

AMENDED IN RED
12/10/2021

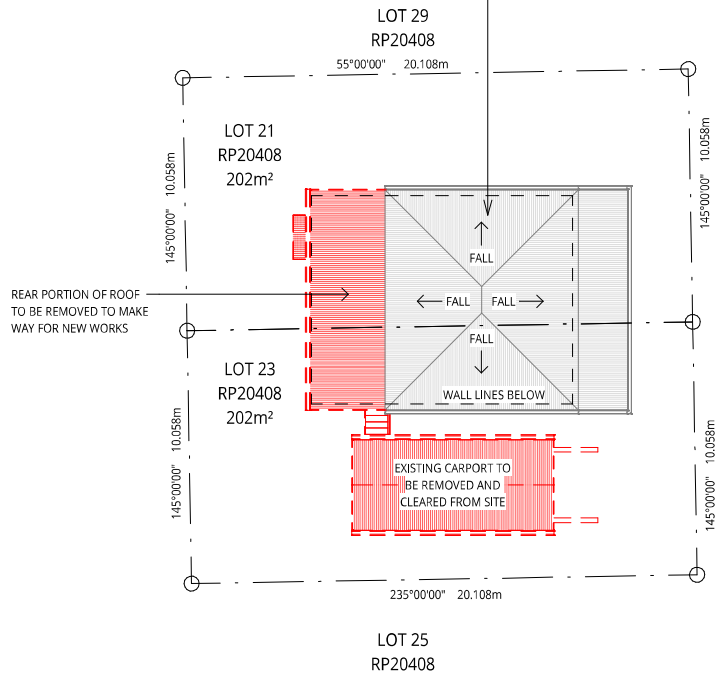
~~PLANS AND DOCUMENTS referred to in the NEGOTIATED DECISION Dated: 7/07/2022~~

BCC DS
LODGED
07-06-2023
APPLICATION REF
A006291062

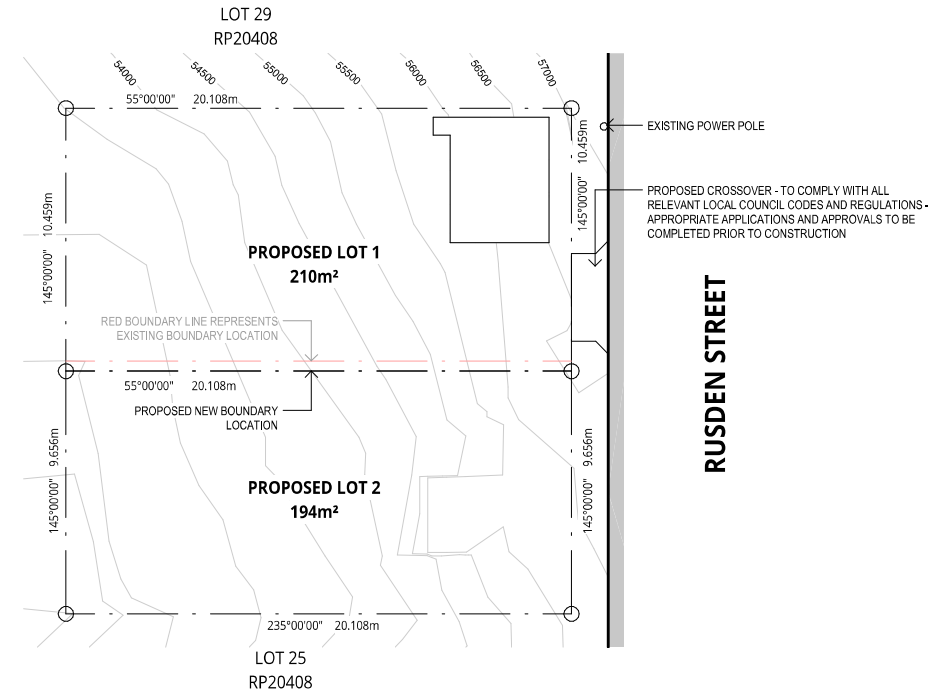
PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL
Issued: 07/07/2022
Minor change: 26/07/2023

BCC DS
RECEIVED
04-MAY-2026
APPLICATION REF
A007016419

EXISTING DWELLING
TO BE RAISED, RE-LOCATED AND RENOVATED IN NEW WORKS



1 SITE PLAN ~~EXISTING~~ Demolition
SCALE 1 : 200



2 SUBDIVISION PLAN
SCALE 1 : 200

Neighbouring Property Consent
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30-08-2021
APPLICATION REF
A005719403

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

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DIMENSIONS
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Real Property Description	Amendments	auth	proj/pt
Lot No.: 21 Area: 208	08.10.15 A EXISTING	JK	RG
File No.: RP20408	30.10.15 B SKETCH DESIGN	HR	RG
Parish: ENOGGERA	10.11.15 C DD_01	HR	RG
County: STANLEY	21.06.19 D DD_02	DM	AT
Authority: BRISBANE C.C.	09.04.21 E DD_03	AC	AT
	09.08.21 F DD_04	AC	AT



SYNERGY BUILDING DESIGN
QBSA LIC NO. 1165884
Shop A/19 Stamford Road, Alderley, Queensland, 4051
P.O. Box 807, Everton Park, Queensland, 4053
+61 7 3613 0030
synergybd.com.au

Drawing Title
EXISTING SITE PLAN
Client
BHAUDEEP SINGH DHILLON
13 RUSDEN STREET KELVIN GROVE, QLD 4059

Project Name
RUSDEN RENOVATION

1 : 200
SCALE AT A3
0896
JOB NUMBER
A 01-01
DRAWING

REVISION
F

PROPERTY DESCRIPTION:

LOT:	LOT 21 ON RP20408 - PROPOSED LOT 1
PARISH:	ENOGGERA
COUNTY:	STANLEY
SITE ANALYSIS:	
AREA:	210m ²
SITE COVERAGE:	110m ² 52.38%

LEGEND

COC	CUSTOMORB COLORBOND SHEET - SELECTED COLOUR
FNC10	FENCING TO CLIENTS SELECTION

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SITE NOTE

Contours and levels shown are provided by a Licensed Surveyor
Topography shown is based on an assumed datum point
All survey pegs are to be located prior to earthworks
Surface water to be drained away from dwelling (provide a 1:20 min. fall)
Unless noted otherwise, removal of existing trees and construction of retaining walls, where required, shall be provided by the owner
Maximum batters shall occur as follows:-
(i) cut - 1:1
(ii) fill - 1:2
(iii) vehicular access - 1:4
The working PAD R.L. noted on the site plan shall have a tolerance of up to +/- 100mm

STORMWATER NOTE

Downpipes to connect to stormwater lines or to street. Builder/Roof Plumber to ensure that all gutters/downpipes comply with NCC Vol. 1 Part 3.5. Prior to any excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services.

DATA SUPPLY NOTE

Contours and site data supplied by surveyor. Services shown herein have been located where possible by surveyor.

FIRE ANT NOTE

Prior to any removal of soil on site, builder to check fire ant regulation zone.

