

3. August 2018

Brisbane City Council
GPO Box 1434
BRISBANE QLD 4000

BCG Ref No: 00060126
Council Ref No: A004792458
Site Address: 1252 Waterworks Road THE GAP
RPD: 4 on RP 101805
Building Work: New Construction of Patio Roof over existing Deck
Landowner: Cliff & Shirley Weder

Dear Sir/Madam,

RE: Building Approval Documentation

Please find enclosed the approved documentation for the proposed building works located at the above site address.

Approval Stage Documentation

- 1 - Decision Notice
- 2 - Application Forms
- 3 - Form 20 - Lodgement to Council
- 4 - Form 32 - Infrastructure Approval
- 5 - Plans
- 6 - Engineers

To ensure our records remain current, please notify this office via post, phone or email of any changes to your postal address.

Kind Regards,

Julia Madero
Building Certification Group

Form 15—Compliance certificate for building design or specification

Version 4 – July 2017

NOTE: This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb/locality and postcode)

1252 Waterworks Road

The Gap QLD. 4061

Lot and plan details (attach list if necessary)

Lot 4 on RP101805

In which local government area is the land situated?

BRISBANE CITY COUNCIL



File No. 00060126

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

The structural design of the footings, slab on ground, block retaining walls, floor, wall and roof framing, bracing and tie down to Proposed Alterations to Existing Residence.

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Australian Standard AS1170.1, AS1170.2, AS1684 N2, AS1720, AS2870, AS3600, and AS4100. The home owners attention is drawn to the requirements for maintenance of foundation moisture conditions, site drainage and landscaping as detailed in CSIRO BTF 18 "Foundation Maintenance and Footing Performance: A Homeowner's Guide" a copy of which is available by downloading from the CSIRO. It is the Plumbers responsibility to conform with the recommendations contained in the drawing "Recommended Guidelines for Sanitary and Storm water Installation on Reactive Clay Sites" available from the Building Services Authority web site.

It is a condition of this structural design compliance certificate that *GDS Consulting Engineers* inspect the structural stages of the Building Work as defined in Part 6, Division 1, Section 24 of the 'Building Regulation 2006'.

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Engineering drawings by GDS Consulting Engineers, Job Number 5745, Sheets 01 to 04, All Issue 'A', dated 15/02/18.

Geotechnical Soil Report not provided. Site Classification 'M' assumed in accordance with AS2870, Confirm on-site during construction.

LOCAL GOVERNMENT USE ONLY

Date received	Reference Number/s
---------------	--------------------

5. Building certifier reference number	Building certifier reference number 					
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) Carl Conran Company name (if applicable) GDS Consulting Engineers Contact person Carl Conran Phone no. (business hours) 07 3355 1975 Mobile no. 0412 672 514 Fax no. N/A Email address carl@gds.net.au Postal address 36 Mirbelia Street Everton Hills Qld. Postcode 4053 Licence or registration number (if applicable) RPEQ 7799					
7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	<table border="1"> <thead> <tr> <th data-bbox="516 869 1071 903">Signature</th><th data-bbox="1071 869 1432 903">Date</th></tr> </thead> <tbody> <tr> <td data-bbox="516 903 1071 1050">  </td><td data-bbox="1071 903 1432 1050"> 15/2/18 </td></tr> </tbody> </table>		Signature	Date		15/2/18
Signature	Date					
	15/2/18					

The *Building Act 1975* is administered by the Department of Housing and Public Works



File No. 00060126

PROPOSED RESIDENCE ALTERATION AT : 1252 WATERWORKS ROAD THE GAP. QLD. 4061

DRAWING SCHEDULE

1. COVER SHEET - NOTES AND DRAWING SCHEDULE.
2. TYPICAL STRUCTURAL DETAILS -1
3. FOOTING PLAN AND DETAILS
4. ROOF FRAMING PLAN

NOTES

GENERAL

- G1. REFER TO ARCHITECTURAL DOCUMENTATION FOR SETOUT AND DIMENSIONS.
G2. ALL PROPRIETARY PRODUCTS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS.
G3. SURFACE LEVELS AS SHOWN ON THESE DRAWINGS ARE INDICATIVE ONLY AND ARE TO BE CHECKED AND CONFIRMED ON SITE. CONSEQUENTLY, EXTENT LOCATIONS AND DEPTHS OF BORED PIERS MAY VARY TO THE STRUCTURAL DRAWING AND ARE ALSO TO BE CONFIRMED ON-SITE. REFER TO THE ENGINEER IF IN DOUBT.
G4. THE BUILDER IS TO SUPPLY TO THE ENGINEER A COPY OF THE FINAL ROOF TRUSS LAYOUT BY THE TRUSS MANUFACTURER AS SOON AS PRACTICABLE, FOR THE REDESIGN OF BEAMS, LINTELS ETC AS REQUIRED.
G5. SECTIONS 'I', 'O', & 'Q' ARE NOT USED IN ACCORDANCE WITH AS1100.
G6. THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE AND NEIGHBOURING STRUCTURES IN A SAFE & STABLE CONDITION DURING CONSTRUCTION. NO PART TO BE OVERSTRESSED.

FOUNDATIONS

- F1. SITE CLASSIFICATION REPORT NOT PROVIDED.
SITE CLASSIFICATION 'M' IN ACCORDANCE WITH AS2870 ASSUMED.
F2. ALL FOOTINGS TO FOUND INTO STIFF CLAY WITH A MINIMUM BEARING CAPACITY > 100kPa.
F3. 50mm SAND BED AND 0.2mm WATERPROOF MEMBRANE TO COMPLY WITH BCA REQUIREMENTS UNDER ALL NEW SLABS.
F4. TERMITE MANAGEMENT STRATEGIES IN ACCORDANCE WITH AS3660.1.
F5. IF LOCALISED SOFT OR UNSUITABLE FOUNDING CONDITIONS ARE ENCOUNTERED, ADDITIONAL PIER OR FOOTING COSTS MAY BE INCURRED, ABOVE THAT ALLOWED FOR IN THIS DESIGN.

CONCRETE, REINFORCEMENT, AND MASONRY

- C1. ALL CONCRETE TO AS3600, AND TO BE:
i) FOOTINGS : N25, 20' MAX' AGGREGATE, 100 SLUMP.
ii) 'SLAB ON GROUND' : N25, 20' MAX' AGGREGATE, 100 SLUMP.
iii) MASONRY COREFILL : N20, 10' MAX' AGGREGATE, 225 SLUMP.
C2. REINFORCEMENT COVER REQUIREMENTS ARE:
i) FOOTINGS : 50 MIN' ALL AROUND.
ii) 'SLAB ON GROUND' : AS NOTED ON DRAWINGS, 40 EDGE COVER.
iii) MASONRY CORES : AS NOTED, 50 MIN'.
C3. ALL LAPS TO BE i) FULL TENSION UNO.
ii) N12=550mm ,N16=750mm
iii) HORIZONTAL LAPS STAGGERED UNO.
C4. ALL CONCRETE SLABS TO BE CURED IN ACCORDANCE WITH AS2870 AND AS3600.
C5. ALL MASONRY TO AS3700.
C6. ALL MASONRY TO BE CORE-FILLED, RODDED OR VIBRATED.
C7. MASONRY ARTICULATION JOINTS TO BE PROVIDED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE 'CEMENT & CONCRETE ASSOCIATION' NOTE TN61.

TIMBER FRAMING & TIE DOWN

- T1. STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING WIND LOADS IN ACCORDANCE WITH AS1170.2 : REGION 'B'
TERRAIN CAT' : 3
SHIELDING : PARTIAL
WIND CLASS' : N2
T2. ALL TIMBER TO AS1720.1.
T3. ALL STRUCTURAL TIMBER DETAILS TO AS1684.2 N2 UNO.
T4. ALL EXPOSED TIMBER ABOVE GROUND TO BE OF NATURAL DURABILITY CLASS '1' OR '2' OR TREATED TO A MINIMUM LEVEL OF 'H3' IN ACCORDANCE WITH THE 'TIMBER UTILISATION & MARKETING ACT OF QLD' OR AS1604.
T5. TIE DOWN :
i) SOLARSPAN ROOF PANEL TO ROOF BEAM/TOP PLATE(s) :
FIXING AT EACH RIB WITH 14G TEK SCREWS (OR EQUIVALENT.)

