	Company name
Mr Arthur Leung	A66352	CAPT Building Consultant Services
Address		Phone no.
PO Box 4185 Eight Mile Plains		0411318212
Postcode		
Q4113		

**Council Consent**

Upon lodgement of a properly made request, Council will stamp a "consent stamp" on this form and on the duplicate of this form.

When stamped, this form (and its duplicate) will constitute the consent of Brisbane City Council under s.192 of the Water Supply (Safety and Reliability) Act 2009 subject to the following conditions:

- The sewer must be accurately located on-site by builder/supervisor to determine the size, alignment and depth of sewer prior to building works commencing.
- Works must be undertaken in accordance with all of the materials comprising the property made Request for Consent submitted to Council.

**NOTES:**

- Council's consent is issued in direct reliance upon the Assessor's Declaration in the Build Over Sewer Part 2 – Assessment Form.
- A Private Certifier must not issue a Building Development Approval which is inconsistent with the above conditions.

**Consent Box - BCC Office Use Only**

**BRISBANE CITY COUNCIL**  
**Build-Over-Sewer (BOS)**  
**CONSENT GRANTED**  
under the Water Act 2000

BCC Consent #: A003180428Date: 22-9-2011

Affixed by:

Officer code: CCC156 Initial: KD

# **CAPT Building Consultant Services Pty Ltd**

**Commercial and Residential Building Approval**

ABN 34 125 340 490

**PO Box 4185 Eight Mile Plains Q4113**

Telephone : 07 3341 3330

Mobile : 0411 318 212

Email : capttemp@bigpond.com

## **Conditions of approval**

Our File Reference Number : BA 11706

Local Government File Reference : A003180731

Property description : 1252 Lot 4, Waterworks Road, The Gap Q4061  
Lot 4 on RP 101805

Development Description : extension to Existing Dwelling

Class : 1a

Number Storeys: two Floor Area (new): 300.8 sq. metres

### **Plans and Specification related to this approval :**

Site Plan & Architectural : Drawing by Scott Medlin Design and drafting Dated Feb 2010 Job No 201014 No.WD 01-05.

Slab and footing Drawing by HMR Structural Design, Mario Gregorovic RPEQ 7018 Engineer, Drawing Project Job HMR-1160 S1-S6

Energy rating report by Cyber Drafting & Design Project CAPT lot 4B11270

Building over sewer approval A003180428

Relaxation approval A003137530

Qleave : E090678

BSA : 10973421

## **Conditions of approval**

### **Notice for Mandatory Inspections**

The certifier shall be notified (one working day ) on 0411 318 212 prior to the following stages of construction to enable a inspection to be carried out and approved.

- 1) Inspection by the Certifier prior to placing of concrete footing , **please note structural inspection by Engineer still required.**
- 2) Slab prior to concrete by Engineer
- 3) Frame prior to cladding by Engineer
- 4) Final completion of all building work by the certifier.

\* Inspection to be carried out by **a competent person approved by the Certifier** e.g. Registered Professional Engineer. Additional fee to be paid if inspection by the certifier.

Note : An **inspection report** shall be submitted to the Certifier **within 48 hrs** for any Inspection carried out by the approved competent person.

Prior to any inspection, all relevant Certificates for material and installation work shall be made available to the Certifier.

### Certificates required for final completion

1. Structural engineer's inspection of footing and slab,
2. Structural engineer's inspection of framing
3. Council's plumbing and drainage final certificate.
4. Smoke detection system form 16.
5. Frame certificate
6. Trusses certificate.
7. Window certificate.
8. Glazing certificate – shower screen , and windows.
9. Waterproofing – bathroom , shower ,wet area and deck .
10. Form 16 from Roof sheeting install with R1.5 insulation
11. Letter from builder to confirm all insulation completed as required by the energy report such as ceiling batt R2.5 and wall insulation R1.3 and sarking
12. Electrician to certify energy efficient lighting system and smoke alarm installed.
13. Form 16 from the plumber confirming rainwater tank installed to comply with QDC Part 25.
14. Form 16 from surveyor for setting out and level for height of house if required.

### Plan on site

A complete set of approved plans shall be kept on site during construction.

### Stormwater Discharge

Stormwater shall be connected and discharge to water tanks and overflows to be discharged clear of onsite drainage area.

### Termite Management

Termite management to be carried out in accordance with AS 3660.1.

The builder advised that visual barrier will be used.

Minimum clearance for visual barrier to be in accordance with BCA and AS3660.1

### Sustainable Housing

- > 3 star rated or AAA rated shower roses
- > Pressure-limiting devices maximum water pressure. Level of water from any outlet must not exceed 500kPw
- > Dual Flush toilets not exceed 6 litre full and 3 litre half flush
- > Energy Efficiency lighting min 40% of total floor area including garage must be lit by fluorescent lights
- > Greenhouse – efficient hot water systems. Gas, heat pump or solar hot water system.

### Compliance with Part 25 Queensland Development Code “Water Saving Targets”

- A1 & A2 A 5000 litres rainwater tank to be installed; and is installed to receive rainfall from a minimum roof catchment area that is at least one half of the total roof area or 100 sq. m , whichever is the lesser; and is connected for external use and internal use for toilet cisterns and washing machine cold water taps.
- A3 A rainwater tank has a) a screened downpipe rainhead, having screen mesh 4-6mm and designed to shed leaves, installed on each downpipe; and b) a minimum of the 15 litres of the first flush of roof catchment diverted/discarded before entering the rainwater tank.
- A4 A *rainwater tank* is provided with –  
(a) either –  
(i) mosquito-proof screens of brass, copper, aluminum or stainless steel gauze not coarser than 1 mm aperture mesh; or (ii) flap valves at every opening of the *rainwater tank*; and  
(b) a vermin trap.

- A5 A rainwater tank has –  
(a) an automatic switching device providing supplementary water from the reticulated town water supply; or  
(b) a trickle top up system, providing supplementary water from the reticulated town water supply with –  
(i) a minimum flow rate of 2 litres per minute and a maximum flow rate of 4 litres per minute; and  
(ii) top up valves installed in an accessible location; and  
(iii) a minimum storage volume of the reticulated town water supply top up not exceeding 1,000 litres.
- A6 A backflow prevention device is installed to protect the potable water within the *reticulated town water supply system* in accordance with AS/NZS 3500:2003 Plumbing and Drainage.

#### Compliance with Codes and Standards

The construction of the proposed building shall comply with the Building Code of Australia, and the relevant Standards. Should there be a discrepancy between the approved plans and the codes, the relevant codes will take precedence.


#### Compliance with local planning instruments

The use of the proposed dwelling shall comply with Brisbane City Council Planning Scheme and self assessable code "House Code".  
The existing dwelling shall be demolished or removed off the property within three weeks of completion of the new dwelling.

### **APPROVED**

Subject to:

- A) Compliance with the requirements of the Building Act 1975, Standard Building Regulation 1993, Building Code of Australia and all relevant Acts and Standards
- B) Compliance with approval conditions endorsed
- C) Alterations shown and endorsed on the plans and specifications

  
Arthur Leung

Arthur Leung  
Building Certifier No. A66352

Date: 22 September, 2011

**Note : This approval is valid for Twelve (12) months from the date here on.**

#### **Rights of Appeal:**

**If you are dissatisfied with the Decision Notice or the negotiated Decision Notice, the applicant must start an appeal within twenty (20) business days (10) business days for building advice agencies) after the date this notice is given. An applicant may appeal to a Building & Development Tribunal against any of the following. See sections 242 of Sustainable Planning Act.**

- (a) The refusal, or the refusal in part, of a Development Application.**

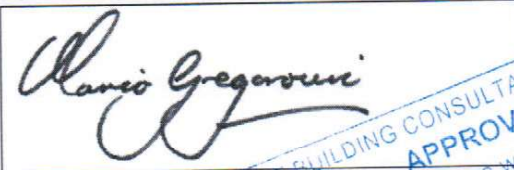
- (b) A matter stated in the Development Approval, including any conditions applying to the development, but not including the identification of a code under Section 242 of the Sustainable Planning Act.**
- (c) The decision to give a preliminary approval when a development permit was applied for.**
- (d) The length of the currency period.**
- (e) A deemed refusal.**

