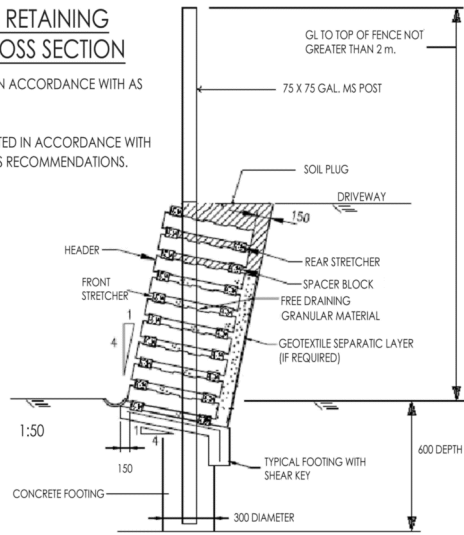


**TYPICAL RETAINING WALL CROSS SECTION**

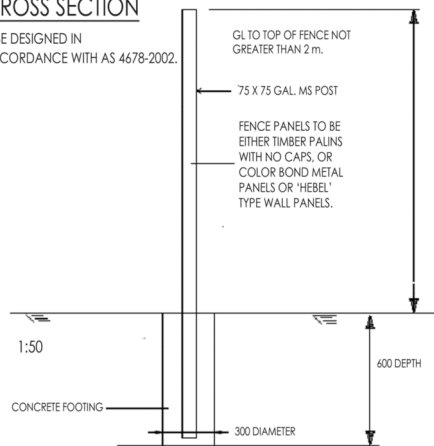
1. BE DESIGNED IN ACCORDANCE WITH AS 4678-2002.
2. BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.



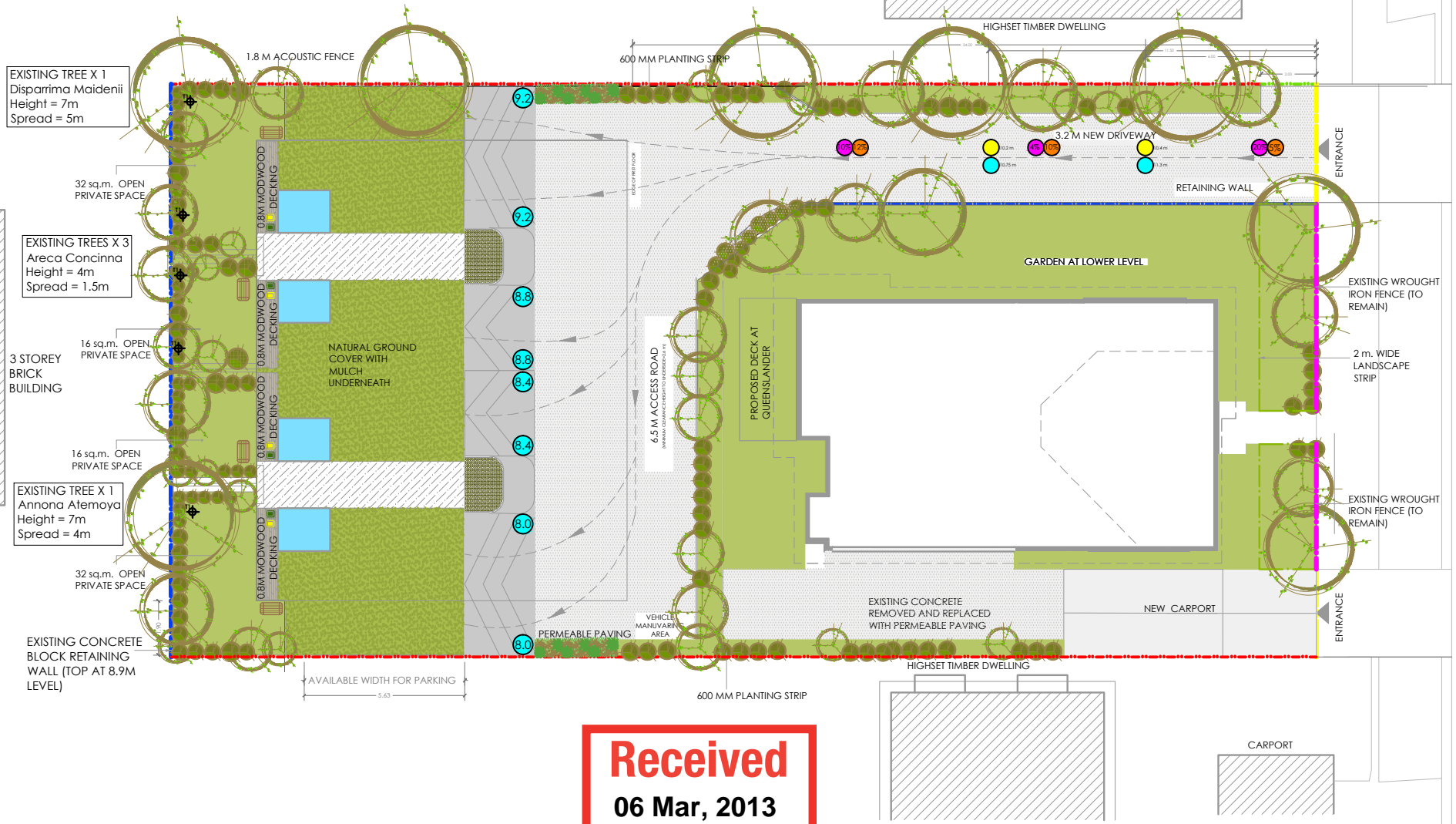
**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**