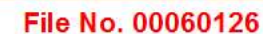
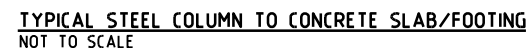
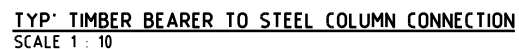
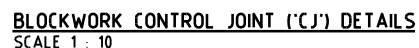
STEELWORK

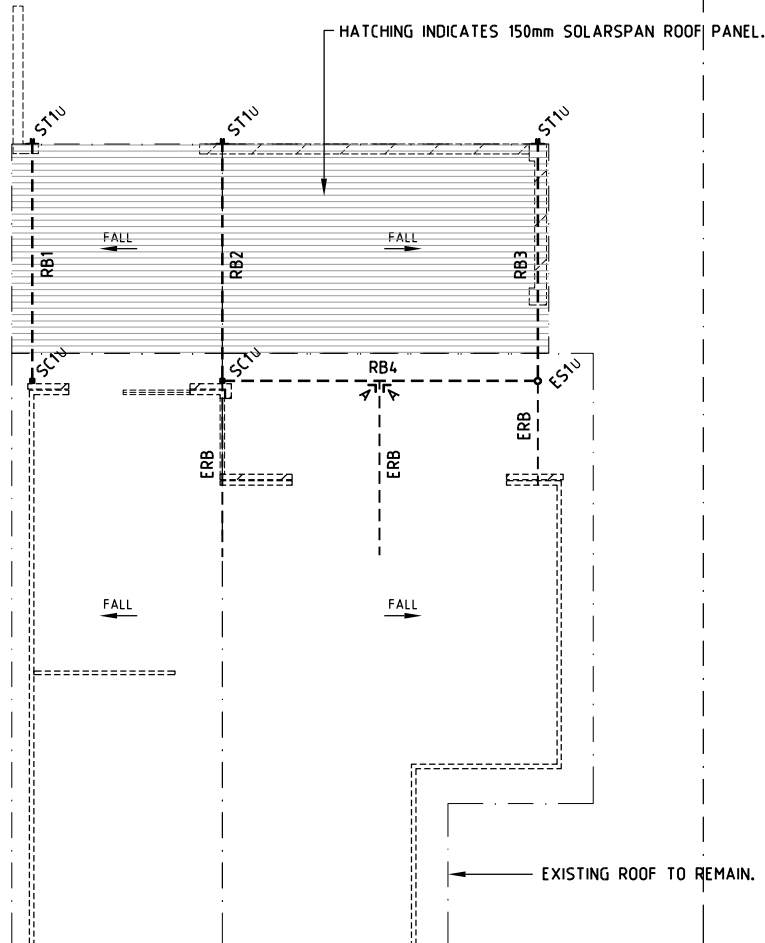
- S1. ALL STRUCTURAL STEELWORK TO AS4100.
S2. ALL CLOUTS, NAILS TO BE HOT DIPPED GALVANISED UNO.
S3. ALL FRAMING ANCHORS TO BE GALVANISED UNO.
S4. ALL BOLTS TO BE GRADE 8.8/S IN ACCORDANCE WITH AS1252, AND TO BE
a) STEEL TO STEEL CONNECTIONS : M16Ø & HOT DIPPED GALVANISED UNO.
b) STEEL TO TIMBER CONNECTIONS : M12Ø & HOT DIPPED GALVANISED UNO.
S5. THREADED ROD OF SAME GRADE AND DIAMETER OF BOLTS WHERE SPECIFIED CAN BE USED IN LIEU OF.
S6. ALL WEB CLEATS, END/CAP PLATES TO BE 10 THICK UNO.
S7. ALL WELDS TO BE CARRIED OUT IN ACCORDANCE WITH AS1554.1.
i) ALL WELDS TO BE 6 CFW (6E48) MADE WITH E48XX ELECTRODES OR COMPLETE PENETRATION BUTT WELD (CPBW) AS NOTED.
ii) ALL WELDS TO BE GENERAL PURPOSE GRADE.
iii) ALL WELDS TO BE 100% VISUALLY INSPECTED.
iv) ALL WELDS TO BE PAINTED WITH 'GALVIT' OR SIMILAR.
S8. ALL FABRICATION TO BE IN ACCORDANCE WITH SAA/SNZ HB62.1 AND AS4100 AS APPROPRIATE.



File No. 00060126

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ROOF FRAMING PLAN

SCALE 1 : 100

LEGEND AND MEMBER SCHEDULE

NOTE:	U	DENOTES COLUMN/STUDS/MEMBER ETC UNDER
	O	DENOTES COLUMN/STUDS/MEMBER ETC OVER
	U/O	DENOTES COLUMN/STUDS/MEMBER ETC UNDER AND OVER
A		150 EA 10 ANGLE BRACKET. 2/M12 BOLTS EACH LEG.
RB1/2/3		280 x 65 HYNBEAM 21C 'H3' ROOF BEAMS. PAINT AND PROTECT.
RB4		300 x 65 HYNBEAM 21C 'H3' ROOF BEAMS.
ERB		EXISTING ROOF BEAM. CONFIRM ON SITE.
ES1		EXISTING CHS STEEL COLUMN.
SC1		75 SHS 4.0 GRADE C350 HOT DIP GALVANISED STEEL COLUMN.
ST1		2/75 x 75 x 6.0mm HOT DIP GALVANISED STRUCT. 3/M12 BOLTS TO ROOF BEAM. FIX TO BLOCK WALL WITH 6/M12 EPOXY BOLTS. (3 BOLTS EACH ANGLE.



File No. 00060126

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Phone: (07) 3355 1975
Mobile: 0412 672 514
Email: carl@gds.net.au
Director: Carl Conran - B.E., Civil, M.I.E. Aust, RPEQ 7799

TITLE

ROOF FRAMING PLAN

PROJECT
PROPOSED RESIDENCE ALTERATION AT :
1252 WATERWORKS ROAD
THE GAP, QLD, 4061

CLIENT: SHERLEY & CLIFF WEDER

ARCHITECT: PD DRAFTING SERVICES

A
ISSUE

ISSUE FOR BUILDING APPROVAL
REVISION

15/02/18
DATE

Drawn: GDS	Date: 15/02/18
Scale: As Noted	Issue: A
Checked: Carl Conran, RPEQ, 7799	
Job No:	Sheet:
5745	04 of 04

DA Form 2 – Building work details

Approved form (version 1.0 effective 3 July 2017) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated with any other type of assessable development**, use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	CLIFF AND SHIRLEY WEDER
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	1252 WATERWORKS RD
Suburb	THE GAP
State	QLD
Postcode	4061
Country	
Contact number	07 3166 8353
Email address (non-mandatory)	csweder@live.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
☒ Street address AND lot on plan (all lots must be listed), OR ☐ Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	1252	WATERWORKS RD	THE GAP
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4061	LOT 4	RP 101805	BRISBANE

2.2) Additional premises

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
☒ No

PART 3 – FURTHER DETAILS**4) Is the application only for building work assessable against the building assessment provisions?**

☒ Yes – proceed to 8)
☐ No

5) Identify the assessment manager(s) who will be assessing this development application

Building Certification Group

6) Has the local government agreed to apply a superseded planning scheme for this development application?

☐ Yes – a copy of the decision notice is attached to this development application
☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
☒ No

7) Information request under Part 3 of the DA Rules

☐ I agree to receive an information request if determined necessary for this development application
☒ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application	Reference	Date	Assessment manager
☐ Approval			
☐ Development application			
☐ Approval			
☐ Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland heritage register** or in a local government's **Local Heritage Register**. See the guidance provided at www.ehp.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

PART 4 – REFERRAL DETAILS**12) Does this development application include any building work aspects that have any referral requirements?**

- ☒ Yes – the *Referral checklist for building work* is attached to this development application
- ☐ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS**14) Owner's details**

- ☒ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	

State	
Postcode	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Sole Developments Pty Ltd
Contact name <i>(applicable for companies)</i>	Shaun Corrie
QBCC licence or owner – builder number	1197267
Postal address <i>(P.O. Box or street address)</i>	646 Grassdale Road
Suburb	Gumdale
State	QLD
Postcode	4154
Contact number	0427 087 155
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

16) Provide details about the proposed building work

a) What type of approval is being sought?

- ☒ Development permit
☐ Preliminary approval

b) What is the level of assessment?

- ☒ Code assessment
☐ Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|---|---|
| ☒ New building or structure | ☒ Repairs, alterations or additions |
| ☐ Change of building classification <i>(involving building work)</i> | ☐ Swimming pool and/or pool fence |
| ☐ Demolition | ☐ Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

Repair all rotten timbers, replace existing rotten windows, remove existing shade cloth and replace with new patio roof

e) Proposed construction materials

External walls	☐ Double brick	☐ Steel	☐ Curtain glass
	☐ Brick veneer	☐ Timber	☐ Aluminium
	☐ Stone/concrete	☐ Fibre cement	☐ Other
Frame	☒ Timber	☐ Steel	☐ Aluminium
	☐ Other		
Floor	☐ Concrete	☒ Timber	☐ Other
Roof covering	☐ Slate/concrete	☐ Tiles	☐ Fibre cement
	☐ Aluminium	☒ Steel	☐ Other

f) Existing building use/classification? <i>(if applicable)</i>
1a
g) New building use/classification? <i>(if applicable)</i>
1a & 10a
h) Relevant plans Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i> ☒ Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?	\$ 60,000
---	-----------

18) Has Queensland Home Warranty Scheme Insurance been paid?		
☒ Yes – provide details below		
☐ No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$ 583.50	02/08/2018	013812981

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	☒ Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	☐ Yes ☒ Not applicable
Relevant plans of the development are attached to this development application Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	☒ Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	☐ Yes ☒ Not applicable

20) Applicant declaration
☒ By making this development application, I declare that all information in this development application is true and correct ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: <i>It is unlawful to intentionally provide false or misleading information.</i>
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the DA Rules except where: - such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or - required by other legislation (including the <i>Right to Information Act 2009</i>); or - otherwise required by law. This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.