SERVICES NOTE

Location of service items (eg. meter box, gas meter) subject to confirmation of site services pits.

BUILDING & DESIGN NOTES

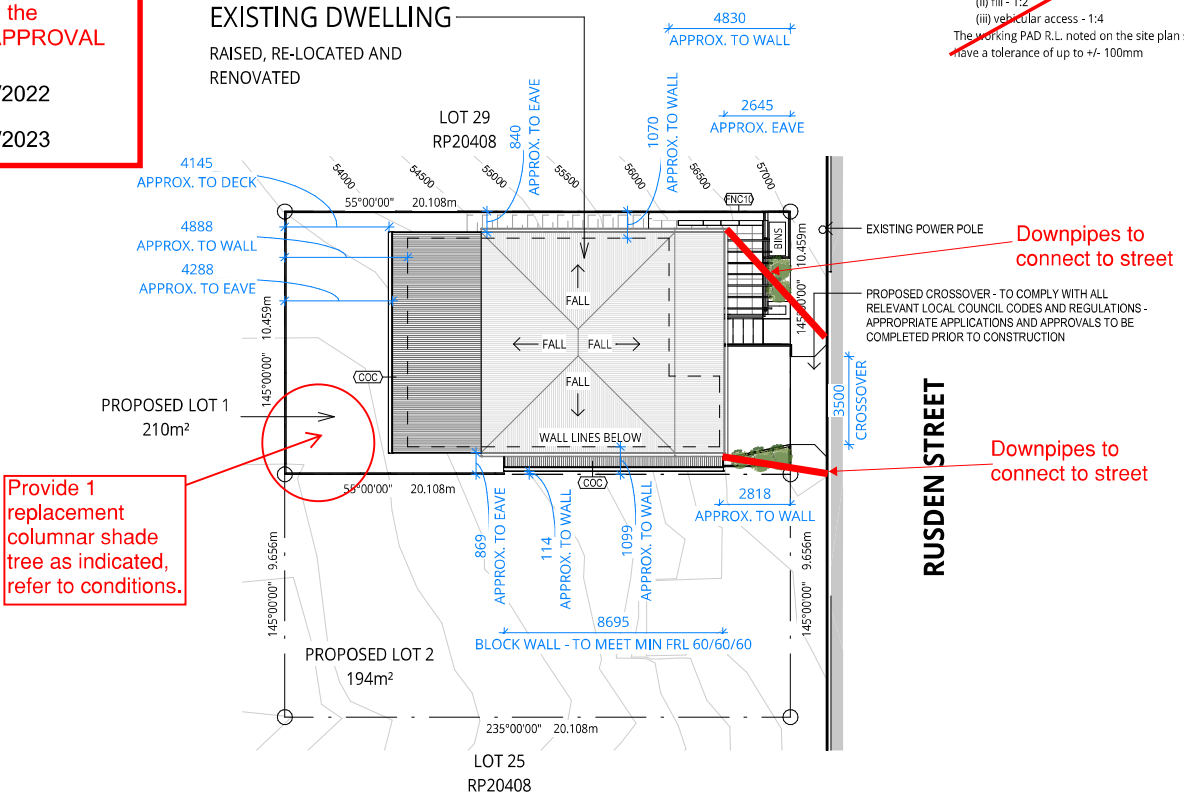
Building regulatory legislation as per the Queensland Building Act 1975.
Structural sufficiency, safety, health and amenity shall be achieved in accordance with the National Construction Code (NCC) and relevant Australian Standards (AS).
All building works to comply with local authorities erosion and sediment control standards.
Timber framing shall be designed and constructed in accordance with AS1684.2 and AS1684.4 - Non-Cyclonic Areas and AS1684.3 Cyclonic Areas.
Masonry construction to comply with NCC Vol.2 Part 3.3 and AS3100.
External walls to achieve R2.0, roofs to achieve R2.5. Roof and wall cladding to comply with NCC Vol.2 Part 3.5.
Gutters and downpipes to comply with NCC Vol.2 Part 3.5.
All downpipe locations, underground services (stormwater, etc.) to be located before construction commences.
Fire safety in accordance with NCC Vol.2 Part 3.7. Provision of fire protection penetrations for services to comply with NCC Vol.1 Part C3.12 to C3.16.
Provision of fire extinguishers to comply with the requirements of AS2444.
Position of smoke alarms within units to comply with NCC Vol.2 Part 3.7.2.
Wet areas to comply with NCC Vol.2, Part 3.8.1 and AS 3730.
Door to sanitaries compartments on the ground floor to be readily openable from the outside.
Shower screens to be installed in accordance with AS2047 and AS1288.
Internal stair construction and balustrades in accordance with NCC Vol.2 Part 3.9.
Door handles to required exits to be lever action complying with the requirements of NCC Vol.1 Part D2.21.
Energy efficiency in accordance with NCC Vol.2 Part 3.12 and external consultants report where applicable.
Light and ventilation in accordance with BCA Parts 3.8.4 and 3.8.5 plus relevant AS.
Glazing to be in accordance with AS1288 and AS2047 and BCA Vol.2 Part 3.6.
Sound insulation in accordance with BCA Vol.2 Part 3.8.6 and external consultant where applicable.
External ground levels adjacent to building shall be in accordance with BCA Vol.2 Part 3.1.2.3.
Sewer work to be carried out in accordance with local authorities requirements.
Builder to provide final clearance certificate from local authority.

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EXISTING DWELLING

RAISED, RE-LOCATED AND RENOVATED



SITE PLAN
SCALE 1 : 200

NOTE:
SITE SETBACKS ARE APPROXIMATE - LOCATION SURVEY REQUIRED BY LICENSED SURVEYOR PRIOR TO CONSTRUCTION.

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synergycbd.com.au

Drawing Title
SITE PLAN
Project Name
RUSDEN RENOVATION
Client
BHAUDEEP SINGH DHILLON
13 RUSDEN STREET KELVIN GROVE, QLD 4059