**TYPICAL FENCE CROSS SECTION**

1. BE DESIGNED IN ACCORDANCE WITH AS 4678-2002.



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06 Mar, 2013  
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**LEGEND**

- PROPOSED FEATURE TREES REFER PLANTING SCHEDULE
- PROPOSED SHRUBS / GROUNDCOVERS REFER PLANTING SCHEDULE
- PROPOSED PLANTING AREA / LAWN REFER PLANTING SCHEDULE
- NATURAL GROUND COVER WITH MULCH UNDERNEATH
- EXISTING CONTOURS AS TAKEN FROM SURVEY DRAWING
- MASONRY RETAINING WALL
- PLOT BOUNDARY
- TIMBER ACOUSTIC FENCE 1800 mm TIMBER PALING FENCE
- EXISTING 1M WROUGHT IRON FENCE
- NEW 1M CHAIN LINK FENCE
- POROUS PAVING
- UNDER CAR DECK SUSPENDED SLAB LOCATED RAINWATER TANKS (3000 LITERS MINIMUM)
- TABLE AND SEATING AREA TO FUTURE DETAIL
- CLOTHESLINE
- LOCATION OF THE WASTE BINS
- EXISTING TREES
- EXISTING LEVEL
- EXISTING AND PROPOSED LEVEL ARE SAME
- PROPOSED NEW LEVEL
- EXISTING GRADIENT
- EXISTING AND PROPOSED GRADIENT ARE SAME
- PROPOSED NEW GRADIENT

**PLANTING SCHEDULE**

The proposed **spacing** of plants will be derived as a compromise between growth rate, anticipated size, and the ability to provide a good vegetative cover within a reasonable space of time. Future proposed **Quantities** will be based on the spacing of individual plants appropriate to the available area for the particular species used.