PART 7 – FOR OFFICE USE ONLY - FOR COMPLETION BY THE ASSESSMENT MANAGER

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? <i>(if applicable)</i>	1a		
New building use/classification?	1a & 10a		
Site area (m ²)	683m2	Floor area (m ²)	45m2

Additional information required by the local government

Confirm proposed construction materials:

External walls	☐ Double brick	☐ Steel	☐ Curtain glass
	☐ Brick veneer	☐ Timber	☐ Aluminium
	☐ Stone/concrete	☐ Fibre cement	☐ Other
Frame	☒ Timber	☐ Steel	☐ Aluminium
	☐ Other		
Floor	☐ Concrete	☒ Timber	☐ Other
Roof covering	☐ Slate/concrete	☐ Tiles	☐ Fibre cement
	☐ Aluminium	☒ Steel	☐ Other

Date received: 17/11/2017

Reference numbers: BA60126

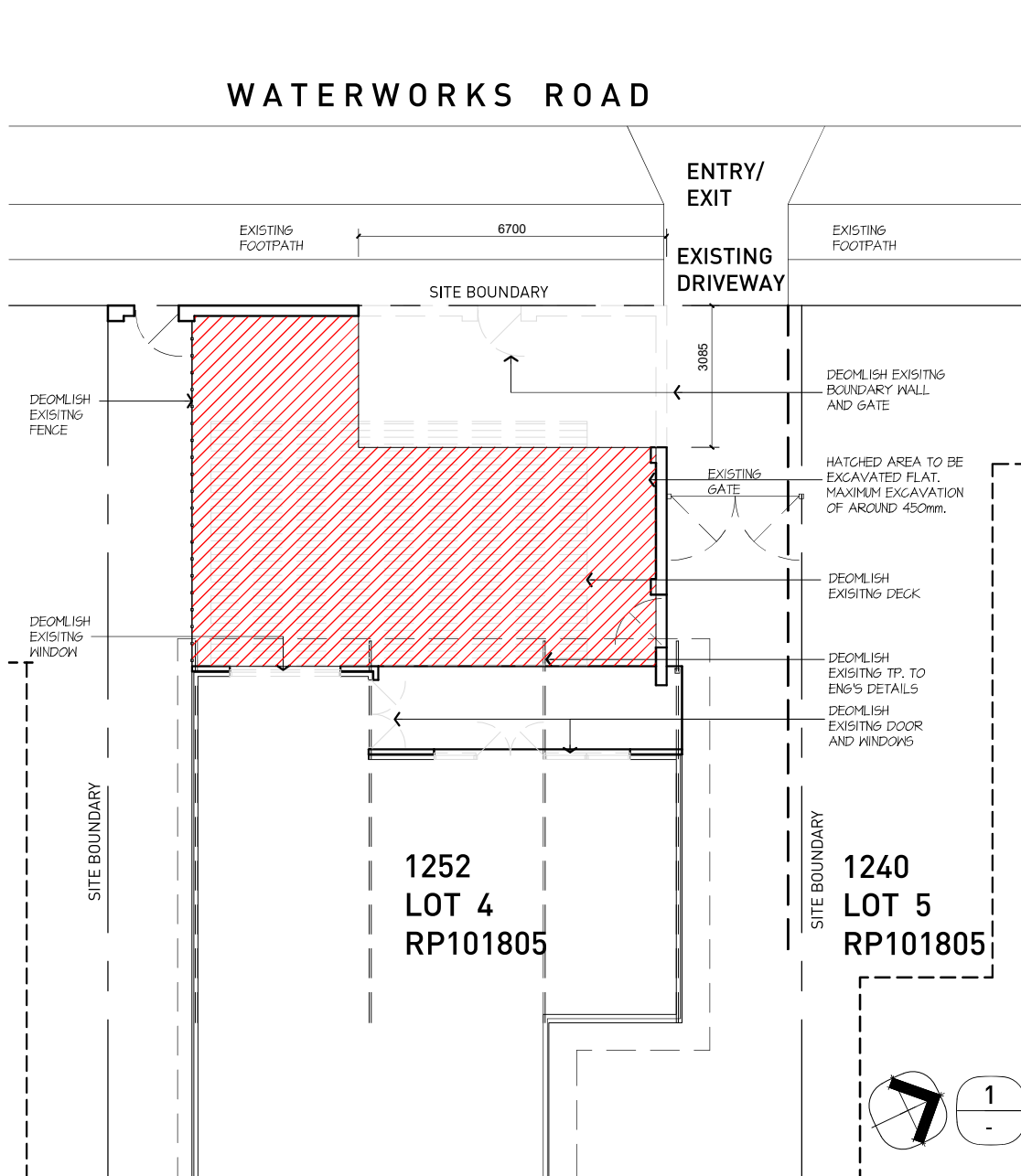
For completion by the building certifier

Classification(s) of approved building work	QBCC Insurance receipt number	QBCC Certification Licence number
1a	013812981	A1124056

Notification of engagement of alternate chosen assessment manager

Prescribed assessment manager	Building Certification Group
Name of chosen assessment manager	Jason Bird
Date chosen assessment manager engaged	17/11/2017
Contact number of chosen assessment manager	1300 130 168
Relevant licence number(s) of chosen assessment manager	A1124056

The *Planning Act 2016*, the *Planning Regulation 2017* and the *DA Rules* are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.



File No. 00060126

**REFER TO THE DECISION NOTICE FOR
CONDITIONS OF THE BUILDING APPROVAL**



PROJECT
PROPOSED RENOVATION
AND EXTENSION
LOCATION
1252 WATERWORKS RD,
THE GAP, QLD 4061
CLIENT
SHERLEY & CLIFF WEDER
WEDER
TITLE
EXISTING AND DEMOLITION
FLOOR PLAN

SCALE: 1:100 JOB NO: CSW
DRAWN BY: PDW DWS No: EX-01
ISSUE DATE: 12/12/2017 ISSUE: A

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EXIST. PLAN

SCALE: 1:100

GENERAL LEGEND:

CG	COLORBOND EAVES GUTTER.
CR	STRATCO COOLDECK CLASSIC 100MM INSULATED ROOF PANEL WITH SMOOTH FINISH TO THE SOFFIT. ROOFING PROFILE TO MATCH EXISTING.
CT	CERAMIC TILE FLOOR FINISH.
DP	ARTPLASTICS CLASSIC UPVC DOWNPIPE.
RPB	SCRUB FINE RENDERED AND PAINTED CORE FILLED BLOCKWORK.
REN	RENDER OVER EXISTING BRICKWORK.
RW	RETAINING WALL TO ENG'S DETAILS.
SHS	75X75X4mm DURAGAL SQUARE HOLLOW SECTION POST.
SK	VELUX SKYLIGHT OR SIMILAR APPROVED.

LEVELS LEGEND

+ RL 11.700	PROPOSED RELATIVE LEVEL
RL 88.300 +	EXISTING RELATIVE LEVEL
TOW23.000	TOP OF WALL LEVEL
TOW23.000	TOP OF STEEL LEVEL
FSL	FINISHED SLAB LEVEL
USL	UNDERSIDE OF SLAB LEVEL

WALL LEGEND

190CFB	REINFORCED CORE FILLED BLOCKWORK
--------	----------------------------------

GENERAL NOTES:

- ALL DIMENSIONS ARE IN MILLIMETERS.
- THE BUILDING IS NOT TO EXCEED 9.5m IN HEIGHT ABOVE NATURAL GROUND LEVEL AT ANY POINT.
- BUILDER IS TO VERIFY TRUSS ANCHORAGE POINTS AND LINTEL SIZES FOR ANY NON-STANDARD TRUSS (GIRDER, HIP, VALLEY ETC.) WITH TRUSS DESIGNER OR ENGINEER.
- TOP OF METER BOX TO BE 2m MAX ABOVE F.F.L.
- LAMINATED BEAM & BEARING TO BE MIN. 70mm OR TO MANUFACTURER SPEC.
- SARKING REQUIRED BEHIND EXTERNAL WALL CLADDING, ROOF GABLE ENDS AND RAKING CEILINGS.
- G.I. EYEBROW FLASHINGS TO WINDOW HEADS
- ROOF VENTILATION AS REQUIRED.
- TILED WALL AREAS- REFER TO SHEET MANUFACTURER FOR WALL FRAME & SHEET FIXING DETAILS.
- SMOKE DETECTORS TO BE INSTALLED IN NOMINATED POSITIONS.
INTERNAL LININGS:
10mm PLASTERBOARD GENERALLY 10mm
PLASTERBOARD TO CEILINGS.
6mm VILLABOARD TO WET AREAS.
- STAIRCASES, RAMPS AND BALUSTRADE TO BCA CLAUSE 3.9.1 & 3.9.2

- LIGHT & VENTILATION TO BCA CLAUSE 3.8.4 & 3.8.5
- INTERNAL WC'S & BATH ROOMS TO BE MECHANICALLY VENTILATED (DUCTED TO OUTSIDE) MECHANICAL VENTILATION TO AS 1668.1 (W.C.'S 251/S BATH ROOMS 501/S)
- WET AREAS TO BCA CLAUSE 3.8.1
- W.C. DOORS TO BCA CLAUSE 3.8.1
- ALL EXTERNAL WALLS INSULATED TO ACHIEVE A TOTAL R VALUE OF R2.8 IN ACCORDANCE WITH THE BCA VOL.2 PART 3.12.1.4.
- REQUIREMENTS FOR SUSTAINABLE BUILDINGS: REFER TO THE QLD DEVELOPMENT CODE FOR ALL SUSTAINABLE BUILDING REQUIREMENTS.
- WATER PRESSURE LIMITING:
MAXIMUM WATER PRESSURE LEVEL TO ANY OUTLET MUST NOT EXCEED 500KPA.
- SHOWER ROSES: TO BE MIN WELS 3 STAR RATED.
- ACCEPTABLE TAPWARE: MINIMUM 3-STAR WELS RATED TAP WARE FOR KITCHEN SINKS, BATHROOM BASINS & LAUNDRY TROUGHS.
- DUAL FLUSH TOILETS:
ALL TOILETS TO HAVE A DUAL FLUSH CAPACITY THAT DOES NOT EXCEED 8 LITRES ON FULL FLUSH AND 3 LITRES ON HALF FLUSH.
- HOT WATER SUPPLY:
PROVIDE NEW HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING.