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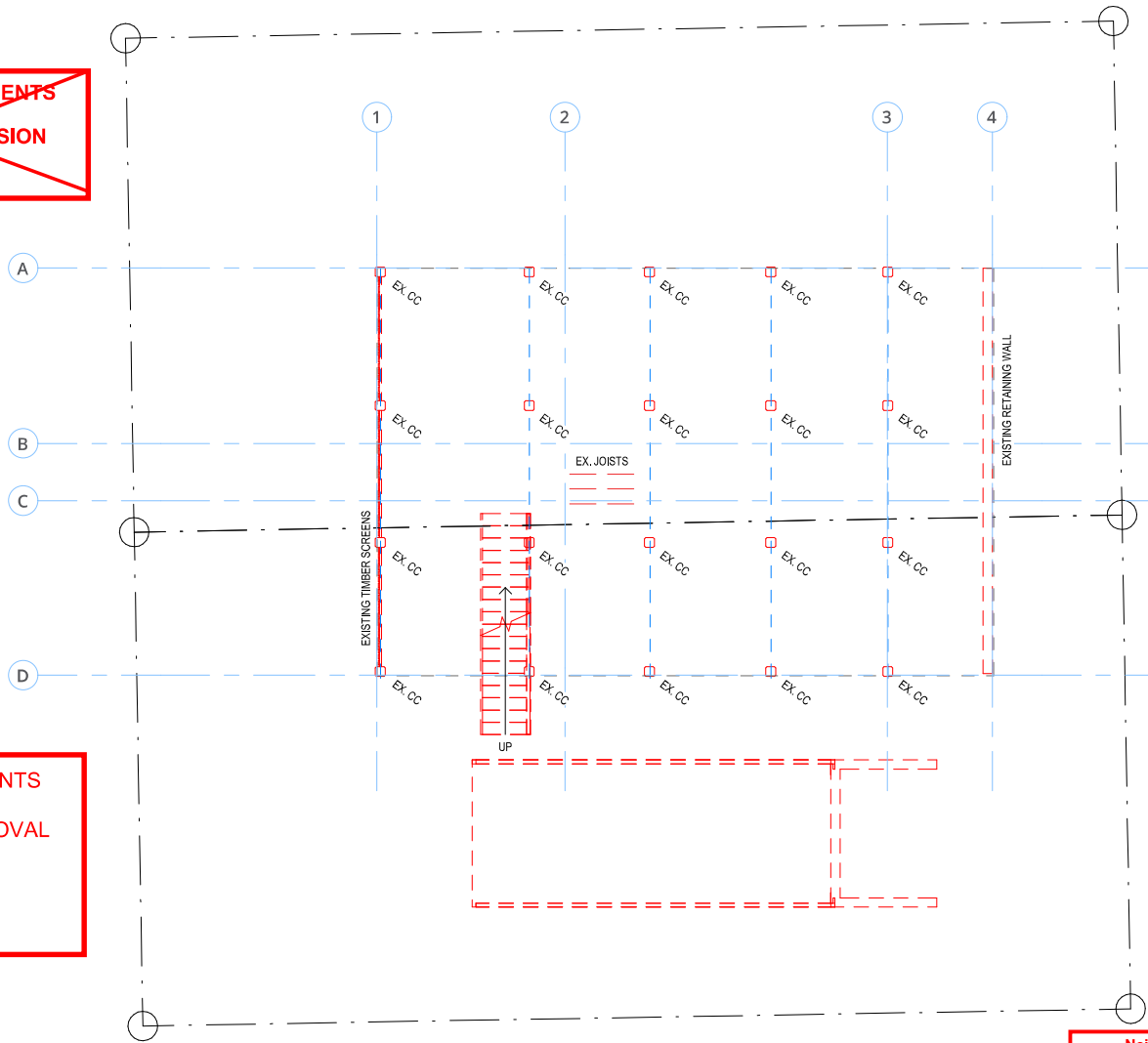
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DEMOLITION LEGEND

CORE AREA NOT IN SCOPE OF WORKS

EX-? 2700m

SYMBOL INDICATES EXISTING CEILING TYPE AND HEIGHT FROM FINISHED FLOOR LEVEL. CONFIRM ON-SITE

--- --

EXISTING PARTITION TO BE DEMOLISHED

====

EXISTING PARTITION TO REMAIN

== ==

EXISTING GLAZED PARTITION TO BE DEMOLISHED

=====

EXISTING GLAZED PARTITION TO REMAIN



EXISTING DOOR AND ASSOCIATED HARDWARE TO BE DEMOLISHED



EXISTING DOOR AND DOOR HARDWARE TO BE RELOCATED REFER TO DOOR SCHEDULE AND DETAILS DWG. 4.10-01



EXISTING DOOR AND ASSOCIATED HARDWARE TO REMAIN

[---]

EXISTING SUSPENDED GRID AND TILE CEILING TO BE DEMOLISHED

[---]

EXISTING GLAZED PARTITION TO BE DEMOLISHED

DEMOLITION NOTES

- THE CONTRACTOR IS TO COMPLETE A PHOTOGRAPHIC AND WRITTEN DILAPIDATION REPORT PRIOR TO COMMENCEMENT OF DEMOLITION WORKS TO RECORD THE CONDITION OF THE EXISTING TENANCY. NOTE: DILAPIDATION REPORT TO BE SUBMITTED TO PROJECT MANAGER / DESIGNER FOR INSPECTION.
- ALL DEMOLITION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND BUILDING OWNER REQUIREMENTS / CENTRE GUIDELINES ETC. (IF APPLICABLE)
- CONTRACTOR TO MAKE GOOD ANY DAMAGE ARISING OUT OF DEMOLITION WORK INCLUDING, BUT NOT LIMITED TO, CEILINGS, PERIMETER, CORE WALLS AND COLUMNS, SKIRTING AND FLOOR FINISH.
- PROVIDE DUST-PROOF SCREENS AND COVERS TO PROTECT EXISTING FINISHES AND THE IMMEDIATE ENVIRONMENT FROM DUST AND DEBRIS.
- UNLESS OTHERWISE NOTED, ALL ITEMS INDICATED AS DEMOLISHED ARE TO BE REMOVED FROM SITE AND DISPOSED OF BY BUILDER/CONTRACTOR.
- CARE IS TO BE TAKEN WHEN EXISTING FINISHES ARE BEING REMOVED TO ENSURE NO EXISTING SERVICES ARE DAMAGED OR DISTURBED UNLESS INTENDED.
- REFER TO AND COORDINATE ALL WORKS WITH SERVICES ENGINEERS DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO COORDINATE & REFER TO STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS FOR REQUIREMENTS OF DEMOLITION OF STRUCTURAL ELEMENTS.

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ALL LEVELS TO BE DETAIL SURVEYED PRIOR TO CONSTRUCTION

GROUND EXISTING Demolition Plan

SCALE 1 : 100

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

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		21.06.19	D	DD_02	DM AT
		09.04.21	E	DD_03	AC AT
		09.08.21	F	DD_04	AC AT



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PO Box 807, Everton Park, Queensland, 4053
+61 7 3613 0030
synergied.com.au

Drawing Title
EXISTING PLAN GROUND
Client
Ground Demolition Plan
BHAUDEEP SINGH DHILLON
13 RUSDEN STREET KELVIN GROVE, QLD 4059