**\*\* PLANT CONTAINER SIZE:**

- 200L = 200 litre bag stock
- 100L = 100 litre bag stock
- 45L = 45 litre bag stock
- 25L = 25 litre bag stock
- AD = ADVANCED (200mm dia minimum pot size)
- SA = SEMI-ADVANCED (140mm dia minimum pot size)

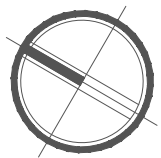
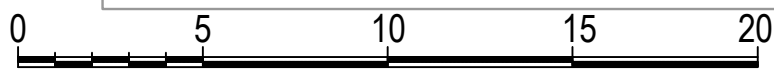
**FOR SITE LANDSCAPE**

- SHADE/ SCREEN TREES**  
**TREES SIZE\*\***
- Diploglottis Campbellii 100L
  - Hymenosporum Flavum 100L
  - Waterhousia Floribunda 100L
  - Native Frangipani 100L
  - Persea Americana
  - Black Genoa
  - Oleaceae
  - Eriobotrya Japonica
  - Diospyros
- COLUMNAR TREES/ PALMS TO BOUNDARIES**
- Archontophoenix Alexandrae AD SA
  - Wodyetia Eumundii
  - Carica papaya
  - Diospyros
  - Feijoa sellowiana

- SCREENING SHRUBS**
- Grevillea Honey Gern AD
  - Sweet Pittosporum AD
  - Lemon Scented Myrtle AD
  - Syzygium australe Bush Christmas AD
  - Syzygium Cascade AD
- SHRUBS AND GROUNDCOVERS**
- Native Ginger AD
  - Dinaelle Breeze SA
  - Philodendron Xanadu AD
  - Cunjevoi SA
  - River Lily SA
  - Lomandra Katrinus SA
  - Zamia Furfuracea AD
  - Feijoa Sellowiana SA
- EXISTING TREES**
- Annona Atemoya x 1
  - Disparima Maidenii x 1
  - Areca Concinna x 3

**FOR ROOF GARDEN**

- FEATURE TREES SIZE\*\***
- Diploglottis Campbellii 100L
  - Hymenosporum Flavum 100L
  - Waterhousia Floribunda 100L
  - Native Frangipani 100L
  - Persea Americana
  - Black Genoa
  - Oleaceae
  - Eriobotrya Japonica
  - Diospyros
- SHRUBS**
- Native Ginger AD
  - Native Gardenia AD
  - Palm Lily SA
  - River Lily SA
- LOW GROUND COVERS**
- Cunjevoi AD
  - Crows Nest Fern