- ACCEPTABLE AIR CONDITIONERS: MINIMUM 4-STAR MINIMUM ENERGY PERFORMANCE STANDARD (MEPS) RATED AIR-CONDITIONERS.
- ENERGY EFFICIENT LIGHTING:
80 PER CENT OF GROSS FLOOR AREA TO HAVE ENERGY EFFICIENT GLOBES TO ALL FIXED INTERNAL LIGHTING.

WINDOW & DOOR NOTES

- WINDOW AND DOOR SIZES GIVEN ARE OPENING SIZES. REFER TO INDIVIDUAL MANUFACTURER INFORMATION FOR FRAME DIMENSIONS AND REQUIRED CLEARANCES.
- ALL WINDOWS NOTED WITH LOCKS ARE TO BE KEYED ALIKE.
- ALL WINDOWS ARE VIEWED FROM THE OUTSIDE.
- ALL GLAZING TO BE IN ACCORDANCE WITH AS2047 AND AS1288



PROJECT
PROPOSED RENOVATION
AND EXTENSION
LOCATION
1252 WATERWORKS RD,
THE GAP, QLD 4061
CLIENT
SHERLEY & CLIFF WEDER
WEDER
TITLE
LEGEND NOTES

SCALE: 1:100
DRAWN BY: PDW
ISSUE DATE: 12/12/2017
JOB NO: CSW
DWS No: LN-01
ISSUE: A

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File No. 00060126

WATERWORKS ROAD

1500mm TO OMP

3000mm TO OMP

ENTRY/
EXIT

EXISTING
DRIVEWAY

EXISTING
FOOTPATH

SITE BOUNDARY

SITING RELAXATION @ 3m

SITE BOUNDARY

1240
LOT 5
RP101805

1252
LOT 4
RP101805

**PROPOSED PATIO ROOF
- HIGH-LIGHTED IN YELLOW**

EXIST. PLAN

SCALE: 1:100

CLASS 1 AND 10 STANDARD BUILDING CONDITIONS

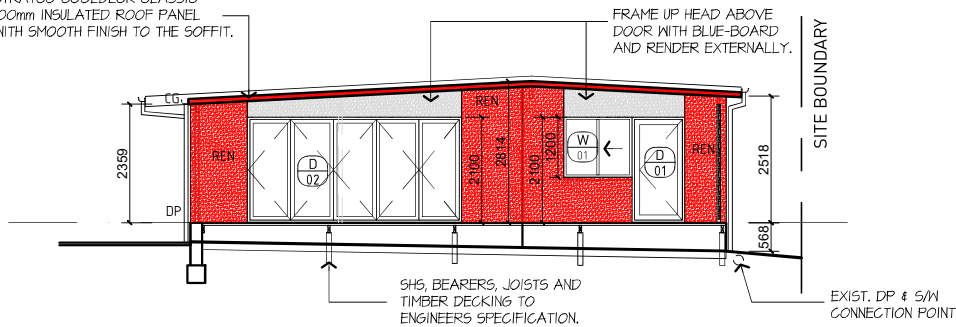
- BUILDING TO COMPLY WITH 'BUILDING CODE OF AUSTRALIA AND BUILDING ACT 1975 (AMENDED) AND ALL RELEVANT SAA CODES.
- STORMWATER & ON SITE DRAINAGE IS TO COMPLY WITH BCA VOL.1 PART F1.1 OR BCA VOL.2 PART 3.1.2 AND AS/NZS 3500 3.2 AND LOCAL AUTHORITY REQUIREMENTS.
- TERMITE PROTECTION IS TO COMPLY WITH BCA VOL.2 PART 3.1.2 AND AS3660.1 AND MANUFACTURERS SPECIFICATION.
- ALL STRUCTURAL WORK TO BE CERTIFICATION BY THE STRUCTURAL ENGINEER.
- ALL MASONRY CONSTRUCTION TO COMPLY WITH BCA VOL.2. Pt 3.3 & AS 3700
- TIMBER FRAMING IS TO COMPLY WITH BCA VOL.2. PART 3.4.3 AND AS1684.
- ROOF + WALL CLADDING, GUTTERS AND DOWN PIPES ARE TO COMPLY WITH BCA VOL.2. PART 3.5.
- GLAZING IS TO COMPLY WITH BCA VOL.2. PART 3.6 AND AS2047 AND AS1288.
- SMOKE ALARM ARE TO COMPLY WITH BCA VOL.2. PART 3.7.2 AND AS3786. SMOKE ALARMS MUST BE HARDWIRED TO MAINS POWER.
- WET AREAS TO ARE TO COMPLY WITH BCA VOL.2. PART 3.8.1 AND AS3740.
- TOILET + BATHROOM DOORS ARE TO COMPLY WITH BCA VOL.2. PART 3.8.3.3.
- LIGHTING IS TO COMPLY WITH BCA VOL.2. PART 3.8.4.
- INTERNAL WC'S & BATH ROOMS TO BE MECHANICALLY VENTILATED (DUCTED TO OUTSIDE) MECHANICAL VENTILATION TO AS 1668.1 (WC'S 251/S BATH ROOMS 501/S) & TO COMPLY WITH BCA VOL.2. PART 3.8.5.
- SOUND INSULATION IS TO COMPLY WITH BCA VOL.2. PART 3.8.6.
- STAIR AND BALUSTRADES ARE TO COMPLY WITH BCA VOL.2. PART 3.9.1.3.9.2 AND AS1170.1. MINIMUM 1 METRE HIGH BALUSTRADES. BALUSTRADE MUST NOT FACILITATE CLIMBING BETWEEN 150mm AND 760mm.
- WATERPROOFING TO DECK AND RETAINING WALLS TO HABITABLE AREA MUST BE CARRIED OUT BY AN APPROVED COMPETENT PERSON IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION. CERTIFICATE TO BE PROVIDED ON COMPLETION.
- SWIMMING POOL FENCES AND GATES ARE TO COMPLY WITH BCA VOL.2. PART 3.9.3 AND AS1926.1 AND AS1926.2.
- ENERGY EFFICIENCY IS TO COMPLY WITH BCA VOL.2. PART 3.12 OR RECOGNISED ENERGY RATING SYSTEM. (BERS OR NATHERS OR OTHER).
- RETAINING WALLS EXCEEDING 1 METRE IN HEIGHT REQUIRE BUILDING APPROVAL AND STRUCTURAL ENGINEER'S DESIGN. THE COMBINED HEIGHT OF ANY RETAINING WALL AND FENCE IS NOT TO EXCEED 2 METRES ABOVE NATURAL GROUND LEVEL WITHOUT COUNCIL RELAXATION APPROVAL.
- COMPLY WITH THE CONDITIONS OF QUEENSLAND FIRE & RESCUE SERVICE.
- TOILET + BATHROOM DOORS TO COMPLY WITH BCA VOL 1 CLAUSE F.5 AS 1668.1 AS1668.2 & AS3666.