**Building & Development Dispute and resolution Committees**

# Compliance Certificate for building Design

## HMR STRUCTURAL DESIGN

# 15

1. Property description	Street address <i>(include no., street, suburb / locality &amp; postcode)</i> 1252 WATERWORKS ROAD, THE GAP <span style="float: right;">Postcode</span> <hr/> Lot & plan details <i>(attach list if necessary)</i> <hr/> In which local government area is the land situated? <hr/>
2. Description of component/s certified	PROPOSED ALTERATIONS AND ADDITIONS
3. Basis of certification	AS/NZS 1170.1: 2002 STRUCTURAL DESIGN ACTIONS AS/NZS 4055: 1992 WIND LOADS FOR HOUSES AS 1684 2006 PARTS 1 & 2: RESIDENTIAL TIMBER FRAMED CONSTRUCTION AS 2870 1996: RESIDENTIAL SLABS AND FOOTINGS AS 3600 2001: CONCRETE STRUCTURES AS 4100 1998: STEEL STRUCTURES AS 3700 2001: MASONRY STRUCTURES
4. Reference documentation	HMR STRUCTURAL DESIGN DRAWINGS HMR-1160-S1, ISSUE 2, DATED SEP 11, HMR-1160-S2, ISSUE 1, DATED SEP 11 HMR-1160-S3, ISSUE 2, DATED SEP 11 <hr/> SOIL REPORT BY AUSWIDE GEOTECHNICAL REF: AW22908, DATED 7 <sup>th</sup> JUNE 2010
5. Building certifier reference number	Building certifier reference number <hr/>
6. Competent person details	Name: Mario Gregorovic Company: HMR STRUCTURAL DESIGN Postal Address: 14 Teresa Drive, Munruben, Qld, 4125 Phone: 07 3802 1808 Fax: 07 3802 1808 Registration: RPEQ 7018
7. Signature of competent person	HMR STRUCTURAL DESIGN certifies that the item/s described above, if installed or carried out under the certificate, including any referenced documentation, will comply with the <i>Building Act 1975</i> . Signature:  Date: 21 <sup>st</sup> September 2011 For and on behalf of HMR Structural Design.

BUILDING CONSULTANT SERVICES P/L  
 APPROVED  
 Subject to Compliance with conditions  
 Building Certifier - Arthur Leung  
 BSA No. A56352  
 Date: 22/9/2011  
 D.P. No: B011706

LOCAL GOVERNMENT USE ONLY		Approved form 15 Version 1, 04/06
Date received	Reference Number/s	

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

# 16

<p><b>NOTE</b></p>	<p>This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i>.</p>											
<p><b>1. Indicate the type of certificate</b></p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage)      <b>N/A</b></p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect)      <b>Refer to Section 4</b></p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p><b>Scope of the work</b> Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p>N/A</p> </div>											
<p><b>2. Property description</b></p> <p>The description must identify all land the subject of the application.</p> <p>The lot &amp; plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality &amp; postcode)</p> <div style="border: 1px solid black; padding: 2px;">1252 Waterworks Road, The Gap Qld 4061</div> <p>Lot &amp; plan details (Attach list if necessary)</p> <div style="border: 1px solid black; height: 20px;"></div> <p>In which local government area is the land situated?</p> <div style="border: 1px solid black; padding: 2px;">Brisbane City Council</div>											
<p><b>3. Building/structure description</b></p>	<table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="border: 1px solid black; padding: 5px;">Building/structure description</th> <th style="border: 1px solid black; padding: 5px;">Class of building / structure</th> </tr> </thead> <tbody> <tr> <td style="border: 1px solid black; padding: 5px;">Single Dwelling</td> <td style="border: 1px solid black; padding: 5px;">1A</td> </tr> <tr> <td style="border: 1px solid black; height: 20px;"></td> <td style="border: 1px solid black; height: 20px;"></td> </tr> <tr> <td style="border: 1px solid black; height: 20px;"></td> <td style="border: 1px solid black; height: 20px;"></td> </tr> <tr> <td style="border: 1px solid black; height: 20px;"></td> <td style="border: 1px solid black; height: 20px;"></td> </tr> </tbody> </table>	Building/structure description	Class of building / structure	Single Dwelling	1A							
Building/structure description	Class of building / structure											
Single Dwelling	1A											

**4. Description of component/s certified**  
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Inspection of structural aspects of piers & footings including founding material, reinforcing and size prior to placing concrete on 29/09/2011

**5. Basis of certification**  
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AS 1170 Parts 1 & 2, AS 1684-2, AS 1720, AS 2870, AS 3600, AS 3700, AS 4100

**6. Reference documentation**  
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Drawings by HMR Structural Design, job number HMR-1160, S1, S2, S4

**7. Building certifier reference number and development approval number**

Building certifier reference number

Development approval number

**8. Building Certifier, competent person or QBSA licensee details**

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Peter Mackay

Company name if applicable

Crichton Engineering P/L

Contact person

Peter Mackay

Phone no. business hours

07 3367 3570

Mobile no.

0418713444

Fax no.

07 3367 3156

Email address

admin@crieng.com

Postal address

P.O. Box 358

Paddington Qld

Postcode 4064

Licence class

Licence number

RPEQ 2460

Date approval to inspect received from building certifier

**9. Signature of building certifier, competent person or QBSA licensee**

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the Building Act 1975.

Signature



Date

04/10/2011

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

**NOTE**  
This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

<p><b>1. Indicate the type of certificate.</b></p>	<p><input checked="" type="checkbox"/> Inspection Certificate for Aspect of building work - <u>Shower Screen Products</u></p> <p><input checked="" type="checkbox"/> <b>QBSA Licensee Aspect Certificate</b></p> <p><b>Scope of the work</b> Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p style="border: 1px solid black; padding: 2px;">Supply &amp; fix shower products</p>
<p><b>2. Property description</b></p> <p>The description must identify all land the subject of the application. The lot &amp; plan details (eg. SP / RP) are shown on the title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address</p> <p style="border: 1px solid black; padding: 2px;">VM Design Home Constructions WATERWORKS RD 1252 (GRANNY FLAT) VLAD 0411 511 947 THE GAP QLD 4061</p> <p>Lot &amp; plan details (<i>attach is necessary</i>)</p> <p>In which local government area is the land</p>
<p><b>3. Building Description</b></p>	<p>Building Description <span style="border: 1px solid black; padding: 2px;">House</span> Class of building/structure <span style="border: 1px solid black; padding: 2px;">Class 1</span></p>
<p><b>4. Description of component/s certified.</b> Clearly describe the extent of work covered by this certificate.</p>	<p style="border: 1px solid black; padding: 2px;">Supply &amp; fix showers, mirrors and mirror robe doors.</p>
<p><b>5. Basis of certification</b> Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p style="border: 1px solid black; padding: 2px;">Glazed as per AS1288</p>
<p><b>6. Reference documentation</b> Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p style="border: 1px solid black; height: 20px;"></p>
<p><b>7. Building certifier reference number and development approval number</b></p>	<p>Building certifier reference number <span style="border: 1px solid black; width: 150px; height: 20px;"></span> Development approval number <span style="border: 1px solid black; width: 150px; height: 20px;"></span></p>
<p><b>8. Building Certifier or competent person details</b> A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.</p> <p>A competent person is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.</p> <p>If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give help.</p> <p>If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.</p>	<p>Name (<i>in full</i>)</p> <p style="border: 1px solid black; padding: 2px;">DENNIS PARSONS</p> <p>Company name (<i>if applicable</i>) <span style="border: 1px solid black; padding: 2px;">BRADNAMS WINDOWS &amp; DOORS</span> Contact person <span style="border: 1px solid black; width: 100px; height: 20px;"></span></p> <p>Phone no. business hours <span style="border: 1px solid black; padding: 2px;">(07) 3131 3777</span> Mobile no. <span style="border: 1px solid black; width: 100px; height: 20px;"></span> Fax no. <span style="border: 1px solid black; padding: 2px;">(07) 3131 3888</span></p> <p>Email address <span style="border: 1px solid black; padding: 2px;">brisbanesales@bradnams.com.au</span></p> <p>Postal address</p> <p style="border: 1px solid black; padding: 2px;">136 ZILLMERE ROAD BOONDALL <span style="float: right;">Postcode 4034</span></p> <p>Licence class <span style="border: 1px solid black; padding: 2px;">Glass Glazing &amp; Aluminium</span> Licence number <span style="border: 1px solid black; padding: 2px;">58885</span> Date approval to inspect received from building certifier <span style="border: 1px solid black; width: 100px; height: 20px;"></span></p>
<p><b>7. Signature of competent person</b> This certificate must be signed by the individual assessed by the building certifier as competent.</p>	<p><input checked="" type="checkbox"/> <b>QBSA Licensee Aspect Certificate</b> I, the QBSA licensee for the aspect of building work, certify the aspect of building work stated in section 1 "scope of the work" complies with the building development approval, or the aspect.</p> <p>Signature <span style="border: 1px solid black; padding: 5px; display: inline-block;"></span> Date <span style="border: 1px solid black; padding: 2px;">28/03/12</span></p>

