
This email originates from outside of Brisbane City Council.

Dear Tyrah,

Thank you for taking the time to speak with me last week regarding DA A006774817 for 11–15 Swinburne Street and the impacts on my property

I understand you will shortly be away and that Hayley Steel will be the contact during your absence.

I have copied Hayley into this email and attach my:

- latest supplementary submission (14 May 2026); and
- original submission (28 January 2026)

I ask that this email and attachment be uploaded to the application portal so they are on the application record and can be appropriately considered as part of Council's ongoing / further assessment of this application.

1. Western built-to-boundary wall

The western built-to-boundary wall remains my primary concern.

Council correctly identified this issue in Item 1 of the Information Request, noting that the wall height would adversely impact adjoining amenity and did not comply with PO7 of the Multiple dwelling code.

The amended plans **do not** address this issue. The wall remains approximately 22m long and up to 4.5m high, significantly exceeding the City Plan acceptable outcome which you confirmed was a wall of 15m length and 3.0m height. This equates to circa 90m² of wall face, being approximately double the 45m² contemplated by City Plan.

The current interface is bright, open and allows natural light and breezes. The proposed wall would create an overbearing and unacceptable impact on privacy and residential amenity.

Council should not accept this clearly non-compliant outcome or allow it to be softened only through cosmetic screening or landscaping.



**Figure 1 - Non-Compliant Built-to-Boundary Wall
(Western Elevation – Amended Plans 1 May 2026)**

2. Basement excavation and construction feasibility

Thank you for confirming that any excavation, retaining structure, rock anchors or related works must be delivered wholly within the development site. On that basis, I remain concerned about the proposed 400mm offset and 6.4m deep excavation along the western boundary. No consent is given for any reliance on, or encroachment into,

The plans show a basement wall of negligible thickness. In reality, this depth of excavation would require piles, capping beams and other retaining structures, all of which require physical space.

Council should not defer this matter to operational works, as the retaining solution may affect whether the building and basement can actually be constructed as shown.

3. Strategic Framework and site capacity

I acknowledge the site is within the high density residential zone and the Lutwyche Road corridor neighbourhood plan area. I am not opposed to appropriate high-density development.

However, the current proposal overreaches the practical development capacity of an 810m² site.

This is evident in the excessive western wall, poor western interface, constrained deep planting and unresolved basement construction issues.

City Plan does not seek density for density's sake. It seeks well-designed, high-quality development that responds to site context and does not unreasonably impact adjoining land. This proposal fails that test.

A coordinated outcome involving [redacted] Swinburne Street would provide a better opportunity for an efficient basement, compliant setbacks, genuine deep planting and a higher-quality built form. While this is not the basis of my objection, it demonstrates that a better and more orderly planning outcome is available.

In its current form, the application should either be refused, or Council should direct the applicant to make substantive built form changes to achieve compliance with City Plan, including reduced western wall height and length, a meaningful western setback, genuine deep planting at natural ground level at the western interface, and a properly resolved basement excavation and retaining wall design capable of being constructed wholly within the subject site.

With kind regards,

Brisbane City Council
Development Assessment – City Planning and Sustainability
Public Notification Submission (Development.i)

Attention: Grace Cleary Senior Urban Planner

Re: Submission – Impact Assessable Development Application
Council Reference: A006774817
Site: 11 & 15 Swinburne Street, Lutwyche QLD 4030
Date: 28 January 2026

Dear Grace,

1. Introduction

I am the owner of _____ which adjoins the _____ of the subject site at **11 & 15 Swinburne Street**. I make this submission in response to the public notification of the above impact assessable development application.

I confirm that I am not opposed to appropriate development in this location and support well-designed redevelopment outcomes that respond appropriately to the surrounding neighbourhood context. However, the current proposal as publicly advertised raises serious concerns arising from:

- the **excessive height and length of the built-to-boundary wall** along the western boundary; and
- the **deep basement excavation and retaining wall condition located extremely close to that boundary**.

As submitted, the proposal:

- creates unacceptable privacy and residential amenity impacts at the western boundary interface, including visual dominance, overlooking and the absence of meaningful landscape buffering;
- cannot be practically constructed as shown on the submitted plans and therefore cannot be properly assessed on that basis; and
- compromises the future orderly and efficient development potential of the properties at _____, unreasonably constraining their ability to develop in a manner consistent with planning intent.

These matters directly conflict with the assessment benchmarks in **Brisbane City Plan 2014**, particularly the **Multiple dwelling code**, which requires that:

- development minimises amenity and privacy impacts and provides setbacks that enable meaningful landscaping and separation (e.g. PO2, PO3, and PO7); and
- development does not isolate or negatively impact on the development potential or future residential amenity of adjoining sites (Overall Outcome OO(d)).

2. Amenity and privacy impacts from the western boundary interface

(Built-to-boundary wall)

The proposal presents significant amenity and privacy concerns at the western boundary interface. I note Council's Information Request raised concerns that the western side boundary wall height would negatively impact the amenity of adjoining properties and did not comply with **PO7 of the Multiple dwelling code**, requesting reductions in wall height, stepped form and additional landscaping.