Project Name
RUSDEN RENOVATION

1 : 100
SCALE AT A3
0896
JOB NUMBER

A 02-01
DRAWING

REVISION
F

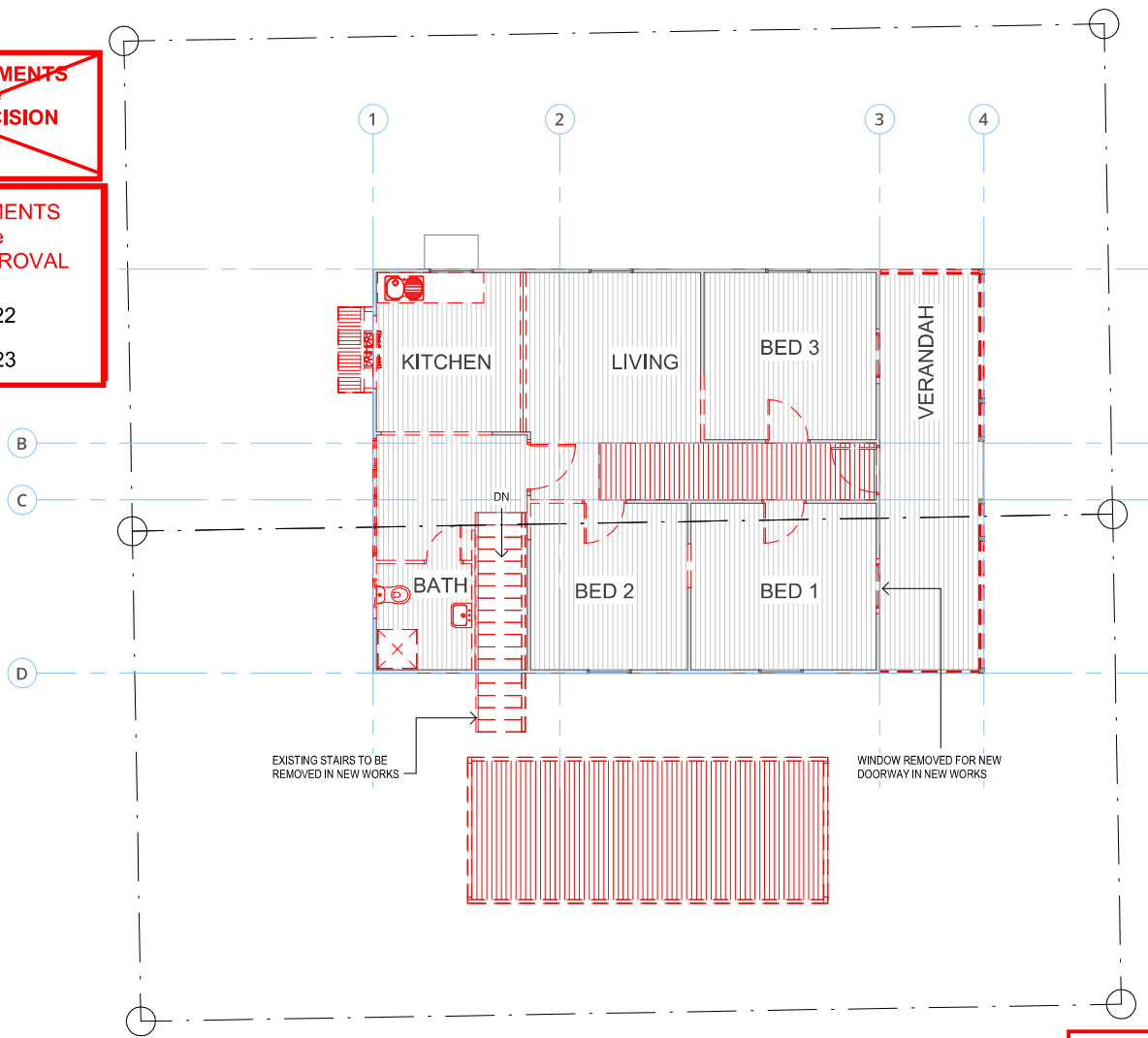
synergied.com.au A31076-000001

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DEMOLITION LEGEND

CORE AREA NOT IN SCOPE OF WORKS

- EX-2 2700m**: SYMBOL INDICATES EXISTING CEILING TYPE AND HEIGHT FROM FINISHED FLOOR LEVEL. CONFIRM ON-SITE
- : EXISTING PARTITION TO BE DEMOLISHED
- ==**: EXISTING PARTITION TO REMAIN
- : EXISTING GLAZED PARTITION TO BE DEMOLISHED
- ==**: EXISTING GLAZED PARTITION TO REMAIN
- : EXISTING DOOR AND ASSOCIATED HARDWARE TO BE DEMOLISHED
- : EXISTING DOOR AND ASSOCIATED HARDWARE TO BE RELOCATED. REFER TO DOOR SCHEDULE AND DETAILS DWG 4.10-01
- : EXISTING DOOR AND ASSOCIATED HARDWARE TO REMAIN
- : EXISTING SUSPENDED GRID AND TILE CEILING TO BE DEMOLISHED
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ALL LEVEL
DETAILS
PRI

1
A 03-03

LEVEL 1 EXISTING Demolition Plan
SCALE 1 : 100

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synergied.com.au

Drawing Title: ~~EXISTING PLAN~~ LEVEL 1 Demolition Plan
Project Name: RUSDEN RENOVATION
Client: BHAUDEEP SINGH DHILLON
13 RUSDEN STREET KELVIN GROVE, QLD 4059