**pd DRAFTING
SERVICES**

PROJECT
**PROPOSED RENOVATION
AND EXTENSION**
LOCATION
1252 WATERWORKS RD,
THE GAP, QLD 4061
CLIENT
SHERLEY & CLIFF WEDER
WEDER
TITLE
**PROPOSED
FLOOR PLAN**

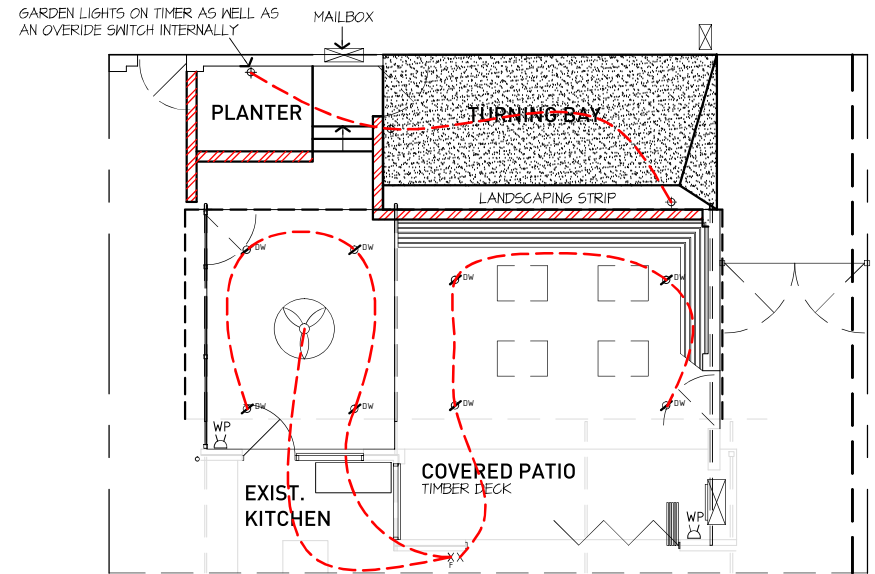
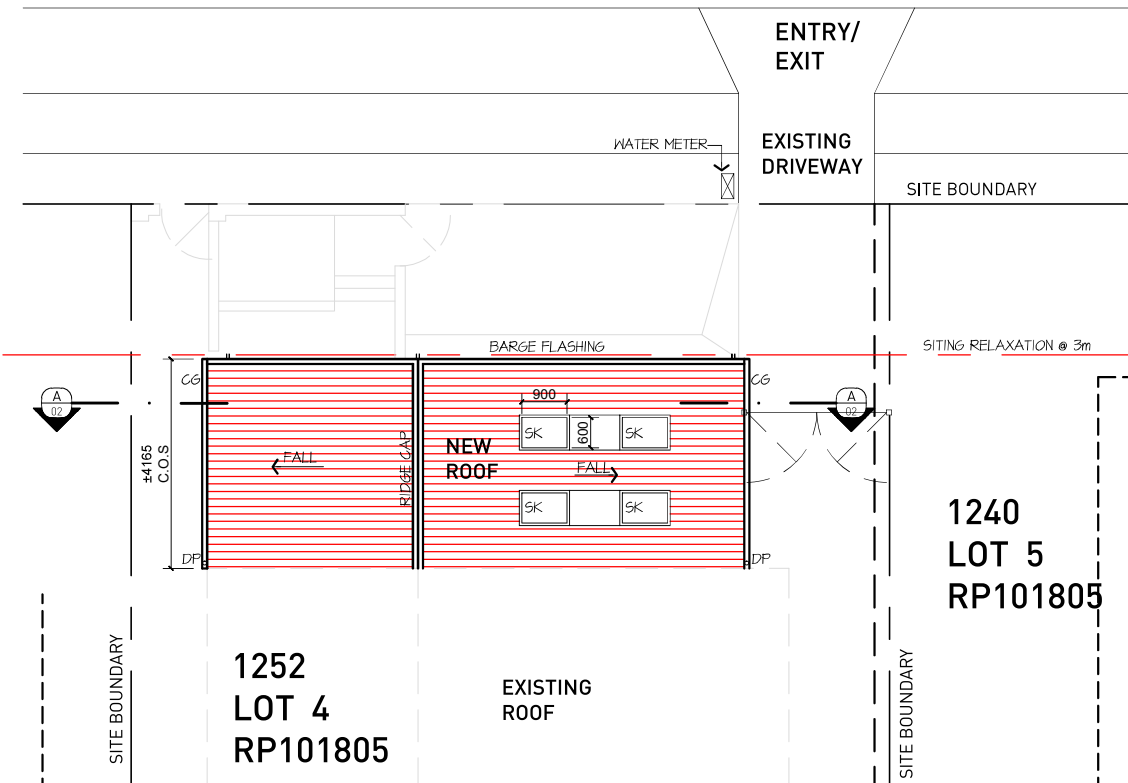
SCALE: 1:100 JOB NO: **CSW**
DRAWN BY: **PDW** DWS No.: **WD-01**
ISSUE DATE: 12/12/2017 ISSUE: **A**

STRATCO COOLDECK CLASSIC
100mm INSULATED ROOF PANEL
WITH SMOOTH FINISH TO THE SOFFIT.



2 SECTION A-A
SCALE: 1:100

WATERWORKS ROAD



1 ELECTRICAL PLAN
SCALE: 1:100

ELECTRICAL LEGEND

× SINGLE LIGHT SWITCH
H:1000 UNO

×2 TWO WAY LIGHT SWITCH
H:1000 UNO

⊘ RECESSED DOWNLIGHT



CEILING FAN - NO LIGHT



WP WEATHER PROOF DBL GPO
H:250 UNO (EXTERNAL)



TV TV POINT



File No. 00060126

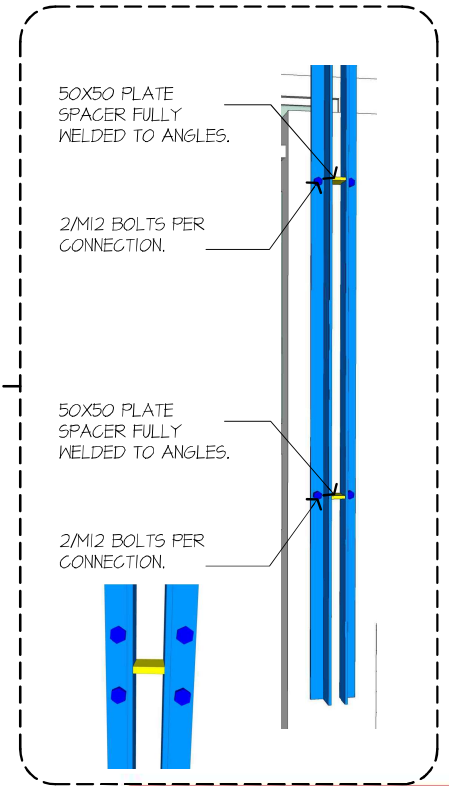


1 ROOF PLAN
SCALE: 1:100

pd DRAFTING SERVICES

PROJECT
PROPOSED RENOVATION
AND EXTENSION
LOCATION
1252 WATERWORKS RD,
THE GAP, QLD 4061
CLIENT
SHERLEY & CLIFF WEDER
WEDER
TITLE
PROPOSED SECTION A-A
AND PLANS

SCALE: 1:100 JOB NO: CSW
DRAWN BY: PDW DWS No: WD-02
ISSUE DATE: 12/12/2017 ISSUE: A



File No. 00060126

pd DRAFTING
SERVICES



PROJECT
PROPOSED RENOVATION
AND EXTENSION
LOCATION
1252 WATERWORKS RD,
THE GAP, QLD 4061
CLIENT
SHERLEY & CLIFF WEDER
WEDER
TITLE
PROPOSED
PERSPECTIVES - SHEET 1

SCALE: 1:100 JOB NO: CSW
DRAWN BY: PDW DWS No: WD-04
ISSUE DATE: 22/11/2017 ISSUE: A

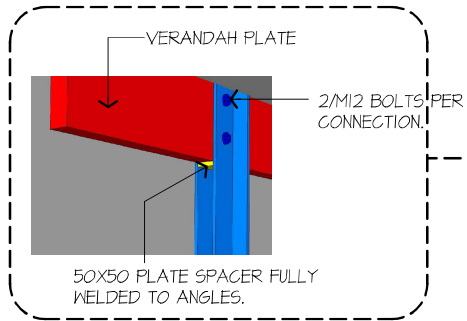
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PROJECT
PROPOSED RENOVATION
AND EXTENSION
LOCATION
1252 WATERWORKS RD,
THE GAP, QLD 4061
CLIENT
SHERLEY & CLIFF WEDER
WEDER
TITLE
PROPOSED
PERSPECTIVES - SHEET 2

SCALE: 1:100 JOB NO: CSW
DRAWN BY: PDW DWS No: WD-05
ISSUE DATE: 22/11/2017 ISSUE: A

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PROJECT
**PROPOSED RENOVATION
AND EXTENSION**

LOCATION
1252 WATERWORKS RD,
THE GAP, QLD 4061

CLIENT
SHERLEY & CLIFF WEDER
WEDER

TITLE
**PROPOSED
PERSPECTIVES - SHEET 3**

SCALE: 1:100 JOB NO: **CSW**

DRAWN BY: **PDW** DWS No: **WD-06**

ISSUE DATE: 22/11/2017 ISSUE: **A**

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**APPROVED DOCUMENT
REFERENCED IN THE
DECISION NOTICE**
BUILDING CERTIFICATION GROUP
File No. 00060126


**PD DRAFTING
SERVICES**

PROJECT
**PROPOSED RENOVATION
AND EXTENSION**
LOCATION
**1252 WATERWORKS RD,
THE GAP, QLD 4061**
CLIENT
**SHERLEY & CLIFF WEDER
WEDER**
TITLE
**PROPOSED
PERSPECTIVES - SHEET 4**

SCALE: 1:100	JOB NO: CSW
DRAWN BY: PDW	DWS No.: WD-07
ISSUE DATE: 22/11/2017	ISSUE: A

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Form 20—Lodgement of building work documentation