These concerns remain unresolved.

The western elevation (**Attachment 1** and **Figure 1 below**) shows a built-to-boundary wall with:

- a **maximum height of approximately 4.5 m**;
- an **average height of approximately 4.1 m**; and
- a **continuous length of approximately 22 m**.



Figure 1 - Non-Compliant Built Boundary Wall (Western Elevation)

This outcome is clearly non-compliant with City Plan benchmarks intended to protect residential amenity. In particular, built-to-boundary walls are contemplated to be limited to **3.0 m in height** and a **maximum cumulative length of 15 m** (AO7.2(g) and AO7.3(a)).

- **City Plan acceptable outcome:** 3.0 m × 15.0 m (≈ 45 m²)
- **Proposed outcome:** 4.5 m (avg 4.1 m) × 22 m (≈ 90 m²)

The proposed western boundary wall is therefore **approximately twice the scale** of the acceptable solution under City Plan. It would be unacceptably overbearing when viewed from my residence at restricting outlook, access to natural light and breezes, and eliminating opportunities for meaningful boundary landscaping.

This outcome fails to achieve the Multiple dwelling code outcomes requiring development to minimise visual dominance and overlooking (PO3) and to provide setbacks that enable meaningful landscaping and protect residential amenity (PO7). I suggest a 3m wide deep planting area along the full length of the western boundary, planted at natural ground level with trees that reach a minimum of 5m in height at

maturity would be an appropriate resolution to satisfy the performance outcome regarding amenity and privacy on the western boundary.

Further to the breach of privacy and amenity requirements as outlined in the Multiple dwelling code, the development should be required to have privacy coverings on all windows on the western side of the building. All windows on the western side are only 3m from the boundary and have a direct line of sight into the private spaces and / or backyard area of [redacted]. Council alerted the developer to this in response to the original plans submitted, however in the resubmitted plans, only levels 1 and 2 seem to have window privacy coverings. The visual intrusion of privacy is just as, if not more, severe on levels 3, 4 and 5 as they produce a ‘fishbowl’ effect when looking down onto the private spaces and backyard [redacted].

In addition, the most recent plans show that there are gaps between the cladding of the balconies on the western side and the actual building wall itself. These gaps effectively act as windows that permit direct overlooking into the private spaces and backyard [redacted]. To properly address the breaches of the relevant aforementioned Performance Outcome (PO3) regarding ‘overlooking’, rectification of these cladding gaps is necessary. The voids between the building walls and the balcony cladding permitting direct overlooking into the private spaces and backyard of [redacted] should be closed with extra cladding.

3. Basement design is not properly resolved and is unlikely to be buildable as shown

The proposal relies on a deep basement excavation located extremely close to the western property boundary, with the basement wall shown at approximately **400 mm offset** from the boundary (**Attachment 2**).

The submitted sections indicate a retained excavation depth of approximately **6.4 m** at the western boundary interface (Ground Level RL 26.365 to Basement 2 RL 19.940).

At this depth and proximity to a boundary, the retaining system cannot reasonably be assumed to be a simple or “standard” wall. A realistic solution would typically involve **bored piles / bored piers**, including capping beams, construction tolerances, waterproofing and drainage zones. However, the publicly notified drawings show a basement wall of **negligible thickness** and do not include the level of detail normally expected for a deep boundary excavation.

Given the already extremely tight basement car-parking geometry, the introduction of a realistic retaining system would be highly likely to require changes to the basement footprint and layout. As such, Council cannot be satisfied that what has been publicly notified represents what would ultimately be constructed.

This concern is reinforced by the civil engineering documentation, which includes disclaimers that the drawings are **indicative only** and expressly defers detailed retaining wall design to the **Operational Works (OPW)** stage (**Attachment 3**). Given the depth of excavation and minimal boundary offset, deferring this matter to OPW is inappropriate. The basement retention solution is fundamental to the building form and interface outcome and must be resolved at development application stage.

4. Impact on future development potential of adjoining western properties (17 and 19)

As a result of the recently completed development at 23-25 Swinburne Street and the proposed development at 11-15 Swinburne Street, [redacted] now face the prospect of being 'locked' in between two 6 - 7 level apartment buildings. Notwithstanding any provisions made in the design of these developments, the surrounding density will fundamentally compromise the privacy and residential amenity of these middle lots, rendering single-family renovation or rebuilding as unviable options in the future. As the [redacted], myself and [redacted] are both now actively considering the future development options of our land and the viability of any options going forward.

The combined land area of [redacted] is a relatively small size of approximately 805m2 and the only realistic future use of this land is constrained to a high-density apartment development consistent with its [redacted]. Consequently, the current proposal should be strictly scrutinized through the lens of 'equitable development' principles. If the physical constraints of the 11-15 Swinburne proposal - specifically regarding basement excavation and boundary interfaces - are not carefully managed, the project risks isolating [redacted] and rendering it permanently unviable for future development. This outcome would be in direct conflict with the Multiple dwelling code.