LOCAL GOVERNMENT USE ONLY

Date Received	Reference Number/s	Approved Form 16 Version 3 11/09
---------------	--------------------	-------------------------------------

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

**NOTE**  
This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

<p><b>1. Indicate the type of certificate.</b></p>	<p><input checked="" type="checkbox"/> Inspection Certificate for Aspect of building work - <u>Shower Screen Products</u></p> <p><input checked="" type="checkbox"/> <b>QBSA Licensee Aspect Certificate</b></p> <p><b>Scope of the work</b> Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p style="text-align: center;"><b>Supply &amp; fix shower products</b></p>
<p><b>2. Property description</b></p> <p>The description must identify all land the subject of the application. The lot &amp; plan details (eg. SP / RP) are shown on the title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address</p> <p>VM Design Home Constructions WATERWORKS RD 1252 (GRANNY FLAT) VLAD 0411 511 947 THE GAP QLD 4061</p> <p>Lot &amp; plan details (<i>attach is necessary</i>)</p> <p>In which local government area is the land</p>
<p><b>3. Building Description</b></p>	<p>Building Description <input type="text" value="House"/> Class of building/structure <input type="text" value="Class 1"/></p>
<p><b>4. Description of component/s certified.</b> Clearly describe the extent of work covered by this certificate.</p>	<p style="text-align: center;"><b>Supply &amp; fix showers, mirrors and mirror robe doors.</b></p>
<p><b>5. Basis of certification</b> Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p><b>Glazed as per AS1288</b></p>
<p><b>6. Reference documentation</b> Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p></p>
<p><b>7. Building certifier reference number and development approval number</b></p>	<p>Building certifier reference number <input type="text"/> Development approval number <input type="text"/></p>
<p><b>8. Building Certifier or competent person details</b> A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.</p> <p>A competent person is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.</p> <p>If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give help.</p> <p>If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.</p>	<p>Name (<i>in full</i>)</p> <p><b>DENNIS PARSONS</b></p> <p>Company name (<i>if applicable</i>) <input type="text" value="BRADNAMS WINDOWS &amp; DOORS"/> Contact person <input type="text"/></p> <p>Phone no. business hours <input type="text" value="(07) 3131 3777"/> Mobile no. <input type="text"/> Fax no. <input type="text" value="(07) 3131 3888"/></p> <p>Email address <input type="text" value="brisbanesales@bradnams.com.au"/></p> <p>Postal address</p> <p><b>136 ZILLMERE ROAD</b> <b>BOONDALL</b> Postcode <b>4034</b></p> <p>Licence class <input type="text" value="Glass Glazing &amp; Aluminium"/> Licence number <input type="text" value="58885"/> Date approval to inspect received from building certifier <input type="text"/></p>
<p><b>7. Signature of competent person</b> This certificate must be signed by the individual assessed by the building certifier as competent.</p>	<p><input checked="" type="checkbox"/> <b>QBSA Licensee Aspect Certificate</b> I, the QBSA licensee for the aspect of building work, certify the aspect of building work stated in section 1 "scope of the work" complies with the building development approval, or the aspect.</p> <p>Signature <input type="text" value="D Parsons"/> Date <input type="text" value="20/03/12"/></p>

**LOCAL GOVERNMENT USE ONLY**

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

# 16

**NOTE** This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

**1. Indicate the type of certificate**

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

- Inspection Certificate for
- Stage of building work (for single detached class 1a or class 10 building or structure)  
(indicate the stage) \_\_\_\_\_
- Aspect of building work  
(indicate the aspect) \_\_\_\_\_

**QBSA Licensee Aspect Certificate**

**Scope of the work**  
Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

5000 L Water tank installation

**2. Property description**

The description must identify all land the subject of the application.  
The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address *(include no., street, suburb / locality & postcode)*

1252 Waterworks Rd	Postcode 4061
The Gap	

Lot & plan details *(Attach list if necessary)*

--

In which local government area is the land situated?

BRISBANE
----------

**3. Building/structure description**

Building/structure description	Class of building / structure
EXISTING DWELLING EXTENSION	1A

**4. Description of component/s certified**

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

5000 L Water tank installation

**5. Basis of certification**

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

5000 l Water Tank has been installed to complain with the Part 25 of QDC

**6. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

SEE ATTACHED CERTIFICATE: SEE APPROVED PLANS

**7. Building certifier reference number and development approval number**

Building certifier reference number

Development approval number

**8. Building Certifier, competent person or QBSA licensee details**

A **competent person** must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (*in full*)

JAMES WARBRICK

Company name *if applicable*

IMPACT GAS AND PLUMBING

Contact person

James

Phone no. *business hours*

Mobile no.

Fax no.

0433 201 801

07 3902 1186

Email address

Postal address

Postcode

Licence class

Plumbing Contractor

Licence number

115 1143

Date approval to inspect received from building certifier

**9. Signature of building certifier, competent person or QBSA licensee**

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the *Building Act 1975*.

Signature



Date

30/04/2012

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

# 16

**NOTE** This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

**1. Indicate the type of certificate**

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

- Inspection Certificate for
- Stage of building work (for single detached class 1a or class 10 building or structure)  
(indicate the stage) \_\_\_\_\_
- Aspect of building work  
(indicate the aspect) \_\_\_\_\_

**QBSA Licensee Aspect Certificate**

**Scope of the work**

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

R 1.5 Pink Batts have been installed in the walls.
R 2.5 75mm Anticon blanket insulation installed under the metal roof

**2. Property description**

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

1252 WATERWORKS ROAD	Postcode 4061
THE GAP	

Lot & plan details (Attach list if necessary)

--

In which local government area is the land situated?

BRISBANE
----------

**3. Building/structure description**

Building/structure description

Existing Dwelling Extension

Class of building / structure

1A

**4. Description of component/s certified**

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Pink Batts and 75mm Anticon blanket have been installed at the above property and are subject to guarantees listed

**5. Basis of certification**

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Product used complies with the requirements of AS/NZS 4859.1

---



---



---



---

**6. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

SEE ATTACHED CERTIFICATE: SEE APPROVED PLANS

---



---



---

**7. Building certifier reference number and development approval number**

Building certifier reference number  Development approval number

**8. Building Certifier, competent person or QBSA licensee details**

A **competent person** must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable  Contact person

Phone no. business hours  Mobile no.  Fax no.

Email address

Postal address

Postcode

Licence class  Licence number

Date approval to inspect received from building certifier

**9. Signature of building certifier, competent person or QBSA licensee**

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the Building Act 1975.