Version 5 – July 2017

1. Building description	<table border="1"> <tr> <th>Building use</th><th>Building class</th><th>Shop/tenancy no.</th><th>Storey/level</th></tr> <tr> <td>Patio</td><td>10a</td><td></td><td>1</td></tr> </table>	Building use	Building class	Shop/tenancy no.	Storey/level	Patio	10a		1
Building use	Building class	Shop/tenancy no.	Storey/level						
Patio	10a		1						
2. Property description The description must identify all land the subject of the application. The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (include no., street, suburb/locality and postcode) 1252 Waterworks Road THE GAP Postcode 4061 Lot and plan details (attach list if necessary) 4 on RP101805 <table border="1"> <tr> <th>Shop/tenancy no. (if applicable)</th><th>Storey/level (if applicable)</th><th>Total area of land (m²/ha)</th></tr> <tr> <td></td><td>1</td><td>683</td></tr> </table> In which local government area is the land situated? Brisbane City Council	Shop/tenancy no. (if applicable)	Storey/level (if applicable)	Total area of land (m ² /ha)		1	683		
Shop/tenancy no. (if applicable)	Storey/level (if applicable)	Total area of land (m ² /ha)							
	1	683							
3. Documents lodged Please attach one copy of these documents, submitted under section 5 of the <i>Planning Regulation 2017</i> and sections 86 and 87 of the <i>Building Act 1975</i> . (Tick applicable box/es) The private certifier must ensure each document is marked to identify it as a document approved by the private certifier and relating to the development approval. Before giving the documents to the assessment manager the private certifier must ensure the approved form for the application is completed.	☒ The application ☒ The approval documents for the application ☒ The decision notice or negotiated decision notice for the application ☒ A copy of the plans, drawings and specifications and other documents and information lodged by the applicant, stamped approved or otherwise endorsed by the assessment manager ☐ A list of required fire safety installations and required special fire services applying to the building work ☐ Certificates relied on to decide the application ☐ Information relied on to decide the application in relation to local government easements, encumbrances or estates or interests in land likely to be relevant to the application								
4. Confirmation receipt If the assessment manager is a local government, the local government must immediately give the private certifier a document acknowledging the receipt of the archiving fee. The private certifier must not give the applicant any approved documents until the private certifier has received the acknowledgement from the assessment manager. If the certifier works for a company, a contact person must be shown.	Private certifier's name (in full) Jason Bird <table border="1"> <tr> <th>Company name (if applicable)</th><th>Contact person</th></tr> <tr> <td>Building Certification Group</td><td>Rebecca Woolard</td></tr> </table> Postal address 47 Manilla Street East Brisbane Postcode 4169 Building certifier reference number 00060126	Company name (if applicable)	Contact person	Building Certification Group	Rebecca Woolard				
Company name (if applicable)	Contact person								
Building Certification Group	Rebecca Woolard								
5. Local government acknowledgement Section 87 of the <i>Building Act 1975</i> requires local government to give the certifier a document acknowledging the payment of the fee. This tear off section can be provided to the certifier as acknowledgment of receipt of the fee. Should local government choose not to use this tear off section, another form of receipt is to be provided.	Local government use only The local government acknowledges payment of the archiving fee For future enquiries concerning these documents please quote this reference: Local government reference <table border="1"> <tr> <td>Archiving fee \$59.20</td><td>Fee receipt number (if applicable)</td></tr> <tr> <td>Date acknowledgement issued</td><td></td></tr> </table>	Archiving fee \$59.20	Fee receipt number (if applicable)	Date acknowledgement issued					
Archiving fee \$59.20	Fee receipt number (if applicable)								
Date acknowledgement issued									



Form 20—Lodgement of building work documentation

Version 5 – July 2017

6. Development information relied on		
The development information identified in this section was relied upon in deciding the attached development application.		
Item No	Development information relied on	Tick if information relied upon
A—Infrastructure/services information		
A1	Plan of any sewer main or sanitary drain within or adjacent to the property, including approved connection point and any limitations on capacity	
A2	Plan of any water main within or adjacent to the property, including approved connection point and any limitations on capacity	
A3	Plan of any storm water main or drain within or adjacent to the property, including approved connection point and any limitations on capacity	
A4	Plans of any overland flow path within the property	
A5	Details of any required land application area for on-site disposal of sewerage, including any reserve area	
A6	Details of approved swimming pool discharge point	
A7	Location of mine subsidence areas	
B—Information specific to property		
B1	Details of any local government easements affecting the land	
B2	Flood level information, including minimum floor levels applicable to the property	
B3	Details of amenity aesthetic resolutions	
B4	Details of any land-slip area applicable to the property (including mine subsidence)	
B5	Details of the location and nature of any filling that has been placed on the property	
B6	Details of any erosion control requirements applicable to the property	
B7	Details of any acid-sulphate soils contained in the property	
B8	Details of any airport height limitations applicable to the property	
B9	Details of any known contaminated soil contained on the property	
B10	Details of any declared bushfire prone areas that affect the property	
B11	Details of any local laws that affect the property	
B12	Details of any conservation/protected areas that affect the property	
B13	Details of any vegetation management area that affects the property	
B14	Details of any nature conservation or wet-lands areas that affect the property	
C—Engineering information		
C1	Details of any design standards/location requirements for vehicle crossings applicable to the land	
C2	Details of any limitations applicable to on-site driveway gradients or locations, for the property	
C3	Details of any water supply catchments that affects the property	
C4	Details of any sewerage surcharge area that affects the property	
C5	Details of any drainage problem area that affects the property	
C6	Details of levels of proposed road or footway works that affect the property	
D—Existing building information		
D1	Details of existing buildings on the property if available	
D2	Copies of current Certificates of Classification for the property	
D3	Hydraulic services plans (existing commercial buildings)	
D4	Details of any heritage-listed buildings	
D5	Records relating to fire safety application and inspection	
E—Development/planning approvals		
E1	Details of any current development approvals applicable to the property	
E2	Details of any self-assessable requirements that may be relevant to the proposed building work. For example, in relation to domestic construction, covered car parking spaces, or water storage tanks.	
E3	Details of any other approvals (other than building work) necessary for the proposed development to proceed	
F—Local government registers of information		
F1	Relevant sections of register of exemptions under the <i>Building Act 1975</i> , Chapter 8, Swimming Pool Fencing	
F2	Relevant sections of register of resolutions under the <i>Building Act 1975</i> about land liable to flooding	
F3	Relevant sections of register of show cause and enforcement notice information	

The *Building Act 1975* is administered by the Department of Housing and Public Works

Form 32—Relevant information for service providers

Version 3 - December 2014

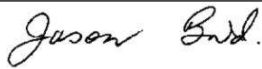
Compliance advice for QDC MP 1.4 – Building over or near relevant infrastructure

This form is to be used for particular approvals given by private building certifiers under section 10(b) of the Building Act 1975. In accordance with section 53A of the Building Regulation 2006, private building certifiers must provide this form to the applicable sewerage service provider.

NOTE

This form is to provide relevant information to sewerage service providers registered under the *Water Supply (Safety and Reliability) Act 2008* when building over or near relevant infrastructure (sewers only).

Under section 53A of the *Building Regulation 2006*, this form does not need to be provided to sewerage service providers who are a local government or concurrence agency for the subject application. This form is also not required where QDC MP 1.4 does not apply to the building work because of the distance between the building work and the sewer.

1. Property description	Street address (include no., street, suburb / locality and postcode) 1252 Waterworks Road THE GAP 4061 Lot and plan details (attach list if necessary) 4 on RP 101805											
2. Private building certifier	Name (in full) Jason Bird Company name (if applicable) Building Certification Group Licence number A1124056											
3. Compliance	The building development approval applies the following Acceptable Solutions for A1(2): Check the appropriate boxes <table border="1"> <tr> <td>(b)(i)</td> <td>(b)(ii)</td> <td>(b)(iii)</td> </tr> <tr> <td>☒</td> <td>☐</td> <td>☐</td> </tr> </table>	(b)(i)	(b)(ii)	(b)(iii)	☒	☐	☐	The building development approval applies the following Acceptable Solutions for A2.1(2): Check the appropriate boxes <table border="1"> <tr> <td>(d)(i)</td> <td>(d)(ii)</td> </tr> <tr> <td>☐</td> <td>☐</td> </tr> </table> Note: The above boxes demonstrate which solution has been applied from the available options. For the remaining aspects of the acceptable solutions, only one compliance option exists so the service provider may refer to the acceptable solutions in a QDC MP 1.4.	(d)(i)	(d)(ii)	☐	☐
(b)(i)	(b)(ii)	(b)(iii)										
☒	☐	☐										
(d)(i)	(d)(ii)											
☐	☐											
5. Applicable sewerage service provider	Name of applicable sewerage service provider (in full) Queensland Urban Utilities Postal address GPO Box 2765 Brisbane QLD 4001 Email address customerservice@urbanutilities.com.au											
6. Signature of private building certifier	I, as the person identified in section 2 of this form, advise that the information provided in this form is a true and accurate. Signature  Date 20 Dec 2017											

DATE RECEIVED

REFERENCE NUMBER/S

Form 32
Version 3, 2014

The *Building Act 1975* is administered by
the Department of Local Government and Planning





Building Certification Group

47 Manilla Street
East Brisbane QLD 4169

47 Manilla Street
East Brisbane QLD 4169

Phone: 1300 130 168

Fax: 07 3872 2406

Email: info@buildingcertificationgroup.com.au

A.B.N: 88 096 810 178

Development Application Decision Notice

This Permit is issued in accordance with Section 282 s63(2) of the Planning Act 2016