1 : 100
SCALE AT A3
0896
JOB NUMBER
A 02-02
DRAWING

REVISION
F

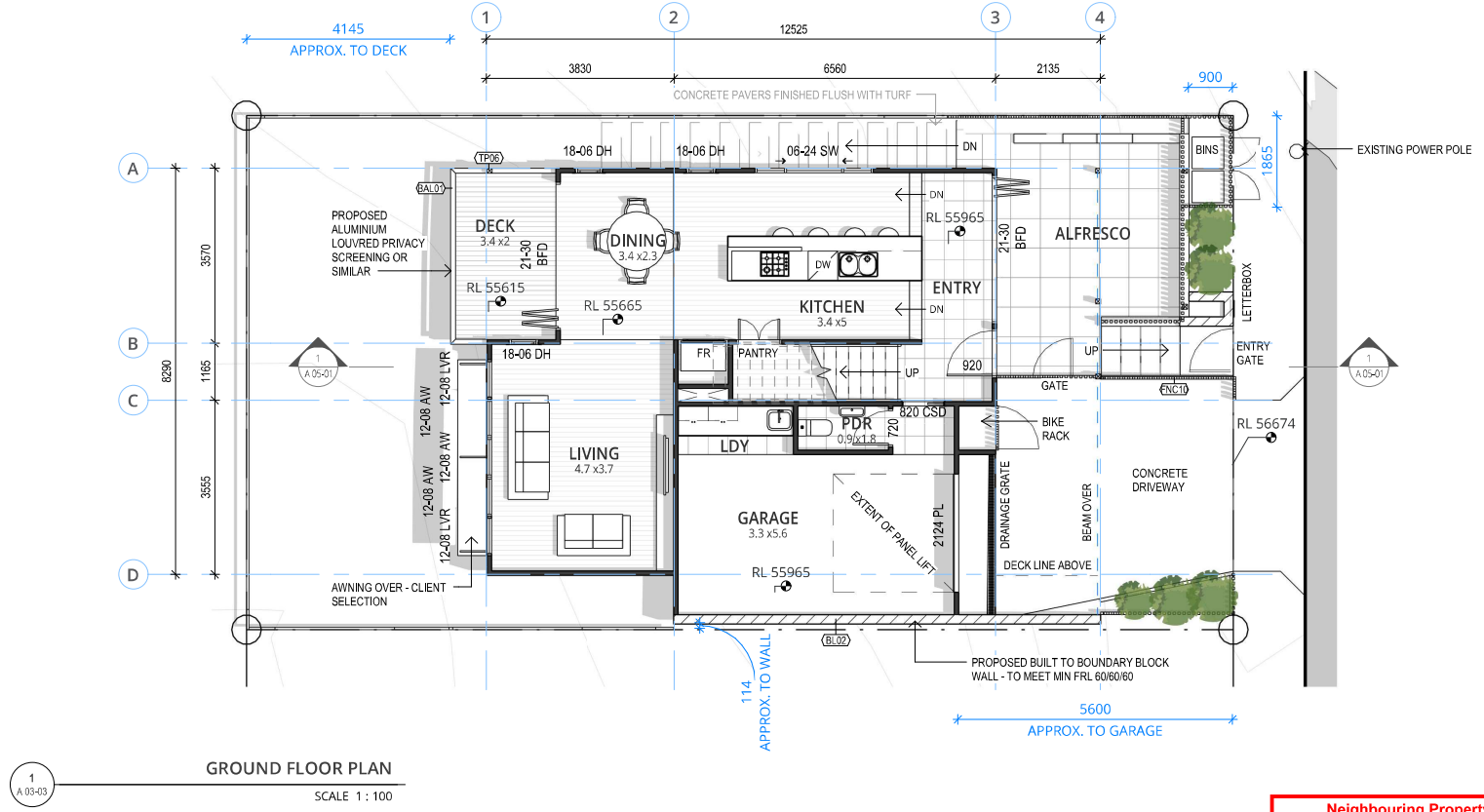
LEGEND

- BAL01 1000mm HIGH BALUSTRADING TO CLIENTS SELECTION
- BL02 190 BLOCK WALL - RENDERED AND PAINTED
- FNC10 FENCING TO CLIENTS SELECTION
- TP06 100SQ. HWD TIMBER POST

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GROUND FLOOR PLAN
 SCALE 1 : 100

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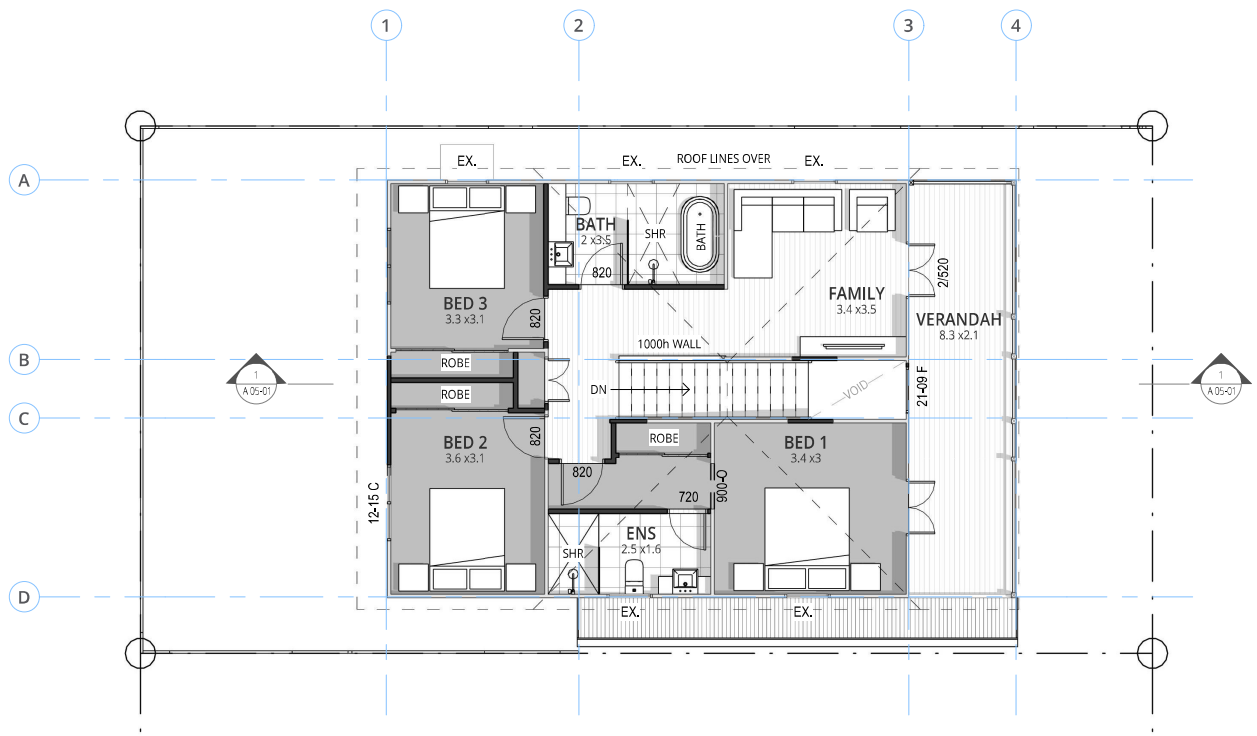
Drawing
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1
A 02-03
LEVEL 1 FLOOR PLAN
SCALE 1 : 100

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STANLEY		09.04.21	E	DD_03	AC AT
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SYNERGY
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original issue via A3/D37x40x140

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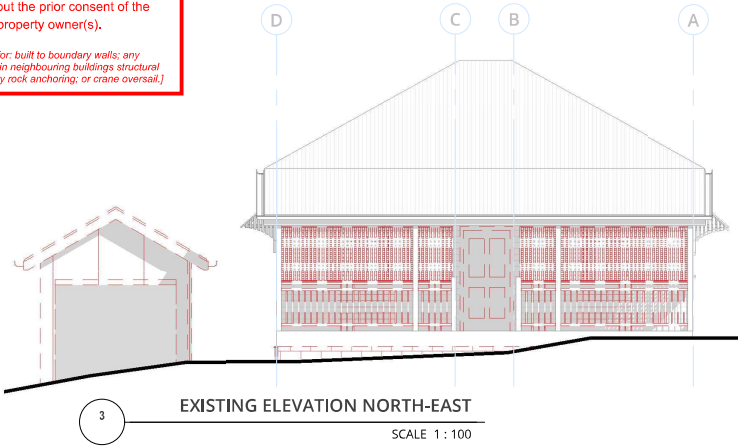
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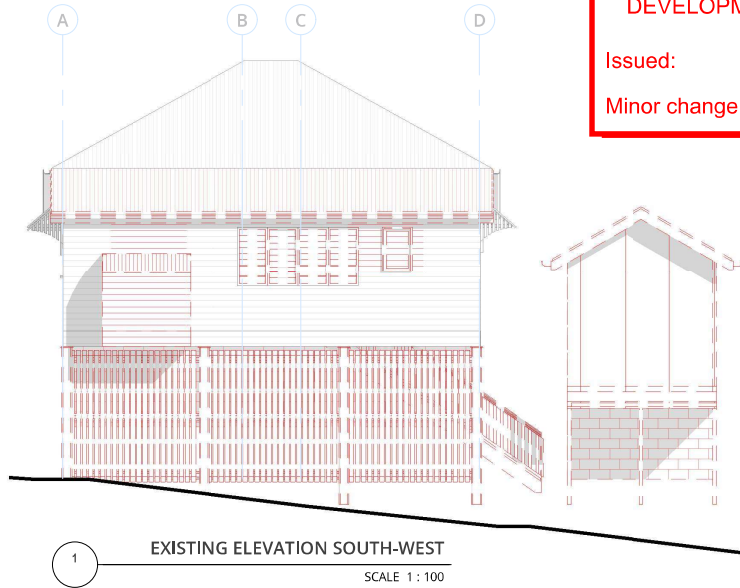
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EXISTING ELEVATION NORTH-EAST