Signature  Date

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

# 16

**NOTE** This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

**1. Indicate the type of certificate**

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

- Inspection Certificate for
- Stage of building work (for single detached class 1a or class 10 building or structure)  
(indicate the stage) \_\_\_\_\_
- Aspect of building work  
(indicate the aspect) \_\_\_\_\_

**QBSA Licensee Aspect Certificate**

**Scope of the work**

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

WET AREAS AND DECK WATERPROOFING

**2. Property description**

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address *(include no., street, suburb / locality & postcode)*

1252 WATERWORKS ROAD	Postcode 4061
THE GAP	

Lot & plan details *(Attach list if necessary)*

--

In which local government area is the land situated?

BRISBANE
----------

**3. Building/structure description**

Building/structure description	Class of building / structure
Existing Dwelling Extension	1A

**4. Description of component/s certified**

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

WATERPROOFING MEMBRANE INSTALLATION

**5. Basis of certification**

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Product used complies with the requirements of AS/NZS 3740 - 1989

**6. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

SEE ATTACHED CERTIFICATE: SEE APPROVED PLANS

**7. Building certifier reference number and development approval number**

Building certifier reference number  Development approval number

**8. Building Certifier, competent person or QBSA licensee details**

A **competent person** must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable  Contact person

Phone no. business hours  Mobile no.  Fax no.

Email address

Postal address  Postcode

Licence class  Licence number

Date approval to inspect received from building certifier

**9. Signature of building certifier, competent person or QBSA licensee**

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the Building Act 1975.

Signature  Date

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

# 16

<p><b>NOTE</b></p>	<p>This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i>.</p>											
<p><b>1. Indicate the type of certificate</b></p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work Building Set Out and Height.</p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p><b>Scope of the work</b> Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p>As-constructed building location and height</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> </div>											
<p><b>2. Property description</b></p> <p>The description must identify all land the subject of the application.</p> <p>The lot &amp; plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality &amp; postcode)</p> <div style="border: 1px solid black; padding: 2px;"> <p>1252 Waterworks Road</p> <p>THE GAP <span style="float: right;">Postcode 4061</span></p> </div> <p>Lot &amp; plan details (Attach list if necessary)</p> <div style="border: 1px solid black; padding: 2px;"> <p>Lot 4 on RP101805</p> </div> <p>In which local government area is the land situated?</p> <div style="border: 1px solid black; padding: 2px;"> <p>Brisbane City Council</p> </div>											
<p><b>3. Building/structure description</b></p>	<table style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 70%; border-bottom: 1px solid black;">Building/structure description</th> <th style="width: 30%; border-bottom: 1px solid black;">Class of building / structure</th> </tr> <tr> <td style="border: 1px solid black; padding: 2px;">Detached Dwelling (Extension)</td> <td style="border: 1px solid black; padding: 2px; text-align: center;">1</td> </tr> <tr> <td style="border: 1px solid black; padding: 2px;">_____</td> <td style="border: 1px solid black; padding: 2px;">_____</td> </tr> <tr> <td style="border: 1px solid black; padding: 2px;">_____</td> <td style="border: 1px solid black; padding: 2px;">_____</td> </tr> <tr> <td style="border: 1px solid black; padding: 2px;">_____</td> <td style="border: 1px solid black; padding: 2px;">_____</td> </tr> </table>	Building/structure description	Class of building / structure	Detached Dwelling (Extension)	1	_____	_____	_____	_____	_____	_____	
Building/structure description	Class of building / structure											
Detached Dwelling (Extension)	1											
_____	_____											
_____	_____											
_____	_____											
<p><b>4. Description of component/s certified</b></p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Measurement of Building Height and Location</p> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> </div>											

**5. Basis of certification**

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

The building was surveyed by us on 30 April 2012

**6. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Surveyor's Height Certificate and Plan 5297-03 attached.

Building Set Out Certificate and Identification Survey IS237892

Supplied Scott Medlin Design and Drafting drawing 201014 WD-01 Revision A, dated 22/04/10

**7. Building certifier reference number and development approval number**

Building certifier reference number

Development approval number

**8. Building Certifier, competent person or QBSA licensee details**

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

Contact person

Gateway Survey and Planning Pty Ltd

Greg Hoonhout

Phone no. business hours

Mobile no.

Fax no.

(07) 3893 0557

(07) 3893 2699

Email address

mail@gsp-land.com.au

Postal address

PO Box 697

Wynnum

Postcode 4178

Licence class

Licence number

Registered Surveyor (Cadastral)

Registration Number S2278

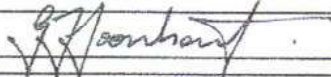
Date approval to inspect received from building certifier

**9. Signature of building certifier, competent person or QBSA licensee**

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the Building Act 1975.

Signature

Date



04.05.2012



Please Quote Our Ref: 5297

4 May 2012

**HEIGHT CERTIFICATE**

**Property Description:** Lot 4 on RP101805

**Address:** 1252 Waterworks Road, The Gap

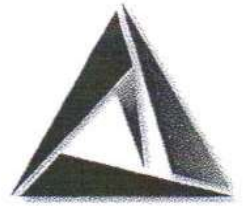
**Local Authority:** Brisbane City Council

With regard to the above project, we certify the following:

- a) That we inspected the property to determine building height.
- b) The height of the roof ridge was determined to be RL: 73.68m AHD which is 8.23 metres above ground level.
- c) Our drawing 5297-03 is attached showing natural ground contours and benchmarks used.
- d) Date of Survey – 30 April 2012.



.....  
**GATEWAY SURVEY AND PLANNING PTY LTD**  
**Registered Cadastral Surveyor**