04032013

**PROJECT :** PROPOSED TOWNHOUSES, COORPAROO, BRISBANE

**TITLE :** SITE LANDSCAPE CONCEPT PLAN

DWG NO. - 2D8

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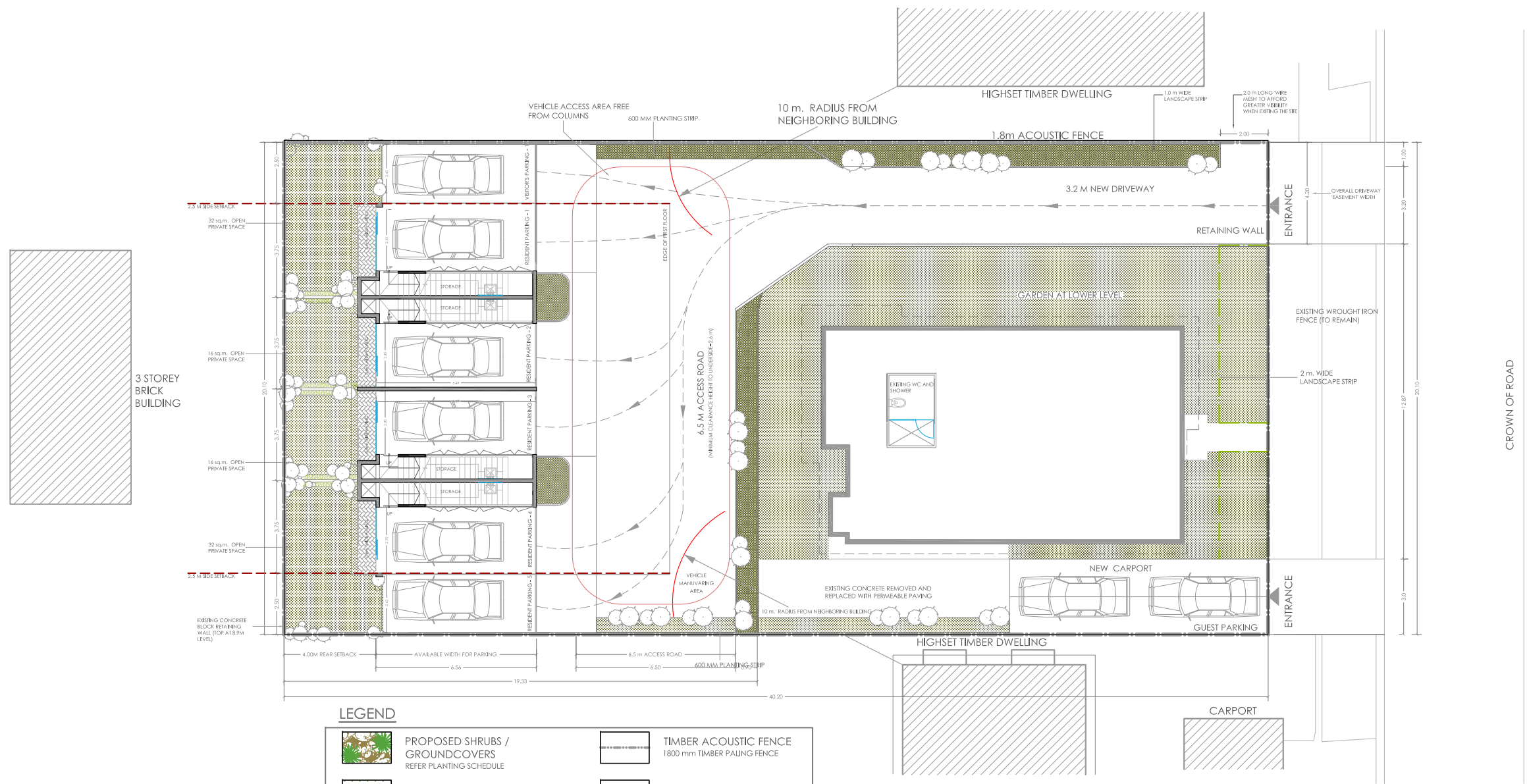


c/o Peter James (ABN12796538397) RPEQ 12470  
panjames@gmail.com

**Received**  
**21 Jan, 2013**  
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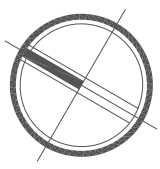
**LEGEND**

	PROPOSED SHRUBS / GROUNDCOVERS REFER PLANTING SCHEDULE		TIMBER ACOUSTIC FENCE 1800 mm TIMBER PALING FENCE
	PROPOSED PLANTING AREA / LAWN REFER PLANTING SCHEDULE		PLOT BOUNDARY
	CLOTHESLINE		MASONRY RETAINING WALL

**TOWN PLANNING DETAILS**

LOT, RP, PARISH	LOT 414	RP 12779	BULIMBA	LOT 415	RP 12779	BULIMBA
ORIGINAL SITE AREA	404.5 m <sup>2</sup>			404.5 m <sup>2</sup>		
PROPOSED RECONFIGURED SITE AREA	314 m <sup>2</sup>			495 m <sup>2</sup>		
PROPOSED NUMBER OF DWELLINGS ON THE SITE	1 (EXISTING)			UNIT 1	UNIT 2	UNIT 3
BUILDING AREAS (GFA)	99 m <sup>2</sup>			72.8 m <sup>2</sup>	73.8 m <sup>2</sup>	73.8 m <sup>2</sup>
GFA TO SITE AREA RATIO	31%			59%		
CAR PARKING REQUIREMENTS	1 (RESIDENT)		1 (VISITOR)	1 PER DWELLING		0.25 PER DWELLING
CAR PARKING PROVIDED	1		1	5		1
TOTAL LANDSCAPE/GARDEN AREA	135 m <sup>2</sup>			UNIT 1	UNIT 2	UNIT 3
OUTSIDE DECK/BALCONY AREA	FIRST FLOOR EXTERNAL DECK 8 m <sup>2</sup>			32 m <sup>2</sup>	16 m <sup>2</sup>	16 m <sup>2</sup>
				COMMON LANDSCAPE AREA 26 m <sup>2</sup>		32 m <sup>2</sup>
				17.7 m <sup>2</sup> PER UNIT		