Building Certifier Reference Number: **00060126**
Approval Type: **Development Permit**
The Development Application was Assessed and: **Approved with Conditions**
Building Certifier Decision Date: **Friday, 3 August 2018**
Local Government Area: **Brisbane City Council**
Applicant: **Cliff & Shirley Weder**
Owner: **Cliff & Shirley Weder**
Address of Site: **1252 Waterworks Road
THE GAP QLD 4061**

Building Class & Description of Works:

10a New Construction of Patio Roof over existing Deck

Real Property Description of Site or GPS Coordinates:

Lot Type: Lot No: Plan Type: Plan Numbers(s):
Current 4 RP 101805

This Development Permit Approval should be read in conjunction with:

Referral and Concurrence Agencies (If Applicable) : See Attachment A
Required Inspections : See Attachment A
Approved Drawings and Documents Described as : See Attachment A
Required Certificates and Building Certifiers Conditions : See Attachment A
Other Applicable Codes (If Known) for Self Assessable Development: See Attachment A
Reason for Refusal (If Applicable): See Attachment A

Date of this Notice: Friday, 3 August 2018

Date of Expiry: Monday, 3 August 2020

Certifier:

Jason Bird

Licence Number:

A1124056

Signature:

ATTACHMENT A		
REQUIRED INSPECTIONS		
Description	Recommended Agent	Contact
Footing Inspection	RPEQ Engineer	
Siting Inspection	Land Surveyor	
Final Inspection	Building Certification Group	1300 130 168
APPROVED DOCUMENTATION		
Architectural Plans PD Drafting Services Pty Ltd, Job: CSW, Drawing: EX-01, LN-01, WD-01, WD-02, WD-04, WD-05, WD-06, WD-07, Issue A, dated 12/12/2017		
Structural GDS Consulting Engineers, Patio Roof Design, Job: 5745, Form 15 dated 15/02/2018		
REQUIRED CERTIFICATES *		
Form 16 - Footing Inspection - To be provided from an RPEQ Engineer for the inspection of the footing excavations.		
Form 16 - Termite Protection - To be provided from a QBCC licensee certifying the installation of the termite management system in accordance with BCA Part 3.1.3 and AS3660-2014. Please also include the Certificate of Installation containing full details of the termite management system installed and diagram showing the location of the termite system components.		
Form 16 - Surveyor (As Constructed) - To be provided from a Registered Cadastral Surveyor certifying the finished building works are located as per the approved plans.		
<i>* Additional certificates may be requested upon inspection of the building work.</i>		
BUILDING CONDITIONS		
Application Specific		
1	Building approval is given for a new Patio Roof only. Timber deck, walls other than those supporting the Patio Roof, driveway, paths, and landscaping are not part of this application.	
Standard		
1	All Building Work approved on this building application including the issuance of the Form 21 Final Certificate must be finalized on or prior to the expiry date shown on this Decision Notice.	
2	Alterations to plans are made in red.	
3	Certificates are to be supplied to the Private Certifier within 5 working days of the Inspection.	
4	Changes to the plans and re-inspections will attract additional fees.	
5	Concrete slabs, paths and driveways not designed by engineer are not part of this application.	
6	Ensure structural adequacy of existing structure prior to commencement of work.	
7	It is the responsibility of the Builder to ensure all required inspections are carried out and the Builder and/or the Applicant to ensure the requested certificates are supplied to Building Certification Group.	
8	Occupation or use of any part of a building for which a Certificate of Classification is required to be issued unless the Certificate has been issued and remains in force - Building Act 1975, Section 114.	
9	Please note that upon inspection of the building works additional certificates may be requested other than those listed in this decision notice in the Required Certificates section above.	
10	The height of dwelling must not exceed 9.5m above Natural Ground Level.	
Prior to Construction		
1	All services to be located prior to commencement of work and where applicable reinstated. Builder to ensure any Council services are not damaged during construction.	
2	If Sewer or Stormwater services are found to be not complying with QDC MP1.4 in relation to the building works, Building Certification Group is to be informed immediately to determine if any further approvals are	

ATTACHMENT A

BUILDING CONDITIONS

required before work can continue.

Site Preparation & Drainage

- 1 Gutter, Downpipes and Box Gutters (if applicable) shall be fitted to comply with the BCA, Part 3.5.2 and AS3500. Gutters and downpipes <450mm from the property boundary to be non-combustible (PVC is non-compliant).
- 2 Lead Flashing must not be used on any roof that is part of a Potable Water Catchment Area.
- 3 Retaining Walls - If applicable, all components of the retaining wall/s including blockwork, boulders, sleepers, drainage pipes, granular backfill, etc are to be wholly located within the subject property and not encroach onto the neighbouring property.
- 4 Retaining Walls and Fences - If applicable, retaining walls over 1 metre high need building approval and an engineer's Form 15 Design Certificate. Fences can be up to 2 metres in height above natural ground level without needing approval. The combined height of a retaining wall and fence is not to exceed 2 metres above natural ground level without approval. Retaining walls within 1.5 metres from another structure require approval.
- 5 Roofwater to be piped to a legal point of discharge.
- 6 Site drainage to comply with the BCA, Part 3.1.2 and AS3500.5.

Foundations & Termite Protection

- 1 Footings and slabs to be constructed in accordance with the engineers design report.
- 2 Termite protection to be provided in accordance with the BCA, Part 3.1.3 and AS3660.

Framing & Cladding

- 1 All timber to be treated to the correct hazard class for the level of exposure and the type of timber product used.
- 2 Ensure point loads are adequately supported.
- 3 Ensure that a permanent access point to the sub-floor area is provided to allow for regular termite inspections and maintenance.
- 4 Timber framing to comply with AS1684.2 - 2010: Residential timber-framed construction manual, the Building Code of Australia and any relevant manufacturer's specifications.

Fire Safety

- 1 Walls and eaves within 900mm of the side or rear boundaries must comply with the BCA, Part 3.7.1.

Health & Amenity

- 1 Ensure the ceiling heights comply with the requirements of the BCA, Section 3.8.2.;
 - Habitable Rooms - Minimum 2400mm from finished floor to finished ceiling,
 - Non-Habitable Rooms - Minimum 2100mm from finished floor to finished ceiling,
 - Stairs - Minimum 2000mm above the stair nosing line.
- 2 Sub-floor Ventilation to comply with BCA, Part 3.4.1.

Safe Movement & Access

- 1 Stairs or steps to comply with BCA, Part 3.9.1. Stairs, ramps and landings to comply with Part 3.9.1.4. for slip resistance. Balustrades, handrails and bedroom window screening to comply with the BCA, Part 3.9.2 and AS1170.1. Refer to the Building Code of Australia and the Australian Standard for construction requirements.

Advisory Notes

- 1 Adjoining properties to be protected from damage during construction.
- 2 Adjoining property owners to be notified prior to commencement of building works.
- 3 Any cutting or filling of the site, or construction of retaining walls or other structure on the site, shall not jeopardise any existing overland flow drainage system or cause ponding or nuisance stormwater to neighbouring properties.
- 4 Check with Department of Primary Industries on 13 25 23 to check if property is in a Fire Ant Restricted Area.

ATTACHMENT A

BUILDING CONDITIONS

- 5 Comply with all statutory requirements under the Workplace Health & Safety Act.
- 6 Erosion and sediment control measures must be in place before commencing work on site.
- 7 Natural Ground Level (NGL) in relation to an allotment, means the ground level of the allotment at the date of registration of the title deed for that allotment as per the Building Regulation 2006 Schedule 4 Definition.
- 8 Owner to ensure that the appropriate Queensland Building and Construction Commission Insurance is paid prior to the commencement of every contracted segment of work, prior to a new builder commencing work on site and where there is an increase in the value of work.

Appeal rights

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Appeal by an applicant

An applicant for a development application may appeal to the Planning and Environment Court against the following:

- the refusal of all or part of the development application
- a provision of the development approval
- the decision to give a preliminary approval when a development permit was applied for
- a deemed refusal of the development application.

An applicant may also have a right to appeal to the Development tribunal. For more information, see schedule 1 of the *Planning Act 2016*.

Appeal by a submitter

A submitter for a development application may appeal to the Planning and Environment Court against:

- any part of the development application for the development approval that required impact assessment
- a variation request.

The timeframes for starting an appeal in the Planning and Environment Court are set out in section 229 of the *Planning Act 2016*.

Attachment 2 is an extract from the *Planning Act 2016* that sets down the applicant's appeal rights and the appeal rights of a submitter.

ATTACHMENT 2

APPEAL RIGHTS UNDER THE PLANNING ACT 2016

Chapter 6, Part 1, Section 229 Appeals to Tribunal or P & E Court

1. Schedule 1 states-
 - (a) matters that may be appealed to-
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person-
 - (i) who may appeal a matter (the **appellant**); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
2. An appellant may start an appeal within the appeal period.
3. The **appeal period** is-
 - (a) for an appeal by a building advisory agency-10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal-at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises-20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against an infrastructure charges notice-20 business days after the infrastructure charges notice is given to the person; or
 - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given-30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - (f) for any other appeal-20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.
4. Each respondent and co-respondent for an appeal may be heard in the appeal.
5. If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.