**GATEWAY  
SURVEY &  
PLANNING**

ACN 088 656 071

Director: Greg Hoonhout

LAND SURVEYORS  
TOWN PLANNERS  
PROPERTY CONSULTANTS  
GPS SURVEYS  
INFRASTRUCTURE SURVEYS  
RISKSMAST

**BRISBANE**

2221 Wynnum Road,  
Wynnum, Q 4178

PO Box 697,  
Wynnum, Q 4178

**Ph: 07 3893 0557**  
Fax: 07 3893 2699  
Email:  
mail@gsp-land.com.au  
www.gsp-land.com.au

ALSO AT REDCLIFFE

TOWN PLAN ASSIST

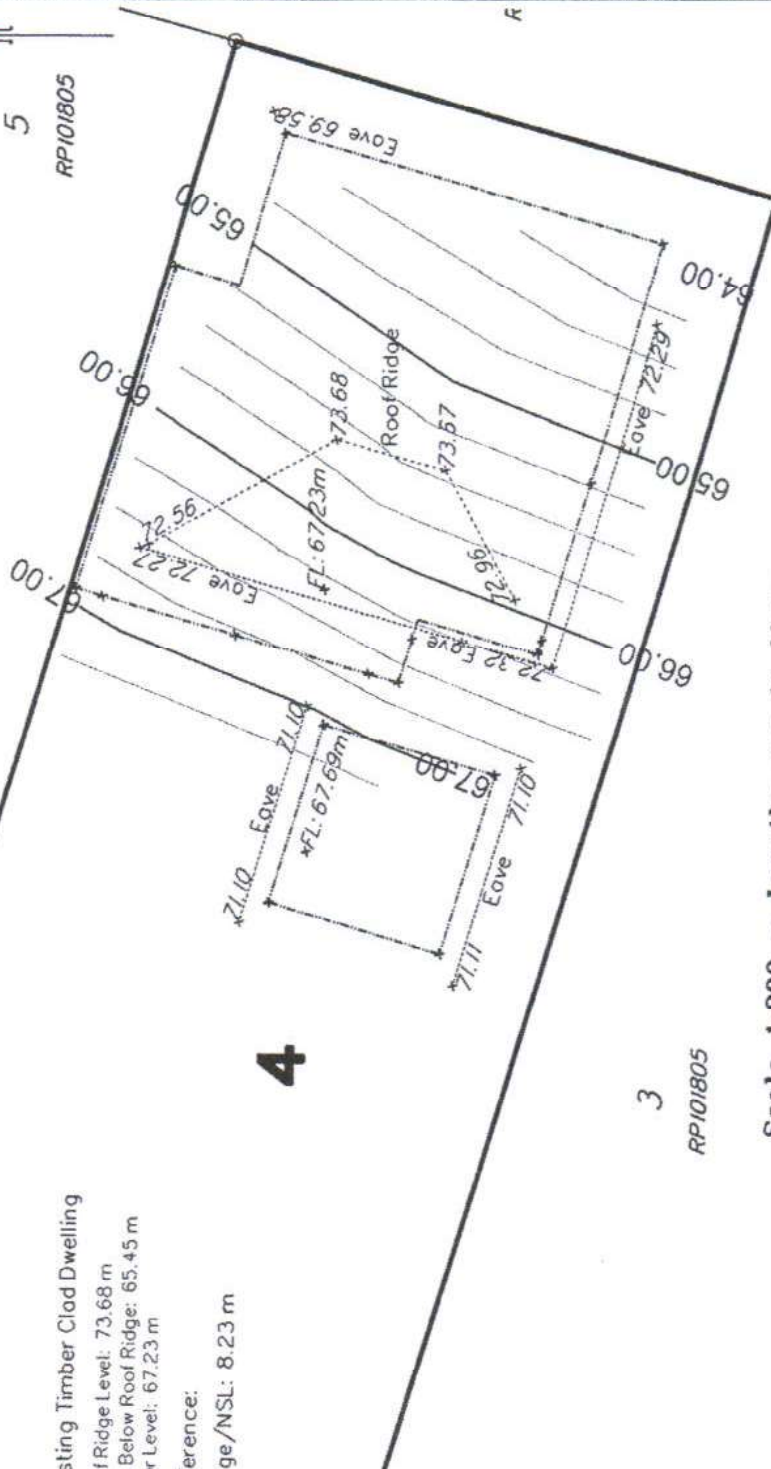
PO Box 93,  
WOODY POINT, Q 4019

Ph: 07 3482 4307  
Fax: 07 3491 7932  
Email:  
mail@gsp-land.com.au  
www.gsp-land.com.au

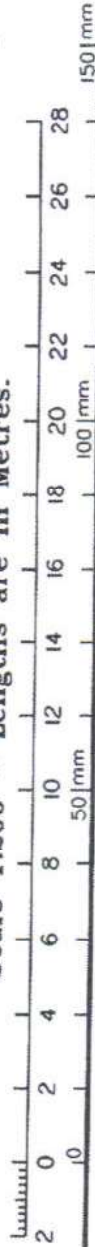
Nail in Conc.  
RL: 72.09m

**WATERWORKS ROAD**

Existing Timber Clad Dwelling  
 Roof Ridge Level: 73.68 m  
 NSL Below Roof Ridge: 65.45 m  
 Floor Level: 67.23 m  
 Difference:  
 Ridge/NSL: 8.23 m



Scale 1:200 - Lengths are in Metres.



RP101805

**IMPORTANT NOTE**

This plan is prepared for VM Design Homes Construction from a combination of field survey and existing records for the purpose of determining building heights on the land and should not be used for any other purpose. The title boundaries shown hereon were not marked by the author at the time of survey and have been determined by plan dimensions only and not by field measurement. An identification survey should be undertaken to determine Title boundaries.

Contours have been derived from field survey.

Underground services have not been located. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of underground services and detailed locations of all services. This note is an integral part of this plan.

Vertical Datum: AHDD vide eBIMap



**MOTNUM**  
 2221 WYNUM ROAD  
 (PO BOX 697)  
 WYNUM QLD 4178  
 PH: 07 3883 0557  
 FAX: 07 3883 2699  
 Email: motnum@motnum-land.com.au

**BEDGLEE**  
 TOMMY PLAN ASSIST  
 PH: 07 3482 4307  
 FAX: 07 3491 7932

**LAND SURVEYORS**  
 PLANNING CONSULTANTS  
 PROPERTY CONSULTANTS  
 GPS SURVEYS  
 MINING SURVEYS

LOCAL AUTH	ORIG FOR	NOTES	COUNTY	PARISH
The Gap	Prop. 182	FBK # 165	Stanley	STANLEY
MAP REF	SCALE @ 44	DATE OF PLAN		
9443-22244	RP101805	30/4/2012		

**PLAN OF NATURAL SURFACE CONTOURS**  
 1252 Waterworks Road, The Gap  
 Lot 4 on RP101805

JOB NO  
**5297**

DRAWING NO  
**5297-03**

Our Ref: 5297

4 May 2011

**CERTIFICATE OF SURVEY:**

**Property Description:** Lot 4 on RP101805

**Address:** 1252 Waterworks Road, The Gap

**Local Authority:** Brisbane City Council

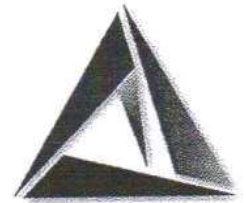
Gateway Survey and Planning Pty Ltd, Registered Surveyor of 2221 Wynnum Road, Wynnum, **Hereby Certify** that on 30 April 2012 we inspected the property described above for the purpose of survey.

Sufficient survey work was carried out to locate the corners of the new building extension in relation to the boundaries.

The location of the building was positioned in accordance with the supplied Scott Medlin Design and Drafting drawings 201014 WD-01 Revision A dated 22/04/2010.



.....  
**GATEWAY SURVEY AND PLANNING PTY LTD**  
Registered Cadastral Surveyor



**GATEWAY  
SURVEY &  
PLANNING**

ACN 088 656 071

Director: Greg Hoonhout

LAND SURVEYORS  
TOWN PLANNERS  
PROPERTY CONSULTANTS  
GPS SURVEYS  
INFRASTRUCTURE SURVEYS  
RISKSMART

**BRISBANE**

2221 Wynnum Road,  
Wynnum, Q 4178

PO Box 697,  
Wynnum, Q 4178

**Ph: 07 3893 0557**

Fax: 07 3893 2699

Email:

mail@gsp-land.com.au

www.gsp-land.com.au

ALSO AT REDCLIFFE

TOWN PLAN ASSIST

PO Box 93,  
WOODY POINT, Q 4019

Ph: 07 3482 4307

Fax: 07 3491 7932

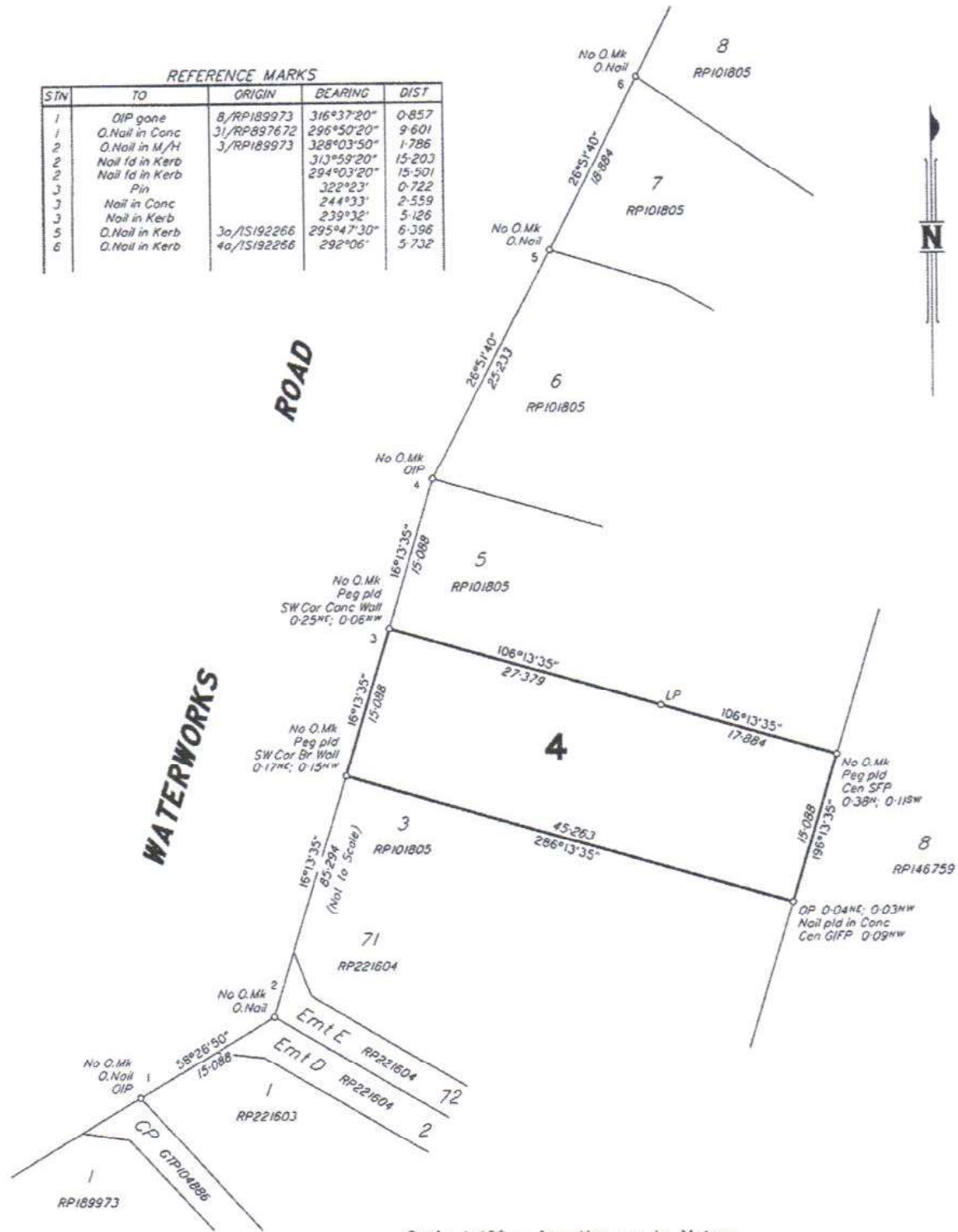
Email:

mail@gsp-land.com.au

www.gsp-land.com.au

REFERENCE MARKS

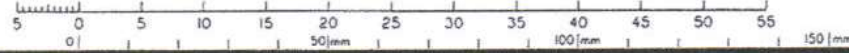
STN	TO	ORIGIN	BEARING	DIST
1	OIP gone	8/RP189973	316°37'20"	0.857
1	O.Nail in Conc	31/RP897672	296°50'20"	9.601
2	O.Nail in M/H	3/RP189973	328°03'50"	1.786
2	Nail fd in Kerb		313°59'20"	15.203
2	Nail fd in Kerb		294°03'20"	15.501
3	Pin		322°23'	0.722
3	Nail in Conc		244°33'	2.559
3	Nail in Kerb		239°32'	5.126
5	O.Nail in Kerb	30/1S192266	295°47'30"	6.396
6	O.Nail in Kerb	40/1S192266	292°06'	5.732



WATERWORKS

ROAD

Scale 1:400 - Lengths are in Metres.



GATEWAY SURVEY & PLANNING PTY LTD (ACN 088 656 071) hereby certify that the land comprised in this plan was surveyed by the corporation, by Mark Geoffrey HODNHOUT, Surveying Associate, for whose work the corporation accepts responsibility, under the supervision of Gregory John HODNHOUT, Cadastral Surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 07/07/2011.

*Mark Hodnhout*  
Director

20.07.2011  
Date

This plan is of an Identification Survey and, as such, should be used only for the purpose for which it was prepared. Owners or purchasers should be aware that if utilising or building to the boundary, the author of the plan or consulting surveyor of choice should be first contacted in case boundary locations on this or adjoining Lots carries higher than normal risk. Gateway Survey & Planning Pty Ltd therefore can accept no responsibility for failure to use this plan within the limitations intended.



2221 WINDHAM ROAD  
(PO BOX 697)  
WINDHAM QLD 4176  
Ph: 07 3893 0057  
Fax: 07 3893 2699  
E-mail: mail@gsp-land.com.au  
BRISBANE  
TERRY PLAN ASSIST  
Ph: 07 3482 4307  
Fax: 07 3481 7822

LAND SURVEYORS  
PLANNING CONSULTANTS  
PROPERTY CONSULTANTS  
GPS SURVEYS  
MINING SURVEYS

**Plan of Identification Survey of Lot 4 on RP101805**

PARISH COUNTY  
LOCALITY  
LOCAL GOVERNMENT

**ENOGERA Stanley**  
The Gap  
BRISBANE C. C.

ORIGINAL Por. 182

MERIDIAN	MAP REF	SCALE	ENDORSED
RP101805	9443-22244	1:400	



IS237892

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

# 16

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage)      <b>N/A</b></p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect)      <b>Refer to Section 4</b></p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <div style="border: 1px solid black; padding: 5px; min-height: 100px;">N/A</div>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot &amp; plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality &amp; postcode)</p> <div style="border: 1px solid black; padding: 2px;">1252 Waterworks Road, The Gap Qld 4061</div> <p>Lot &amp; plan details (Attach list if necessary)</p> <div style="border: 1px solid black; height: 20px;"></div> <p>In which local government area is the land situated?</p> <div style="border: 1px solid black; padding: 2px;">Brisbane City Council</div>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <div style="border: 1px solid black; padding: 2px;">Single Dwelling</div> <div style="border: 1px solid black; height: 20px;"></div> <div style="border: 1px solid black; height: 20px;"></div> <div style="border: 1px solid black; height: 20px;"></div>	<p>Class of building / structure</p> <div style="border: 1px solid black; padding: 2px;">1A</div> <div style="border: 1px solid black; height: 20px;"></div> <div style="border: 1px solid black; height: 20px;"></div> <div style="border: 1px solid black; height: 20px;"></div>

**4. Description of component/s certified**

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Inspection of structural aspects of footings including founding material, reinforcing and size prior to placing concrete on 13/10/2011

Inspection of structural aspects of slab on ground including depths, reinforcing, vapour barrier prior to placing concrete on 13/10/2011

**5. Basis of certification**

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AS 1170 Parts 1 & 2, AS 1684-2, AS 1720, AS 2870, AS 3600, AS 3700, AS 4100

**6. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Drawings by HMR Structural Design, job number HMR-1160, S1, S2, S4

**7. Building certifier reference number and development approval number**

Building certifier reference number

Development approval number

**8. Building Certifier, competent person or QBSA licensee details**

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Peter Mackay

Company name if applicable

Crichton Engineering P/L

Contact person

Peter Mackay

Phone no. business hours

07 3367 3570

Mobile no.

0418713444

Fax no.

07 3367 3156

Email address

admin@crieng.com

Postal address

P.O. Box 358

Paddington Qld

Postcode 4064

Licence class

Licence number

RPEQ 2460

Date approval to inspect received from building certifier

**9. Signature of building certifier, competent person or QBSA licensee**

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the Building Act 1975.

Signature



Date

31/10/2011

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

# 16

<p><b>NOTE</b></p>	<p>This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i>.</p>	
<p><b>1. Indicate the type of certificate</b></p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input checked="" type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) _____</p> <hr/> <p><input checked="" type="checkbox"/> <b>QBSA Licensee Aspect Certificate</b></p> <p><b>Scope of the work</b> Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p style="text-align: center;">Installation of Kordon to Construction Joints, Slab Penetrations and Pole Plate</p> </div>	
<p><b>2. Property description</b></p> <p>The description must identify all land the subject of the application.</p> <p>The lot &amp; plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality &amp; postcode)</p> <div style="border: 1px solid black; padding: 2px;">1252 Waterworks Road</div> <div style="border: 1px solid black; padding: 2px;">THE GAP QLD 4061</div> <p>Lot &amp; plan details (Attach list if necessary)</p> <div style="border: 1px solid black; height: 20px;"></div> <p>In which local government area is the land situated?</p> <div style="border: 1px solid black; padding: 2px;">Brisbane City Council</div>	
<p><b>3. Building/structure description</b></p>	<p>Building/structure description</p> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p style="text-align: center;">Existing Dwelling</p> </div>	<p>Class of building / structure</p> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p style="text-align: center;">1A</p> </div>
<p><b>4. Description of component/s certified</b></p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p style="text-align: center;">Installation of Kordon to Construction Joints, Slab Penetrations and Pole Plate</p> </div>	

**5. Basis of certification**

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Installation of Kordon to Construction Joints, Slab Penetrations and Pole Plate has/have been carried out by a Licensed Technician in accordance with Product Manufacturers Specifications.