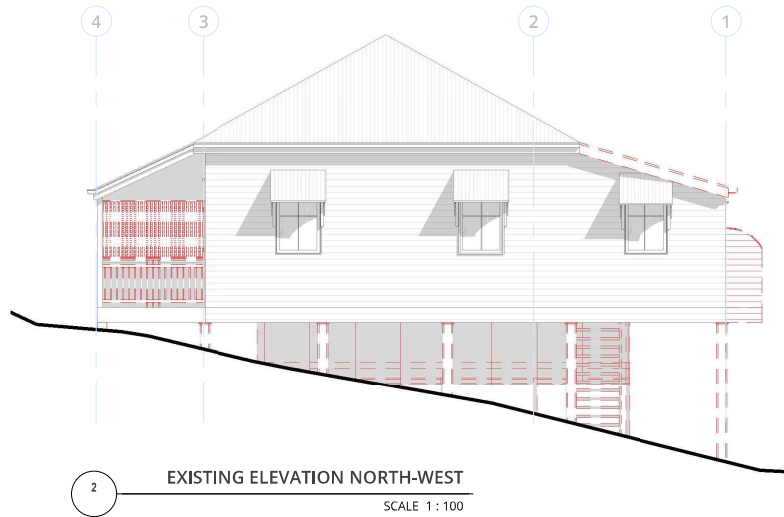
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EXISTING ELEVATION SOUTH-WEST

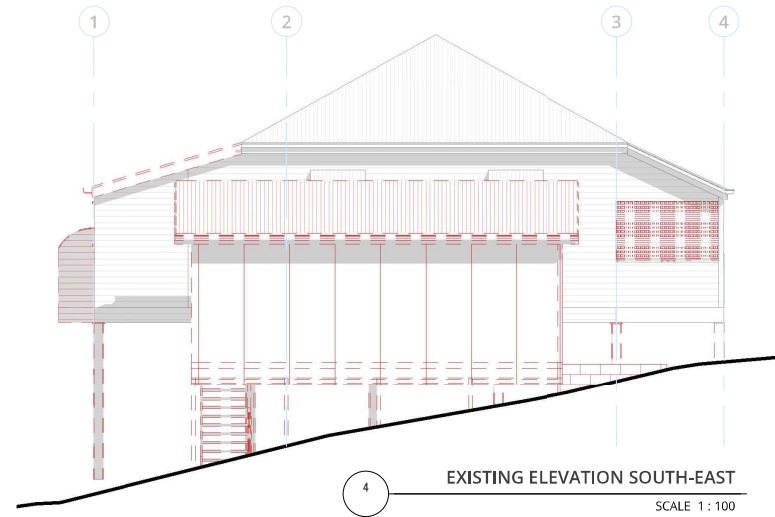
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EXISTING ELEVATION NORTH-WEST

SCALE 1 : 100



EXISTING ELEVATION SOUTH-EAST

SCALE 1 : 100

BCC DS RECEIVED
30-08-2021
APPLICATION REF
A005719403

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

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DIMENSIONS
Use figured dimensions only. DO NOT SCALE. Check all dimensions on site prior to fabrication or service.

Real Property Description
Lot No.: 21 Area: 208
Plan No.: RP20408
Parish: ENOGGERA
County: STANLEY
Authority: BRISBANE C.C.

Issue	Date	Description	Auth	Proj/Ref
A	08.10.15	EXISTING	JK	RG
B	30.10.15	SKETCH DESIGN	HR	RG
C	10.11.15	DD_01	HR	RG
D	21.06.19	DD_02	DM	AT
E	09.04.21	DD_03	AC	AT
F	09.08.21	DD_04	AC	AT



SYNERGY BUILDING DESIGN
QBSA LIC NO. 1165884
Shop A 19 Samford Road, Alderley,
Queensland, 4051
P.O. Box 807, Everton Park, Queensland, 4053
+61 7 3613 0030
synergied.com.au

EXISTING ELEVATIONS Demolition Plan
Client:
BHAUDEEP SINGH DHILLON
13 RUSDEN STREET KELVIN GROVE, QLD 4059

Project Name
RUSDEN RENOVATION

1 : 100
SCALE AT A3

0896 A 03-01
JOB NUMBER DRAWING

REVISION
F

AMENDED IN RED

12/10/2021

~~PLANS AND DOCUMENTS referred to in the NEGOTIATED DECISION Dated: 7/07/2022~~

BCC DS RECEIVED 04-MAY-2026 APPLICATION REF A007016419

GENERAL CLADDING NOTE

ALL CLADDING TO BE FIXED AS PER MANUFACTURERS DETAILS.

CEILING / SOFFIT FIXING NOTE

FOR RAFTERS / TRUSSES AT > 600 CTRS FIXED TO BATTENS @ 600 CTRS. 32x45 MGPI0 OR STRAMIT 22x34 CEILING BATTEN OR EQUIVALENT. FOR RAFTERS / TRUSSES < 600 CTRS FIXED DIRECTLY TO U/S RAFTERS / TRUSS

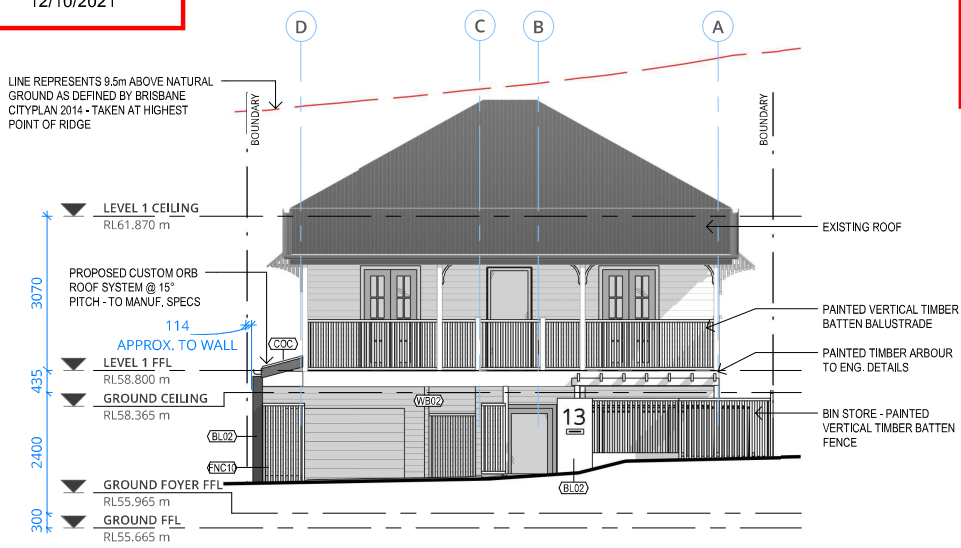
LVL/SOFTWOOD EXPOSURE NOTE:

ALL UNTREATED SOFTWOOD TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CLAD.