**PLANS AND DOCUMENTS**  
referred to in the  
**APPROVAL**  
  
**16/04/2013**  
Dated:.....



17012013  
**PROJECT :** PROPOSED TOWNHOUSES, COORPAROO, BRISBANE  
**TITLE :** SITE AND GROUND FLOOR LAYOUT

DWG NO. - 2D10  
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**GROUND 11**  
**ARCHITECTS**  
c/o Peter James (ABN12796538397) RPEQ 12470  
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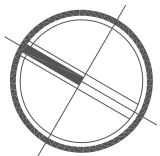


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**PLANS AND DOCUMENTS**  
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**16/04/2013**  
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17122012

**PROJECT :** PROPOSED TOWNHOUSES, COORPAROO, BRISBANE

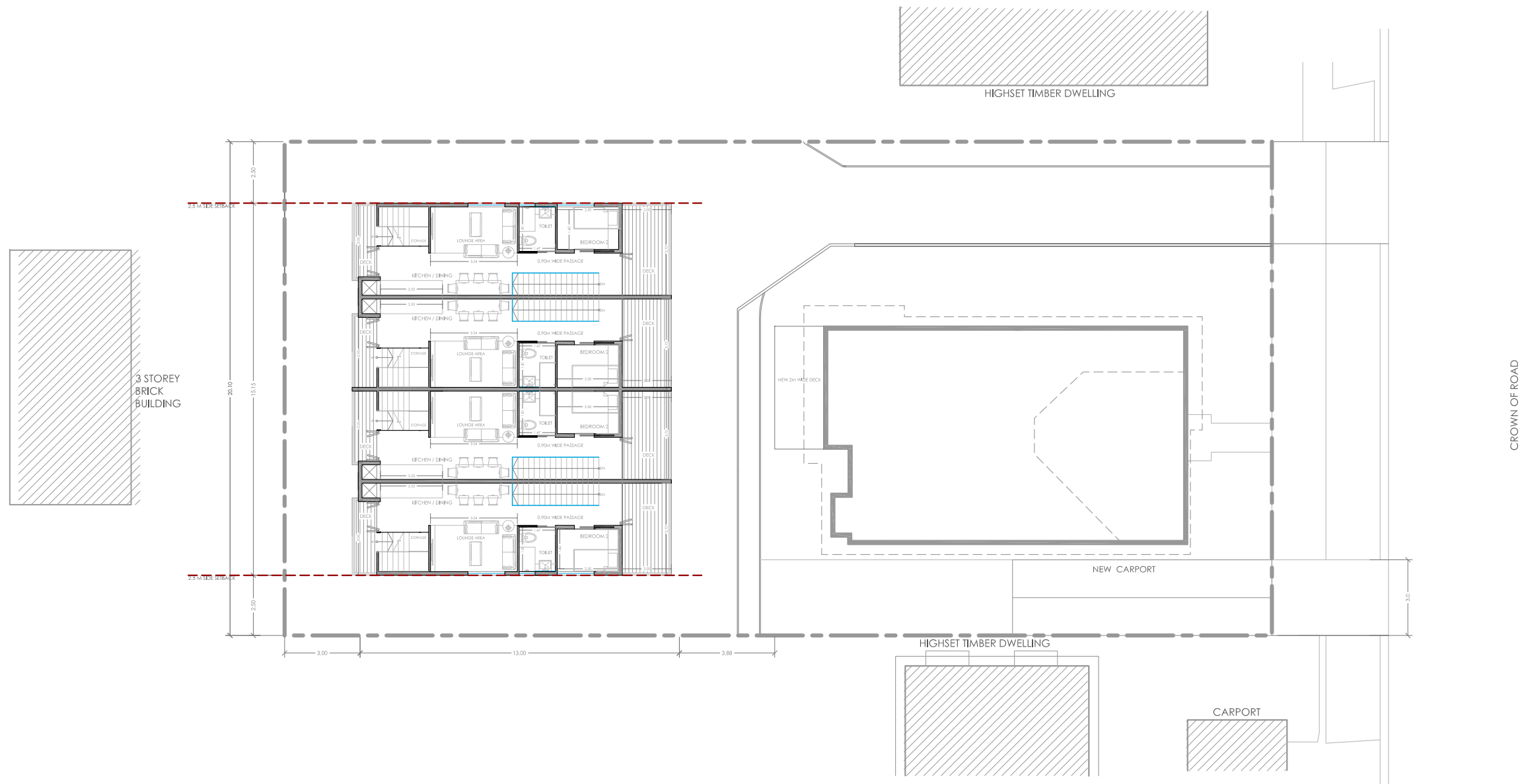
**TITLE :** SITE AND FIRST FLOOR LAYOUT

DWG NO. - 2D11

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**GROUND 11**  
**ARCHITECTS**

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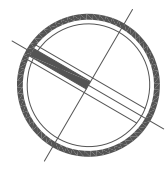


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**16/04/2013**  
Dated:.....

**Received**  
**18/12/2012**  
**BCC DA**



17122012

**PROJECT :** PROPOSED TOWNHOUSES, COORPAROO, BRISBANE

**TITLE :** SITE AND SECOND FLOOR LAYOUT

DWG NO. - 2D12

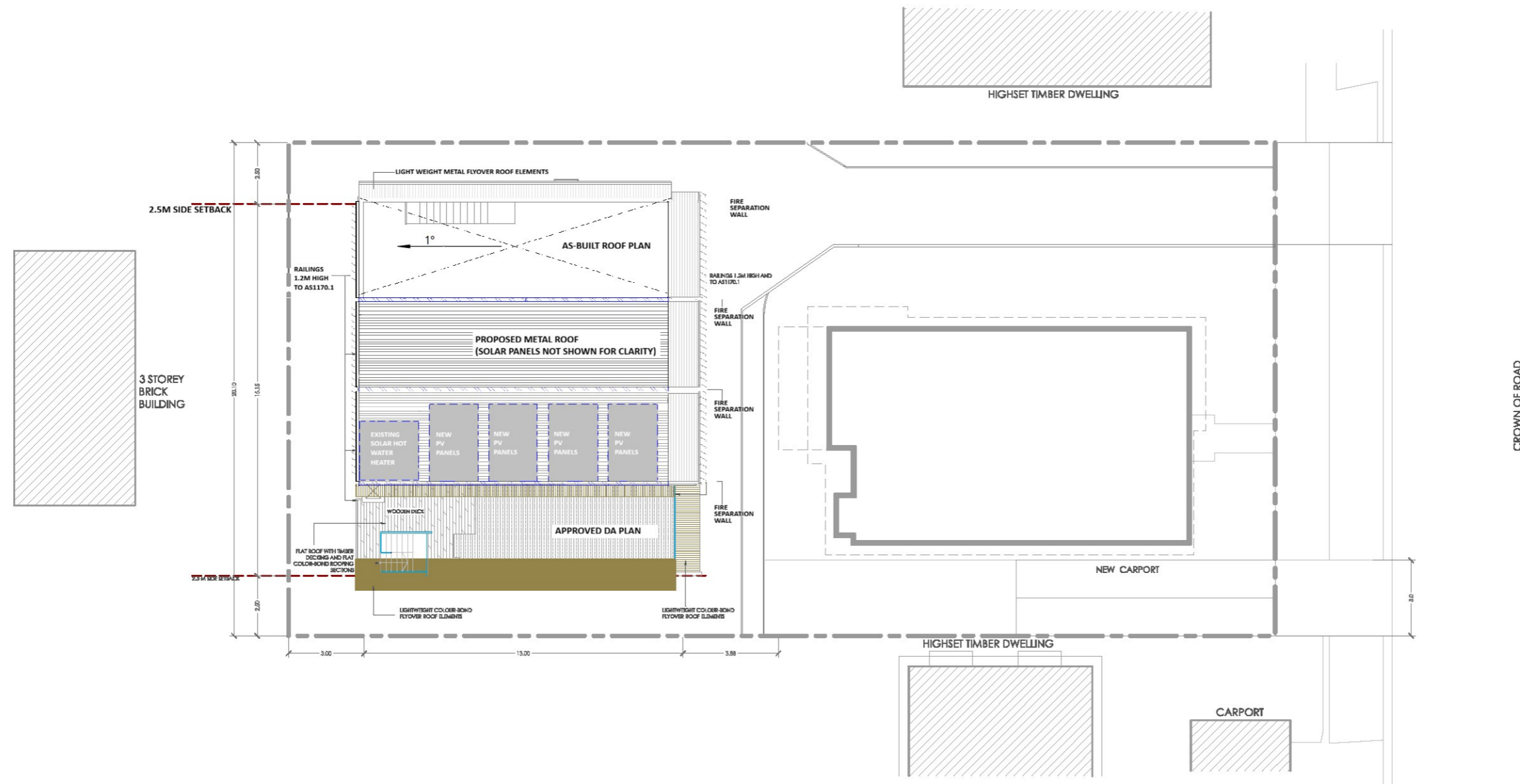
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**GROUND 11**  
**ARCHITECTS**