Barriers are reliant on visual zones being maintained.

**6. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

AS3660.1

**7. Building certifier reference number and development approval number**

Building certifier reference number

Development approval number

**8. Building Certifier, competent person or QBSA licensee details**

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Warwick London

Company name if applicable

Amalgamated Pre-Construction Pty Ltd

Contact person

Warwick London

Phone no. business hours

(07) 3373 7787

Mobile no.

0415 348 453

Fax no.

(07) 3373 8984

Email address

warwick.london@amalpest.com.au

Postal address

200 Beatty Road

PO Box 74 ARCHERFIELD QLD

Postcode 4108

Licence class

Termite Management –  
Chemical & Physical

Licence number

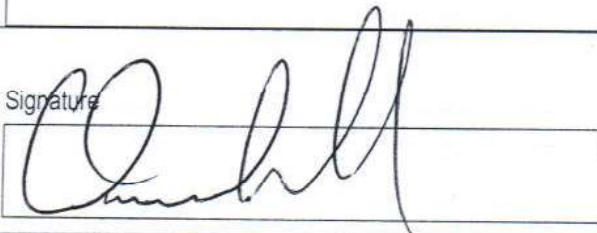
727834

Date approval to inspect received from building certifier

**9. Signature of building certifier, competent person or QBSA licensee**

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the Building Act 1975.

Signature



Date

18/10/2011

# Final inspection certificate

- **single detached class 1a buildings; and**
- **class 10 buildings or structures.**

# 21

<p><b>NOTE</b></p>	<p>Please use form 17 for final certification of swimming pools and swimming pool fences.</p>	
<p><b>1. Owner details</b></p> <p>If the owner is a company, a contact person must be shown. All correspondence will be mailed to this address.</p>	<p>Name Cliff Weder</p> <p>Company name <i>if applicable</i>                      Contact person</p> <p>Phone no. <i>business hours</i>                      Mobile no.                      Fax no.</p> <p>Email address</p> <p>Postal address 1252 Waterworks Road, The Gap Q4061 Postcode 4061</p>	
<p><b>2. Property description</b></p> <p>The description must identify all land the subject of the application. The lot &amp; plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include no., street, suburb/locality &amp; postcode)</i> 1252 Waterworks Road, The Gap Q4061 Postcode Q4061</p> <p>Lot &amp; plan details <i>(Attach list if necessary)</i> Lot 4 on RP 101805</p> <p>In which local government area is the land situated? Brisbane City Council</p>	
<p><b>3. Building description</b></p>	<p>Building description Extension to existing Dwelling</p>	<p>Class of building / structure 1a</p>
<p><b>4. Building certifier reference number / approval number</b></p>	<p>Building certifier reference number                      Development approval number</p> <p>BA11706</p>	
<p><b>5. Performance Standards</b></p> <p>If the building work uses a performance based solution, list the performance requirements used.</p>	<p>Performance requirements</p> <p>The use of building MUST fulfil Brisbane City Council House Code A8 The main dwelling, together with any secondary dwelling, is used by a household group</p>	

LOCAL GOVERNMENT USE ONLY

Date received		Reference Number/s		Approved form 21 Version 2, 11/11
---------------	--	--------------------	--	--------------------------------------

Form 21 continued

**6. Certification**

This form must be used by building certifiers to certify compliance of single detached class 1a buildings and class 10 buildings or structures (excluding swimming pools and swimming pool fences) in accordance with section 32(3) of the *Building Regulation 2006*.

The building certifier must give both to the owner and assessment manager a copy of the final inspection certificate.


Under section 21 of the *Building Regulation 2006* only a building certifier must sign a certificate of inspection for the Foundation and Excavation stage and the Final Inspection certificate.

I certify that on an inspection carried out in accordance with best industry practice, the building work for the above building or structure was inspected and complies with the building approval or certificates of inspection were accepted from competent persons at the following stages of the construction.

	Date of inspection	Date of certificate
Foundation and Excavation stage By Engineer	29/09/2011	4/10/2011
Slab stage By Engineer	13/10/2011	31/10/2011
Frame Stage By Engineer	24/11/2011	28/11/2012
Final stage	18/05/2012	22/05/2012
Other stages		

Dated this  Day of  20

**7. Building Certifier**

Name of building certifier ( <i>In full</i> )		Licence no.
<input type="text" value="Mr ARTHUR LEUNG"/>		<input type="text" value="A66352"/>
Signature		Date
 Arthur Leung		<input type="text" value="22/05/2012"/>
Postal address		
<input type="text" value="PO Box 4185"/>		
<input type="text" value="Eight Mile Plains"/>		<input type="text" value="Postcode Q4113"/>
Phone no.	Mobile no.	Fax no
<input type="text" value="07 3341 3330"/>	<input type="text" value="0411 318 212"/>	<input type="text" value="07 3341 3330"/>

# Compliance Certificate for building Design or Specification

# 15

<p><b>NOTE</b></p>	<p>A Compliance Certificate states building work complies with the building assessment provisions.</p> <p>To be used for all classes of building and structures to certify a material, system, method of building or building element complies with the BCA or a provision of the QDC.</p> <p><b>RESTRICTION:</b> A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p><b>1. Property description</b>                  This section need only be completed if details of street address and property description are applicable.                  EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.                  The lot &amp; plan details (eg. SP / RP) are shown on title documents or a rates notice.                  If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include no., street, suburb / locality &amp; postcode)</i></p> <p>1252 Waterworks Road,                  The Gap</p> <p>Lot &amp; plan details <i>(attach list if necessary)</i></p> <p>In which local government area is the land situated?</p>
<p><b>2. Description of component/s certified</b>                  Clearly describe the extent of work covered by this certificate.</p>	<p>H2F Treated Trusses</p> <p><b>Prefabricated Roof Trusses Only. ( Strictly no site installation of any kind )</b></p> <p>The Roof Truss design and manufacture for the above address was done using the Multinail computer design program along with Multinail metal connectors stipulated.</p> <p>The Roof Truss Design and Detailing assumes the supporting structure is stable within its own right before the installation of the roof trusses.</p> <p>STRICTLY LIMITED TO ALL COMPONENTS DESIGNED BY THE MULTINAIL COMPUTER PROGRAM AND CERTIFIED BY MULTINAIL IN ACCORDANCE WITH ALL RELEVANT CODES.</p>
<p><b>3. Basis of certification</b>                  Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p><b>All trusses &amp; pre-cut hip end members designed with the Multinail computer program utilize the following SAA codes</b></p> <p>AS 1170 Part 1 , Part 2 , Part 3 .</p> <p>AS 1720</p> <p>AS 1649 – 2001</p> <p>AS 4100 – 1998</p> <p>AS / NZS 4600 - 1996</p>

**4. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

“Approved for construction” Plans supplied and approved by the Builder.

Strictly Limited to the plans and details supplied by the at the time of design for fabrication

---



---



---



---



---



---

**5. Building certifier reference number**

Building certifier reference number

**6. Competent person details**

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name (if applicable)

Contact person

Phone no. business hours

Mobile no.

Fax no.

Email address

Postal address  
  
 Postcode

Licence or registration number (if applicable)

**7. Signature of competent person**

This certificate must be signed by the individual assessed by the building certifier as competent.