As it currently stands, the 11-15 Swinburne Street proposal will prejudice the future orderly and efficient development potential of the [redacted] properties at [redacted] particularly where future redevelopment may seek to construct basements or undertake deep excavation near the [redacted]

A deep retained basement edge condition constructed immediately adjacent to the boundary will:

- increase the complexity and cost of future excavation and retention works;
- reduce design flexibility and basement efficiency outcomes; and
- increase construction risk and constraints for adjoining landowners.

The planning scheme is clear in this regard. The Multiple dwelling code requires that development does not isolate or negatively impact on the development potential or future residential amenity of adjoining sites (OO(d)), and that development does not prejudice the capacity of adjoining sites to develop to the scale and intensity intended for the zone (PO2).

5. No reliance on neighbouring land

No assumption can be made that the subject development may rely upon access to, encroachment into, or structural support within neighbouring properties for construction feasibility. I specifically confirm that **no permission or consent is given** for any reliance upon [redacted] including:

- temporary works or construction access;
- tie-back anchors or subsurface retention extending beyond the subject site;
- shoring, underpinning or other below-ground encroachments; or
- any unnegotiated easements or reliance arrangements.

Council should therefore require the applicant to demonstrate at development application stage that the basement excavation and retention system can be delivered wholly within the subject site.

6. Comparable nearby approval demonstrates a reasonable and achievable alternative

The approved development at **23 & 25 Swinburne Street, Lutwyche (A004827631)** provides a relevant and instructive comparison.

That approval demonstrates:

- a **~3.0 m separation** between the basement wall and the only sensitive residential interface;
- a **bored pile / bored pier retaining wall system** with realistic wall thickness and construction allowances (**Attachment 4**); and
- **meaningful deep-soil planting** along the residential boundary (**Attachment 5**).

Importantly, that outcome was achieved through a deliberate layout response, with the basement and built form oriented toward **non-sensitive boundaries** (open space and Reid Lane), thereby protecting the sole residential interface.

By contrast, the subject application adopts the opposite approach by locating the deepest excavation, a 4.5m high, 22m long built-to-boundary wall and the most constrained interface along its **only sensitive residential boundary**, being _____, despite having multiple alternative non-residential frontages. This design response is unacceptable.

7. Recommendation

For the reasons outlined above, I respectfully request that Council **does not approve the application in its current form**.

The built-to-boundary wall is grossly non-compliant, unreasonably overbearing and fails to achieve acceptable residential amenity outcomes. In addition, the basement and boundary retention solution is unresolved and cannot be conditioned without materially altering the proposal.

While Council should require a properly resolved basement retention design at development application stage, this alone would not address the most fundamental non-compliance, being the western boundary interface.

Accordingly, I respectfully request that Council require the proposal to be amended to deliver a **western boundary interface outcome consistent with approval A004827631**, including a **genuine deep-soil landscape setback of approximately 3.0 m** along the western boundary (not containerised or planter-box landscaping). This approach would:

- achieve compliance with City Plan;
- materially improve privacy and residential amenity;
- provide meaningful landscaping consistent with established BCC expectations;
- remove the need for an extreme hard-edge basement condition retained within ~400 mm of the boundary; and
- protect the future development potential of _____

Failing this, I respectfully request that Council **refuse the application**.