c/o Peter James (ABN12796538397) RPEQ 12470  
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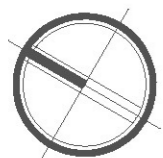
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 A007006395

**PLANS AND DOCUMENTS**  
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**16/04/2013**  
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**ORIGINAL APPROVED DA DRAWING - MARKED UP TO SHOW PROPOSED MINOR AMENDMENTS**

**PROPOSED AMENDMENTS:**  
 UNIT 1 (AT TOP OF SHEET) - AS-BUILT VIEW  
 UNIT 2 - PROPOSED METAL ROOF (SOLAR PANELS NOT SHOWN FOR CLARITY)  
 UNIT 3 - PROPOSED METAL ROOF WITH SOLAR PANELS PV & SOLAR HOT WATER  
 UNIT 4 - APPROVED DA DRAWING

**ALSO SEE, "2604 EDEN ON EIGHTH AMENDMENT DRAWINGS":**  
 DRAWING 1 - EXISTING APPROVED TOWNHOUSE ROOF  
 DRAWING 2 - ROOF PLANS  
 DRAWING 4 - AERIAL VIEW



16012013

**PROJECT :** PROPOSED TOWNHOUSES, COORPAROO, BRISBANE

**TITLE :** SITE AND ROOF LAYOUT

DWG NO. - 2D13

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**GROUND 11**  
**ARCHITECTS**

c/o Peter James (ABN12796538397) RPEQ 12470  
 pahjames@gmail.com

1. ROOF EDGE BALUSTRADE RAILING TO AS 1170.1 AND MINIMUM OF 80% TRANSPARENT
2. BALCONY RAILING TO AS 1170.1 AND MINIMUM OF 80% TRANSPARENT
3. GROUND FLOOR WALLS LIGHT COLORED RENDERED PANELLING
4. FIRST FLOOR WALLS LIGHT COLORED (WHITE OR GREY) HORIZONTALLY LAID CORRUGATED METAL PANELLING
5. SECOND FLOOR F LIGHT COLORED (WHITE OR GREY) HORIZONTALLY LAID PLANL EFFECT METAL PANELLING