LEGEND

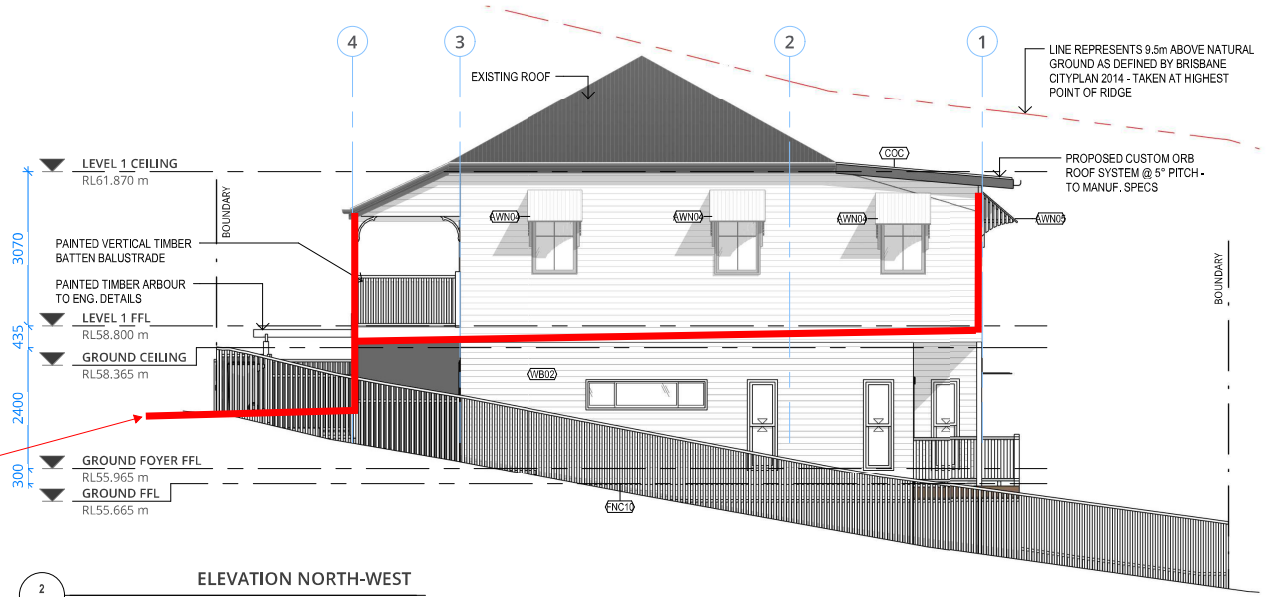
- AWN04 EXISTING TRADITIONAL METAL WINDOW HOOD
AWN05 TRADITIONAL METAL WINDOW HOOD
BL02 190 BLOCK WALL - RENDERED AND PAINTED
COC CUSTOMORB COLORBOND SHEET - SELECTED COLOUR
FN10 FENCING TO CLIENTS SELECTION
WB02 WEATHERBOARD OR SIMILAR TO MATCH EXISTING

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL
Issued: 07/07/2022
Minor change: 26/07/2023



ELEVATION NORTH-EAST

SCALE 1: 100



ELEVATION NORTH-WEST

SCALE 1: 100

Neighbouring Property Consent
This approval does not authorise or give permission to enter onto, under or over any neighbouring private properties to survey or carryout any works without any prior consultation or without the prior consent of the relevant land or property owner(s).

BCC DS RECEIVED 30/08/2021 APPLICATION REF A005719403

Downpipes to connect to street

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

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Table with columns: Real Property Description, Amendments, Issue, Description, Auth, and Proj/Pr.



SYNERGY BUILDING DESIGN
QBSA LIC NO. 1165884
Shop A/19 Samford Road, Alderley, Queensland, 4051
P.O. Box 807, Everton Park, Queensland, 4053
+61 7 3613 0030
synergied.com.au

Drawing Title: PROPOSED ELEVATIONS 1
Project Name: RUSDEN RENOVATION
Client: BHAUDEEP SINGH DHILLON
13 RUSDEN STREET KELVIN GROVE, QLD 4059

Project Name: RUSDEN RENOVATION

1: 100 SCALE AT A3

0896 JOB NUMBER

A 03-03 DRAWING



AMENDED IN RED

12/10/2021

LINE REPRESENTS 9.5m ABOVE NATURAL GROUND AS DEFINED BY BRISBANE CITYPLAN 2014 - TAKEN AT HIGHEST POINT OF RIDGE

PROPOSED CUSTOM ORB ROOF SYSTEM @ 5° PITCH - TO MANUF. SPECS

EXISTING ROOF

LEVEL 1 CEILING
RL61.870 m

LEVEL 1 FFL
RL58.800 m

GROUND CEILING
RL58.365 m

GROUND FOYER FFL
RL55.965 m

GROUND FFL
RL55.665 m

300

2400

435

3070

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ELEVATION SOUTH-EAST

SCALE 1 : 100

PLANS AND DOCUMENTS referred to in the NEGOTIATED DECISION

Dated: 7/07/2022

GENERAL CLADDING NOTE

ALL CLADDING TO BE FIXED AS PER MANUFACTURERS DETAILS.

CEILING / SOFFIT FIXING NOTE

FOR RAFTERS / TRUSSES AT > 600 CTRS FIXED TO BATTENS @ 600 CTRS. 32x45 MGP10 OR STRAMIT 22x34 CEILING BATTEN OR EQUIVALENT. FOR RAFTERS / TRUSSES < 600 CTRS FIXED DIRECTLY TO U/S RAFTERS / TRUSS

LVL/SOFTWOOD EXPOSURE NOTE:

ALL UNTREATED SOFTWOOD TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CLAD.

LEGEND

- AWN04 EXISTING TRADITIONAL METAL WINDOW HOOD
- AWN05 TRADITIONAL METAL WINDOW HOOD
- BL02 190 BLOCK WALL - RENDERED AND PAINTED
- COC CUSTOMORB COLORBOND SHEET - SELECTED COLOUR
- FNC10 FENCING TO CLIENTS SELECTION
- WB02 WEATHERBOARD OR SIMILAR TO MATCH EXISTING

Downpipes to connect to street

LINE REPRESENTS 9.5m ABOVE NATURAL GROUND AS DEFINED BY BRISBANE CITYPLAN 2014 - TAKEN AT HIGHEST POINT OF RIDGE

LEVEL 1 CEILING
RL61.870 m

LEVEL 1 FFL
RL58.800 m

GROUND CEILING
RL58.365 m

GROUND FOYER FFL
RL55.965 m

GROUND FFL
RL55.665 m

300

2400

435

3070

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ELEVATION SOUTH-WEST

SCALE 1 : 100

BCC DS

RECEIVED

04-MAY-2026

APPLICATION REF

A007016419

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Issued: 07/07/2022

Minor change: 26/07/2023

Neighbouring Property Consent

This approval does not authorise or give permission to enter onto, under or over any neighbouring private properties to survey or carryout any works without any prior consultation or without the prior consent of the relevant land or property owner(s).