Yours faithfully,

ATTACHMENT 1
Western Boundary Elevation

ATTACHMENT 2

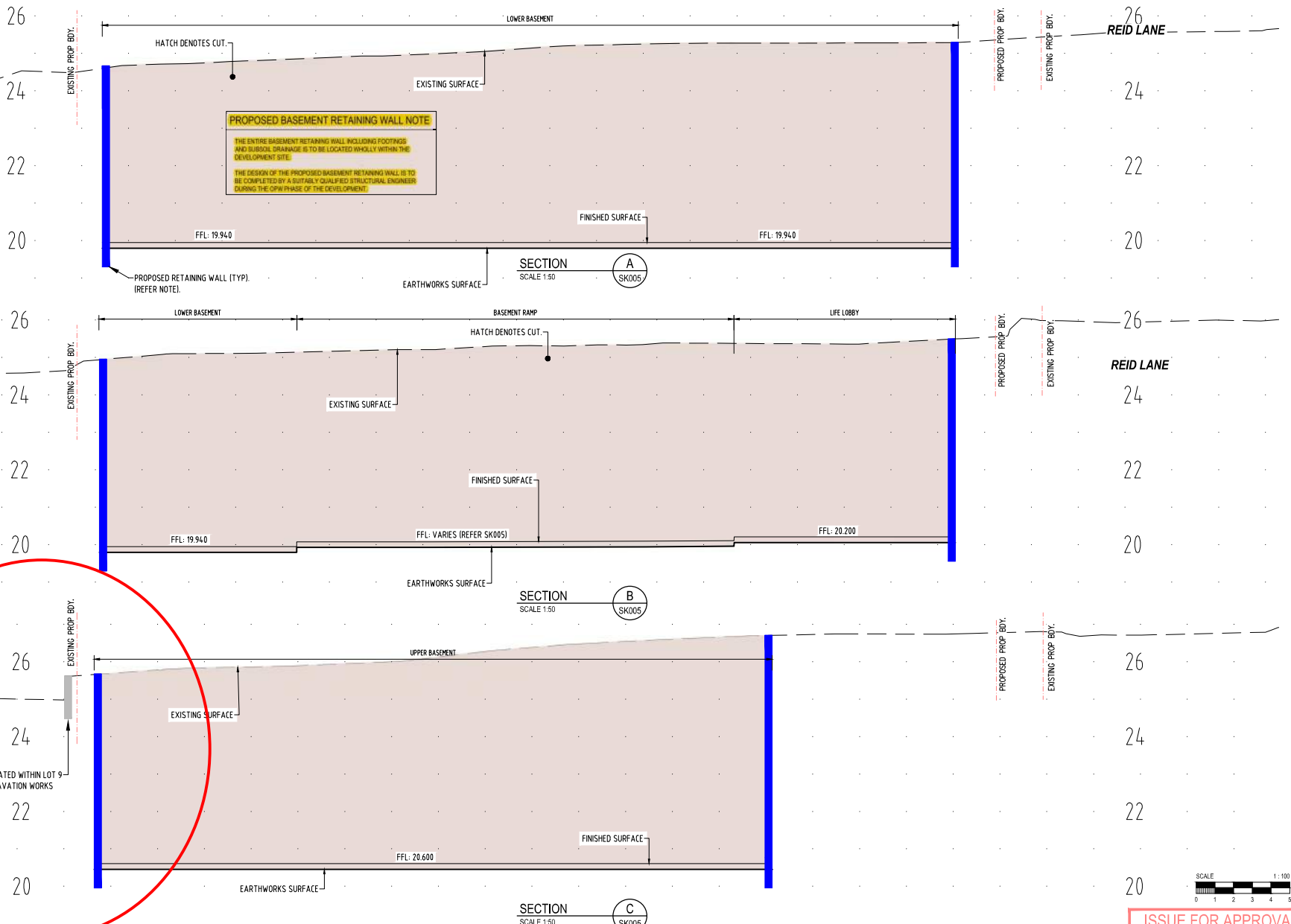
Section B-B (subject site) – western boundary interface showing
~400 mm offset and excavation depth (~6.425 m)

ATTACHMENT 3

Extract – Naxos Engineering notes/disclaimers re indicative drawings and retaining wall design deferred to OPW

**BCC DS
RECEIVED**
06/01/2026
APPLICATION REF
A006774817

PROPOSED BASEMENT RETAINING WALL NOTE
THE ENTIRE BASEMENT RETAINING WALL INCLUDING FOOTINGS AND SUBSOIL DRAINAGE IS TO BE LOCATED WHOLLY WITHIN THE DEVELOPMENT SITE.
THE DESIGN OF THE PROPOSED BASEMENT RETAINING WALL IS TO BE COMPLETED BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER DURING THE GPW PHASE OF THE DEVELOPMENT.



ISSUE FOR APPROVAL

CONSULTANT: NAXOS ENGINEERS
DISCIPLINE: CIVIL DIVISION
CONTACT: JACK BALLIE
TELEPHONE: 1300 598 544
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557 Gregory Terrace, Fortitude Valley, Qld 4006
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No.	DATE	DESCRIPTION	DRAWN
A	14.04.2025	ISSUE FOR APPROVAL	JB
B	06.12.2025	RFR RESPONSE	JB

Associated Consultant:
ANGELO PATRICK ARCHITECTS
Approved: GREG TYOJIN
RPEQ: 1528 Date:

NOTES
THIS PLAN WAS PREPARED FOR DECISION AND ESTIMATING PURPOSES. THE DASHED BROWN INDICATES ONLY AND MAY BE SUBJECT TO LOCAL AUTHORITY / GOVERNMENT REQUIREMENTS AND FURTHER DETAILED ENGINEERING DESIGN.
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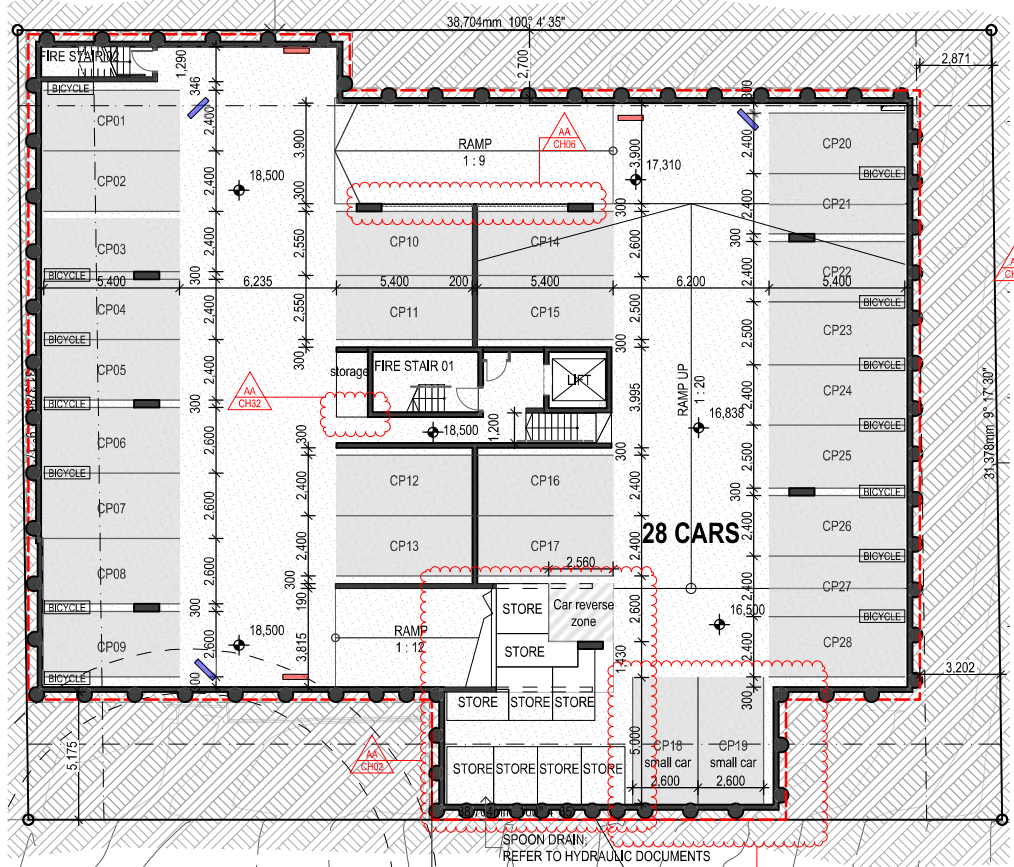
 North Scale: Orig. Dwg. Size: A1	Size of Land: 810 M ²	Client: PAUL CARBONE LIB (177) PTY LTD ATF CARBONE FAMILY TRUST	Job No: 25-105	Revision: B
	Project: PROPOSED APARTMENT BUILDING AT 11-15 SWINBURNE STREET, LUTWYCHE 4030			

CONCEPT BULK EARTHWORKS SECTION SHEET 1

ATTACHMENT 4

Neighbouring approval – 23 & 25 Swinburne Street, Lutwyche
(*Council File Reference: A004827631*) – basement plan extract
showing bored pile / bored pier retaining wall system and ~3.0 m
basement offset to side boundary