I certify that the item/s described above, if installed or carried out under the certificate, including any referenced documentation, will comply with the *Building Act 1975*.

Signature

Date

# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

# 16

**NOTE**

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

**1. Indicate the type of certificate**

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

- Inspection Certificate for
- Stage of building work (for single detached class 1a or class 10 building or structure)  
(indicate the stage) \_\_\_\_\_
- Aspect of building work  
(indicate the aspect) \_\_\_\_\_

**QBSA Licensee Aspect Certificate**

**Scope of the work**

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

ENERGY EFFICIENT LIGHTING AND SMOKE DETECTORS

**2. Property description**

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address *(include no., street, suburb / locality & postcode)*

1252 WATERWORKS ROAD	
THE GAP	Postcode 4061

Lot & plan details *(Attach list if necessary)*

--

In which local government area is the land situated?

BRISBANE
----------

**3. Building/structure description**

Building/structure description

EXISTING DWELLING EXTENSION

Class of building / structure

1A

**4. Description of component/s certified**

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

ENERGY SAVING LIGHTS
SMOKE DETECTOR

**5. Basis of certification**

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Product used complies with the requirements of AS/NZS 3786-1993 where more than 80% of energy efficient globes and appliances have been used

Also smoke detectors have been installed as per requirements of AS/NZS 3786-1996

**6. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

SEE ATTACHED CERTIFICATE: SEE APPROVED PLANS

**7. Building certifier reference number and development approval number**

Building certifier reference number  Development approval number

**8. Building Certifier, competent person or QBSA licensee details**

A **competent person** must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable  Contact person

Phone no. business hours  Mobile no.  Fax no.

Email address

Postal address  Postcode

Licence class  Licence number

Date approval to inspect received from building certifier

**9. Signature of building certifier, competent person or QBSA licensee**

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the Building Act 1975.

Signature  Date



# Compliance Certificate

Plumbing and Drainage Act 2002 s.86 6(a), 7

3744

### PROJECT REFERENCE NUMBER

0601192

### Location Address

1252 Water Works Rd  
The Gap.

### Lot/RP/SP

L4 RP101805

### Shop Name

This certificate is issued for the plumbing, drainage and water supply installation, which has been assessed for compliance with the Plumbing and Drainage Act 2002.

### LICENSED PLUMBER/RESPONSIBLE PERSON

#### Name

James Warbrick

#### Contact Phone Number

0433 201 801

### INSPECTION

#### Date of Inspection

17 / 5 / 12

#### Type

Part Final

Final

#### Outcome

Pass

Fail

#### Issued By (SPL Name - Please Print)

J. Arthur 2012

#### Signature

J. Arthur 2012

#### Date

17 / 5 / 12.

# Compliance Certificate for building Design or Specification - Glazing - Windows & Doors

# 15

<p><b>NOTE</b></p>	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>										
<p><b>1. Property description</b></p> <p>The description must identify all land the subject of the application. The lot &amp; plan details (eg. SP / RP) are shown on the title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address</p> <div style="border: 1px solid black; padding: 2px;">             VM Design Home Constructions              WATERWORKS RD 1252              VLAD 0411 511 947              THE GAP QLD 4825         </div> <p>Lot &amp; plan details (<i>attach is necessary</i>) <input type="text"/></p> <p>In which local government area is the land situated? <input type="text"/></p>										
<p><b>2. Description of component/s certified.</b> Clearly describe the extent of work covered by this certificate.</p>	<div style="border: 1px solid black; padding: 2px;">             Glazed Windows &amp; Doors         </div>										
<p><b>3. Basis of certification</b> Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>Building Code of Australia 2010 and the following Australian Standards AS2047-1999 and AS1288-2006</p> <table border="0"> <tr> <td>Building Class:</td> <td>Housing</td> <td>Ultimate:</td> <td>1500</td> </tr> <tr> <td>Serviceability:</td> <td>1000</td> <td>Water Penetration:</td> <td>150</td> </tr> </table>			Building Class:	Housing	Ultimate:	1500	Serviceability:	1000	Water Penetration:	150
Building Class:	Housing	Ultimate:	1500								
Serviceability:	1000	Water Penetration:	150								
<p><b>4. Reference documentation</b> Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<input type="text"/>										
<p><b>5. Building certifier reference number</b></p>	<p>Building certifier reference number</p> <input type="text"/>										
<p><b>6. Competent person details</b></p> <p>A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practise the aspect.</p> <p>If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give help.</p> <p>If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.</p>	<p>Name (<i>in full</i>)</p> <div style="border: 1px solid black; padding: 2px;">             DENNIS PARSONS         </div> <p>Company name (<i>if applicable</i>) <span style="float: right;">Contact person</span></p> <div style="border: 1px solid black; padding: 2px; display: flex; justify-content: space-between;"> <span>BRADNAMS WINDOWS &amp; DOORS</span> <input type="text"/> </div> <p>Phone no. business hours <span style="margin-left: 100px;">Mobile no.</span> <span style="float: right;">Fax no.</span></p> <div style="border: 1px solid black; padding: 2px; display: flex; justify-content: space-between;"> <span>(07) 3131 3777</span> <input type="text"/> <span>(07) 3131 3888</span> </div> <p>Email address</p> <div style="border: 1px solid black; padding: 2px;">             brisbanesales@bradnams.com.au         </div> <p>Postal address</p> <div style="border: 1px solid black; padding: 2px; display: flex; justify-content: space-between;"> <span>136 ZILLMERE ROAD BOONDALL</span> <span>Postcode 4034</span> </div> <p>Licence or registration number (<i>if applicable</i>)</p> <div style="border: 1px solid black; padding: 2px;">             58885         </div>										
<p><b>7. Signature of competent person</b> This certificate must be signed by the individual assessed by the building certifier as competent.</p>	<p>I certify that the item/s described above, if installed or carried out under the certificate, including any referenced documentation, will comply with the Building Act 1975.</p> <p>Signature <input style="width: 200px; height: 40px;" type="text" value="Dennis Parsons"/></p> <p>Date <input style="width: 100px; height: 20px;" type="text" value="03/04/12"/></p>										

**LOCAL GOVERNMENT USE ONLY**

Date Received	Reference Number/s	Approved Form 15 Version 3 11/09
---------------	--------------------	-------------------------------------





# Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

# 16

**NOTE** This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

**1. Indicate the type of certificate**

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

- Inspection Certificate for
  - Stage of building work (for single detached class 1a or class 10 building or structure)  
(indicate the stage) **N/A**
  - Aspect of building work  
(indicate the aspect) **Refer to Section 4**

**QBSA Licensee Aspect Certificate**

**Scope of the work**  
Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

N/A

**2. Property description**

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

**Street address (include no., street, suburb / locality & postcode)**  
 1252 Waterworks Road, The Gap Qld 4061

**Lot & plan details (Attach list if necessary)**  
 \_\_\_\_\_

**In which local government area is the land situated?**  
 Brisbane City Council

**3. Building/structure description**

Building/structure description	Class of building / structure
Single Dwelling	1A

**4. Description of component/s certified**  
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Inspection of frame for renovations prior to placing cladding on 24/11/2011

**5. Basis of certification**  
 Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AS 1170 Parts 1 & 2, AS 1684-2, AS 1720, AS 2870, AS 3600, AS 3700, AS 4100

**6. Reference documentation**  
 Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Drawings by HMR Structural Design, job number HMR-1160, S1, S2, S4

**7. Building certifier reference number and development approval number**

Building certifier reference number  Development approval number

**8. Building Certifier, competent person or QBSA licensee details**  
 A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

Name (in full)   
 Company name if applicable  Contact person   
 Phone no. business hours  Mobile no.  Fax no.   
 Email address   
 Postal address   
   
 Licence class  Licence number   
 Date approval to inspect received from building certifier

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.  
 If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.  
 If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

**9. Signature of building certifier, competent person or QBSA licensee**  
 Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the Building Act 1975.

Signature  Date