Schedule 1, Table 3 Appeals to a Tribunal only

1. Building advisory agency appeals. An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.
2. Inspection of building work. An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.
3. Certain decisions under the Building Act and the Plumbing and Drainage Act
An appeal may be made against-
 - (a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or
 - (b) a decision under the Plumbing and Drainage Act, part 4 or 5, if an information notice about the decision was given or required to be given under that Act.
4. Local government failure to decide application under the Building Act
An appeal may be made against a local government's failure to decide an application under the Building Act within the period required under that Act.

Development Tribunals

If you are not happy with a decision made by your private certifier, you may be able to appeal to the Development Tribunal.

To appeal to the Development Tribunals you must:

- submit a -Form 10Application for appeal or declaration
<http://www.hpw.qld.gov.au/aboutus/ReportsPublications/FormsTemplates/Pages/DevelopmentTribunalForms.aspx> within the set timeframes
- pay the fee <http://www.hpw.qld.gov.au/construction/BuildingPlumbing/DisputeResolution/Pages/DisputeResolutionFees.aspx>

Contact details for lodging appeals are provided below: -

Building and Development Dispute Resolution Committees

Queensland Department of Housing and Public Works

Postal address: GPO Box 2457, Brisbane Qld. 4001

Registrar Phone: 1800 804 833

Email: registrar@qld.gov.au <mailto:registrar@qld.gov.au>

Website:

<http://www.hpw.qld.gov.au/construction/BuildingPlumbing/DisputeResolution/Pages/BuildingDevelopmentDisputeResolutionCommittees.aspx>

Form 22—Notice of discontinuance of engagement

NOTE	This form is to be used for the purposes of section 144 of the <i>Building Act 1975</i>
1. Notice of discontinuance of engagement. A party to an engagement of a private certifier may, under the engagement, discontinue it. The discontinuance does not take effect until all other parties to the engagement have been given notice.	Date of notice of engagement 17 Nov 2017 Notification of discontinuance has been given to: Cliff & Shirley Weder Cliff & Shirley Weder Brisbane City Council
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (include no., street, suburb / locality & postcode) 1252 Waterworks Road THE GAP QLD Postcode 4061 Lot & plan details (attach list if necessary) 4 on RP 101805 In which local government area is the land situated? Brisbane City Council
3. Building applicant's details If the applicant is a company, a contact person must be shown. All correspondence will be mailed to this address.	Name (in full) Cliff & Shirley Weder Company name (if applicable) Contact person Cliff & Shirley Weder Phone no. business hours 07 3166 8353 Mobile no. Fax no. Email address csweder@live.com Postal address 1252 Waterworks Road THE GAP QLD Postcode 4061
3. Building certifier's details	Name (in full) Angus Valentine Company name if applicable Building Certification Group Contact person Phone no. business hours 1300 130 168 Mobile no. 0413 157 285 Fax no. Email address a.valentine@buildingcertificationgroup.com.au Postal address 6/67 Robinson Road East Virginia QLD Postcode 4014 Licence number A79783

Local Government Use Only

Date Received		Reference Number/s	
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The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Inspection documentation

Under section 148 and 149 of the *Building Act 1975*, any inspection documents to date must be given to the owner of the building and the local government.

List inspection documentation to date

eg:

- a compliance certificate
- a notice, given to the builder for the work by or for the building certifier about an inspection of the work
- a certificate about an inspection under the *Building Act 1975*

Final Inspection Report

Form 16 - Engineer (Footing Inspection)

5. Person discontinuing engagement

Name (*in full*)

Angus Valentine

Company name (*if applicable*)

Building Certification Group

Contact person

Phone no. *business hours*

1300 130 168

Mobile no.

0413 157 285

Fax no.

Email address

info@buildingcertificationgroup.com.au

Postal address

6/67 Robinson Road East

Virginia

Postcode 4014

Licence number (*if applicable*)

A79783

Signature

Angus Valentine

Date

03 Aug 2020

Reason for discontinuance

Required Certificates not provided prior to the lapsing date, resulting in cancellation of Building Application.



Form 16—Inspection Certificate/Aspect Certificate/QBCC Licensee Aspect Certificate

Version 5 – July 2017

NOTE: This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the Building Regulation 2006 or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☒

Inspection Certificate for

☒

Stage of building work (for single detached class 1a or class 10 building or structure)

(indicate the stage)

☐

Aspect of building work

(indicate the aspect)

☐

QBCC Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building and Construction Commission Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

2. Property description

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb/locality and postcode)

1252 Waterworks Road

The Gap QLD.

Postcode 4061

Lot and plan details (attach list if necessary)

Lot 4 on RP 101805

In which local government area is the land situated?

BRISBANE CITY COUNCIL

3. Building/structure description

Building/structure description

Class of building/structure

Proposed Alterations to Existing Residence

1 to 10

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED		REFERENCE NUMBER/S	
---------------	--	--------------------	--

4. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	14/8/18 – Block wall Founding Material and Footing Reinforcement Inspection 	
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Australian Standard AS1170.1, AS1170.2, AS1684 N2, AS1720, AS2870, AS3600, and AS4100. 	
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Engineering drawings by GDS Consulting Engineers, Job Number 5745, Sheets 01 to 04, All Issue 'B', dated 20/06/18. Geotechnical Soil Report not provided. Site Classification 'M' <i>assumed</i> in accordance with AS2870, Confirm on-site during construction. 	
7. Building certifier reference number and development approval number	Building certifier reference number 	Development approval number
8. Building certifier, competent person or QBCC licensee details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) CARL R CONRAN Company name if applicable GDS Consulting Engineers Contact person Carl Conran Phone no. (business hours) 07 3355 1975 Mobile no. 0412 672 514 Fax no. n/a Email address carl@gds.net.au Postal address 36 Mirbelia Street Everton Hills Postcode 4053 Licence class RPEQ Licence number 7799 Date approval to inspect received from building certifier 	
9. Signature of building certifier, competent person or QBCC licensee Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.	Signature 	Date 24/8/18



Tuesday, 2 June 2020

BCG Ref No:	00060126
Site Address:	1252 Waterworks Road THE GAP
RPD:	Lot 4 on RP 101805
Building Work:	New Construction of Patio Roof over existing Deck
Inspection Date:	02 Jun 2020
Inspector:	Gareth Martin
Inspector Signature:	

Final Inspection Report: Inspection Incomplete

This certificate is supplied in accordance with the Building Regulation 2006, Section 32(2).

Explanation of terms:

An Inspection Incomplete result means work must NOT continue, items listed are to be completed and/or provided to BCG as noted. BCG will confirm items listed have been completed satisfactorily by issuing an Inspection Satisfactory certificate before work can continue.

The following certificates must be provided;

Form 16 - Footing Inspection	- To be provided from an RPEQ Engineer for the inspection of the footing excavations.
Form 16 - Termite Protection	- To be provided from a QBCC licensee certifying the installation of the termite management system in accordance with BCA Part 3.1.3 and AS3660-2014. Please also include the Certificate of Installation containing full details of the termite management system installed and diagram showing the location of the termite system components.
Form 16 - Surveyor (As Constructed)	- To be provided from a Registered Cadastral Surveyor certifying the finished building works are located as per the approved plans.

Additional Comments (if any)

Please forward the requested information at your earliest convenience via email to j.madero@buildingcertificationgroup.com.au If you wish to discuss the content of this inspection report, please call us on 1300 130 168.



Information Regarding Appeals

Planning Act 2016

S229 Appeals to tribunal or P & E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - i. either a tribunal or the P&E Court; or
 - ii. only a tribunal; or
 - iii. only the P&E Court; and
 - (b) the person—
 - i. who may appeal a matter (the ***appellant***); and
 - ii. who is a respondent in an appeal of the matter; and
 - iii. who is a co-respondent in an appeal of the matter; and
 - iv. who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The ***appeal period*** is—
 - (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
 - (b) n/a; or
 - (c) n/a; or
 - (d) n/a; or
 - (e) n/a; or
 - (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Schedule 1, Table 3 Appeals to a Tribunal only

2. Inspection of building work.

An appeal may be made against a building certifier or referral agency about the inspection of building work that is subject of a building development approval under the Building Act.

3. Certain decisions under the Building Act and the Plumbing and Drainage Act.

An appeal may be made against—

- (a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under the Act; or
- (b) n/a.

Contact the **Building and Development Dispute Resolution Committee** to undertake an appeal relating to an information notice.

Building and Development Dispute Resolution Committee
GPO Box 2457
Brisbane QLD 4001

Phone: 1800 804 833
Email: registar@qld.gov.au

BCERT

From: j.madero@buildingcertificationgroup.com.au
Sent: Monday, 3 August 2020 3:47 PM
To: BCERT; j.madero
Subject: File 00060126 - Lot 4 / RP 101805 - 1252 Waterworks Road THE GAP - A004792458
Attachments: Form 22 - Notice of Disengagement-3.pdf; Form 16 - Footing Inspection-1.pdf; Final Inspection - Report-3.pdf

This email originates from outside of Brisbane City Council.

Good afternoon,

RE: A004792458

Please be advised this application has lapsed, find enclosed the Form 22 - Notice of Disengagement and any available inspection documentation for inspection of the building work currently on file.

Regards

Julia Madero



Julia Madero

Administrator

D: 07 3872 2430 / P: 1300 130 168

6/67 Robinson Road East, Virginia QLD 4014