EXTENT OF PREVIOUS APPROVED BUILDING ENVELOPE;
COURT APPROVAL - BD641 OF 2023



Basement
1:200

TRAFFIC SIGN LEGEND

- CONVEX MIRROR
- GIVE WAY SIGN, REFER TO TRAFFIC REPORT

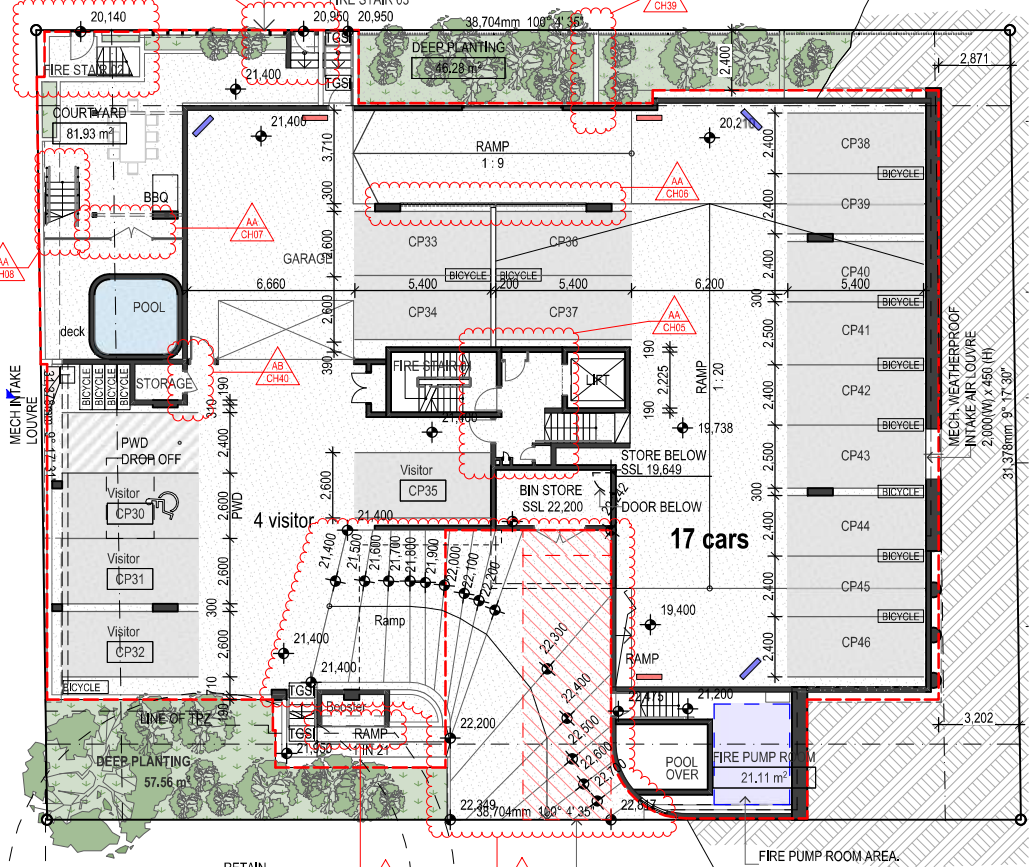


REV. | CHANGE | CHANGE DESCRIPTION

APPROVED PLAN
Planning and Environment Court Decision
Application Number
1337 of 2024

THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.

EXTENT OF PREVIOUS APPROVED BUILDING ENVELOPE;
COURT APPROVAL - BD641 OF 2023



Ground
1:200

REV.	CHANGE	CHANGE DESCRIPTION	REV.	CHANGE	CHANGE DESCRIPTION
CH01	RELOCATED CAR PARKING BAYS		CH10	AMENDED GATE TO SWING INWARDS, SINGLE GATE	
CH02	RELOCATED STORAGE, ADDED CAR REVERSE ZONE		AA CH28	AMENDED BOOSTER CABINET DOORS TO ROLLER	
CH03	SHIFTED FIRE STAIR GATE FOR RL COMPLIANCE AND SWING GATE INWARDS		CH32	INCREASED STORAGE	
CH04	AMENDED VEHICLE ENTRY RAMP TO MATCH CIVIL RL		CH39	REMOVED FENCE AND GATE, RETAINING WALL REMAINED.	
CH05	RELOCATED SERVICES CUPBOARD FOR AS1428, 1 PWD ACCESS CLEARANCE		CH40	AMENDED GROUND STORAGE DOOR TO HINGED	
CH06	ADDED SCREENS FOR SAFETY IN DESIGN		AC		
CH07	ADDED MAINTENANCE DOORS TO POOL EQUIPMENT		AD		
CH08	ADJUST STAIR TO ACHIEVE FIRE EGRESS		AE		

REV. | CHANGE | CHANGE DESCRIPTION

REV. | CHANGE | CHANGE DESCRIPTION

PARK LANE

Basement 1 & Ground Floor Plan

Project MULTI-RES DEVELOPMENT 23-25 Swinburne Street, Lutwyche, QLD, 4030	Scale @ A3 1:200 Drawn: DL Checked: EA Project Number H43165M Drawing Number TP201 Issue AE	Drawing Title: Basement 1 & Ground Floor Plan Phase: FOR MINOR CHANGE	17/05/24 AE MINOR CHANGE 17/05/24 AD MINOR CHANGE 23/04/24 AC MINOR CHANGE 19/04/24 AB MINOR CHANGE 21/03/24 AA MINOR CHANGE	General Notes This drawing is Copyright © Any design or drawing is not to be reproduced, either in whole or part, without written permission by Hayes Anderson Lynch Architects Pty. Ltd. Confirm all dimensions on site. Do not scale off drawings. All levels are approximate only and are subject to confirmation by licenced surveyor. All workmanship, materials and construction to comply with the Queensland Building Act 1975, the Queensland Development Code, the Building Code of Australia 2015, Premises Standard and AS1428.1. Work to be carried out in a neat and appropriate manner. Where ambiguities or discrepancies exist, Hayes Anderson Lynch Architects Pty. Ltd. shall be contacted for clarification.	709 MAIN STREET, KANGAROO POINT QLD 4169 P +61 7 3852 3190 E reception@halarchitects.com.au W www.halarchitects.com.au
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ATTACHMENT 5

Neighbouring approval – 23 & 25 Swinburne Street, Lutwyche
(Council File Reference: A004827631) – extract showing strong
side boundary deep planting buffer/interface outcome

LEGEND



NOTES

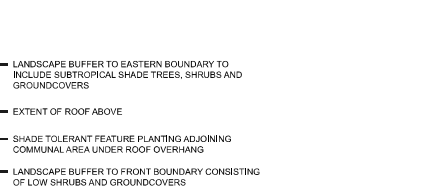
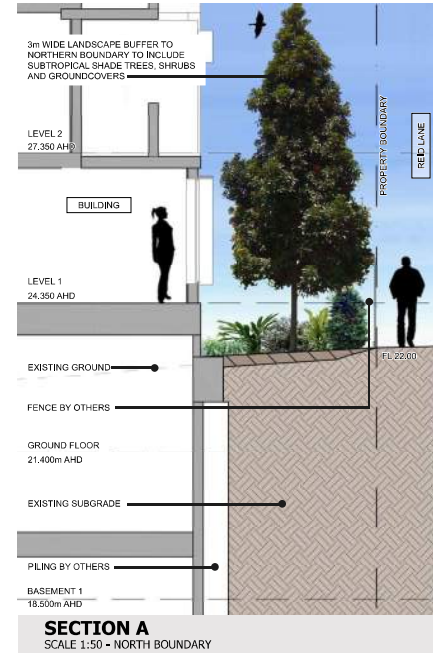
STREETSCAPE TYPE:
NEIGHBOURHOOD STREET MAJOR
- TREES IN TURF
- FOOTPATH WIDTH 1.8m
- STANDARD PORTLAND GREY FOOTPATH
- INSITU CONCRETE KERB
- BROOM FINISH CONCRETE DRIVEWAY