[This includes for any works for: built to boundary walls; any construction (retaining walls) within neighbouring buildings structural zones, boundary fences; temporary rock anchoring; or crane oversail.]

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Real Property Description
Lot No.: 21 Area: 208
RP No.: RP20408
Parish: ENOGGERA
County: STANLEY
Authority: BRISBANE C.C.

Amendments
Date Issue Description
08.10.15 A EXISTING JK RG
30.10.15 B SKETCH DESIGN HR RG
10.11.15 C DD_01 HR RG
21.06.19 D DD_02 DM AT
09.04.21 E DD_03 AC AT
09.08.21 F DD_04 AC AT

SYNERGY BUILDING DESIGN

SYNERGY BUILDING DESIGN
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P.O. Box 807, Everton Park, Queensland, 4053
+61 7 3613 0030
synergybd.com.au

Drawing Title
PROPOSED ELEVATIONS 2

Project Name
RUSDEN RENOVATION

Client
BHAUDEEP SINGH DHILLON
13 RUSDEN STREET KELVIN GROVE, QLD 4059

1 : 100
SCALE AT A3

0896
JOB NUMBER

A 03-04
DRAWING

REVISION

F

original issue use A3(20% reduction)

AMENDED IN RED

12/10/2021

BCC DS

RECEIVED

04-MAY-2026

APPLICATION REF

A007016419

~~PLANS AND DOCUMENTS referred to in the NEGOTIATED DECISION~~

~~Dated: 7/07/2022~~

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Issued: 07/07/2022

Minor change: 26/07/2023

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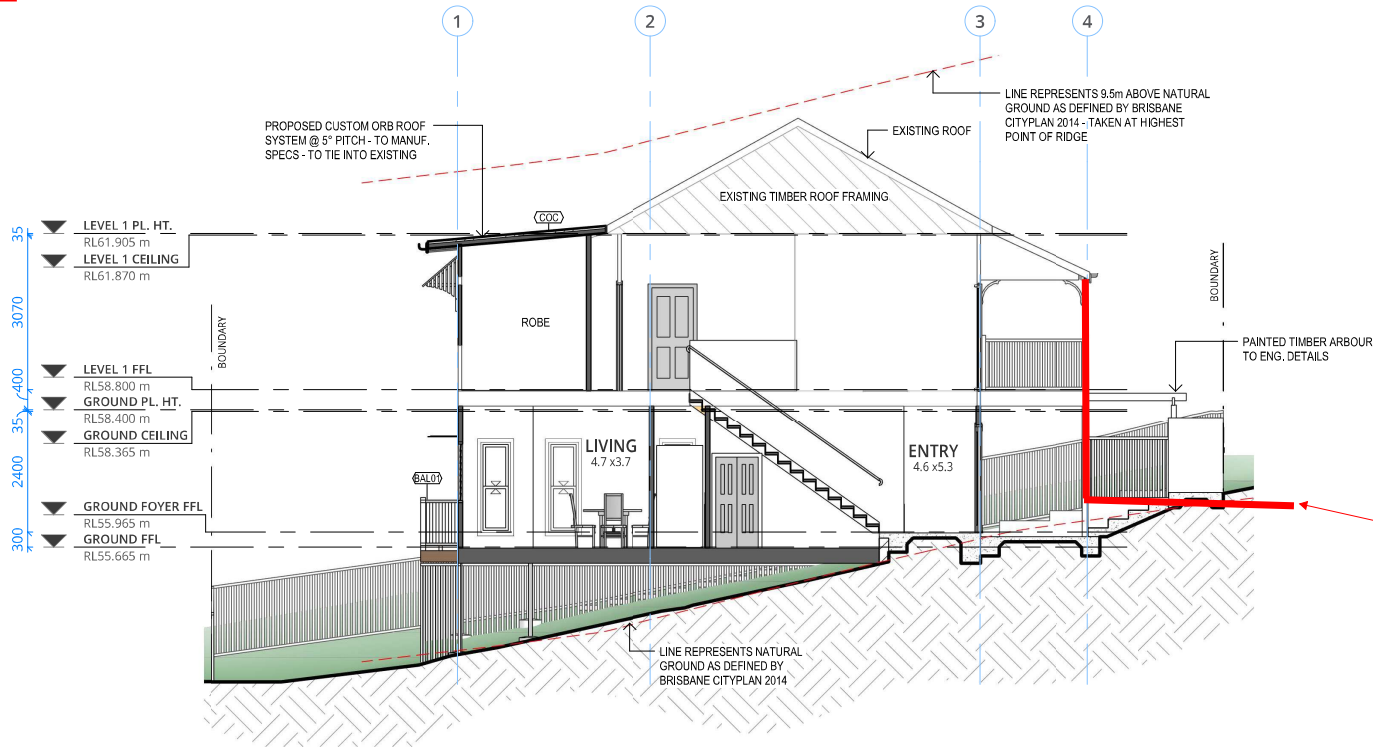
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LVL/SOFTWOOD EXPOSURE NOTE:

ALL UNTREATED SOFTWOOD TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CLAD.

LEGEND

- BAL01 1000mm HIGH BALUSTRADING TO CLIENTS SELECTION
- COC CUSTOMORB COLORBOND SHEET - SELECTED COLOUR



SECTION A

SCALE 1 : 100

1
A 02-03

Neighbouring Property Consent

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BCC DS
RECEIVED
30/09/2021
APPLICATION REF
A005719403

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RP No.: RP20408
Parish: ENOGGERA
County: STANLEY
Authority: BRISBANE C.C.

Amendments
date issue description
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30.10.15 B SKETCH DESIGN
10.11.15 C DD_01
21.06.19 D DD_02
09.04.21 E DD_03
09.08.21 F DD_04

auth. prep. by
JK RG
HR RG
HR RG
DM AT
AC AT
AC AT

SYNERGY
BUILDING DESIGN

SYNERGY BUILDING DESIGN
QBSA LIC NO. 1165884
Shop A 19 Samford Road, Alderley,
Queensland, 4051
P.O. Box 807, Everton Park, Queensland, 4053
+61 7 3613 0030
synergied.com.au

Drawing Title
SECTION 1

Client
BHAUDEEP SINGH DHILLON
13 RUSDEN STREET KELVIN GROVE, QLD 4059

Project Name
RUSDEN RENOVATION

1 : 100
SCALE AT A3

0896
JOB NUMBER

A 05-01
DRAWING

REVISION

F

original issue via A3(20x) colour