SITE DETAILS:
LOT 5 & 7 ON RP 19326
SITE AREA: 1214 sqm
LANDSCAPE AREA: 325.90 sqm



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APPROVED PLAN
Planning and Environment Court Decision
Application Number
1337 of 2024

~~APPROVED PLAN~~
Planning and Environment Court Decision
Application Number
641 of 2023

AMENDED IN RED
14/04/2023

NOTE: Works in streetscape verge are not part of this approval, refer to conditions

THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.

FOR APPROVAL



LANDSCAPE CONCEPT PLAN
MULTI-RESIDENTIAL DEVELOPMENT
23-25 Swinburne Street, Lutwyche, QLD, 4030

H Group Swinburne Pty Ltd as trustee for the HGS Trust & MPF Swinburne Pty Ltd as trustee for The Swinburne Trust

Issue	Reason	Date
A	Preliminary	18.12.2017
B	Response to Information Request	19.06.2018
C	Minor Change Application	16.11.2021
D	Revised for Minor Change Application	11.11.2022

citicene
ph: 07 3161 6420
e: info@citicene.com.au
w: www.citicene.com.au
Drawn: RC
Approved: DR

Drawing No: 40-875-SD002 D
SCALE: 1:100 @ A1

Barry Browett
17 Swinburne Street, Lutwyche
barryjb4@gmail.com
0488 338 717

Brisbane City Council
Development Assessment – City Planning and Sustainability
Public Notification Submission (Development.i)

Attention: Tyrah Zarafa, Senior Urban Planner

Re: Supplementary Submissions – Amended Plans (1 May 2026); Amended Landscape Plan (7 May 2026)
Council Reference: A006774817
Site: 11 & 15 Swinburne Street, Lutwyche QLD 4030
Date: 14 May 2026

Dear Tyrah,

1. Introduction

I refer to my previously lodged submissions regarding the above impact assessable development application.

I have now reviewed the applicant's amended plans dated 1 May 2026, together with the subsequently submitted amended landscape plans (**Attachment A**).

The amended plans do not materially respond to the substantive concerns raised in my original submission, nor do they address the matters identified by Council in its Information Request.

Most notably, the proposal continues to present an unacceptable, overbearing and grossly non-compliant built-to-boundary outcome, with the fundamental western interface condition remaining effectively unchanged.

2. Western Boundary Interface Remains Fundamentally Unchanged

I note Council's Information Request specifically raised concern that the western side boundary wall height would negatively impact the amenity of adjoining properties and did not comply with **PO7 of the Multiple dwelling code**, requesting reductions in wall height, a stepped built form outcome and additional landscaping to reduce visual bulk and improve the interface condition.

The amended plans dated 1 May 2026 fail to address these concerns in any meaningful respect.

They do not reduce the height, length, scale or dominance of the western built-to-boundary wall. They do not provide the increased setback, stepped built form or genuine deep planting response requested by Council. The amended plans therefore leave the fundamental western boundary interface problem unchanged.

Instead, the applicant has simply attempted to add a trellis and climbing vegetation treatment to the face of the same non-compliant wall. This is a cosmetic device, not a planning response. It does not reduce the built form, does not reduce the wall height, does not reduce the wall length, does not provide a compliant setback, and does not deliver any substantive improvement to the amenity outcome experienced

In practical terms, the amended plans seek to disguise, rather than resolve, an unacceptable built form outcome. The proposal remains grossly non-compliant, visually dominant and overbearing, and continues to fail the basic interface outcomes required by the Multiple dwelling code.

The amended western elevation (**Figure 1**) continues to show a built-to-boundary wall with:

- a **maximum height of approximately 4.5 m**;
- an **average height of approximately 4.0 m**; and
- a **continuous length of approximately 22 m**.



**Figure 1 - Non-Compliant Built-to-Boundary Wall
(Western Elevation – Amended Plans 1 May 2026)**

This outcome is clearly non-compliant with City Plan benchmarks intended to protect residential amenity. In particular, built-to-boundary walls are contemplated to be limited to **3.0 m in height** and a **maximum cumulative length of 15 m** (AO7.2(g) and AO7.3(a)).

- **City Plan acceptable outcome:** 3.0 m × 15.0 m (≈ 45 m²)
- **Proposed outcome:** 4.5 m (avg 4.0 m) × 22 m (≈ 88 m²)

The proposed western boundary wall therefore remains approximately **twice the scale of the acceptable solution** contemplated under City Plan.

When viewed from _____ the wall remains unacceptably overbearing, materially restricting outlook, reducing access to natural light and breezes, and eliminating any meaningful opportunity for deep planting and landscape buffering.

The proposal continues to fail the Multiple dwelling code outcomes requiring development to minimise visual dominance and overlooking (**PO3**) and to provide setbacks that enable meaningful landscaping and protect residential amenity (**PO7**).

3. Amended Landscape Plans Fail to Resolve Interface Concerns Unresolved

I have also reviewed the applicant's amended landscape plans (**Attachment A**). These plans do not resolve the western boundary interface concerns and, in several respects, further reinforce the conclusion that the proposal remains fundamentally unacceptable.

At the outset, I note the amended landscape package includes an elevation to Reid Lane (eastern interface) but notably does not provide a corresponding elevation or detailed landscape section for the most critical and offending interface — namely the excessive height built-to-boundary wall along the western boundary

The omission of any western landscape elevation is notable. Given the western boundary interface is the principal issue identified by Council's Information Request, and the most sensitive adjoining residential interface, the absence of any detailed visual representation of this boundary limits transparent assessment of the proposal and avoids proper scrutiny of the true scale and dominance of the built-to-boundary wall.

The amended landscape plans also raise a number of additional concerns regarding their practical viability and compliance with City Plan landscape outcomes:

- **Western boundary planting / vine trellis is not a genuine landscape response**

The reliance on vines attached to a trellis on the western built-to-boundary wall reinforces the inadequacy of the amended design response. This is not meaningful landscape buffering; it is a superficial greening treatment applied to the face of the same excessive wall. There does not appear to be any realistic opportunity for these vines to establish in natural ground, given the basement wall / footing / capping beam condition at the western boundary (the detail of which are omitted from the plans). Further, ongoing maintenance of the vines and trellis would appear impossible without accessing the wall. No consent is given for such access. This further demonstrates that the amended landscape response is not credible, durable or capable of resolving the western boundary amenity impacts.

- **Non-compliant podium planter depth on the western side**

Trees proposed within the western podium planter appear to rely upon approximately 800mm soil depth only, which is substantially less than the 1500mm soil depth requirement as identified within **Brisbane City Council BSD-9004** for meaningful tree establishment. If the planter were amended to provide a compliant soil depth, this would require an additional depth of approximately 700mm, which would further increase the effective height and visual dominance of the western built-to-boundary wall.

- **Failure to provide meaningful side boundary landscape buffer**

The proposal continues to fail to provide an adequate side boundary setback capable of accommodating meaningful landscape buffering. In particular, the western boundary interface does not appear capable of achieving the 1.5m buffer planting width contemplated by PO28 / AO28.2, further reinforcing the overbearing and visually dominant nature of the built form outcome.

- **Deep planting non-compliance to Reid Lane**

The purported deep planting zone to the Reid Lane frontage appears compromised by underground services and building overhangs, reducing both the functionality and integrity of the deep planting outcome. This calls into question whether the proposal genuinely satisfies the intent of the deep planting provisions.

Taken collectively, the amended landscape plans do not resolve the fundamental issue previously identified by Council and the submitters - namely that the proposal fails to provide a reasonable and appropriately landscaped interface outcome to adjoining properties. Instead, the landscape package relies upon superficial greening treatments to visually soften a built form outcome that remains fundamentally excessive in scale and non-compliant in character.

4. Previous Concerns Remain Unresolved

Beyond the western boundary interface, I confirm that all concerns raised in my original submission remain unresolved.

Importantly, the amended plans do not materially alter the proposal in a manner that addresses the key issues previously identified, including:

- the practical feasibility of constructing the basement excavation and retaining wall condition as shown, particularly having regard to the significant excavation depth and extremely constrained offset to the western boundary;
- the continued risk that the proposal sterilises or materially constrains the future orderly and efficient development potential of the
- unresolved privacy and overlooking impacts associated with the western interface; and
- the absence of a meaningful setback and landscape response capable of softening the built form and reducing visual dominance.

The amended plans leave the fundamental problems unchanged from the version previously publicly notified. As such, the concerns previously raised by Council and adjoining residents remain unresolved.

5. Recommendation

For the reasons outlined in previous submissions and above, I respectfully submit that the amended plans dated 1 & 7 May 2026 fail to address the concerns previously raised by Council or adjoining residents.

The proposal remains fundamentally unchanged in terms of the western boundary interface and continues to present a grossly non-compliant, visually dominant, overbearing and unacceptable built-to-boundary outcome.

Accordingly, I respectfully request that Council require a substantive redesign of the western boundary interface, including a materially increased setback, genuine deep planting opportunity and meaningful reduction in wall scale and visual dominance, **or otherwise refuse the application.**

Attachment A –
Amended Landscape Plans
(May 2026)