**ORIGINAL APPROVED DA DRAWING - MARKED UP TO SHOW PROPOSED MINOR AMENDMENTS**

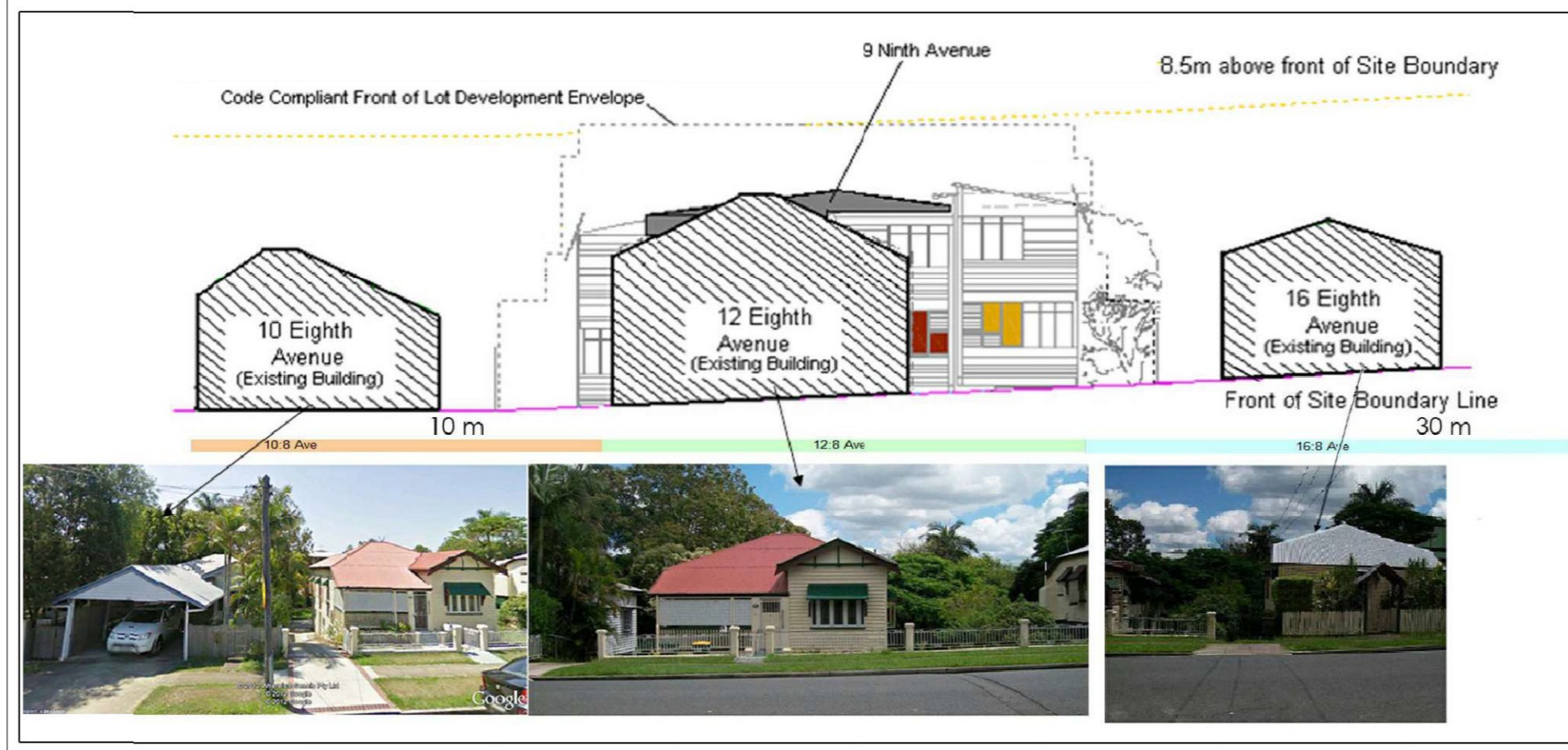
**PROPOSED AMENDMENTS:**

- REAR ELEVATION (NORTH) (ON LEFT HAND SIDE OF SHEET)**  
 UNIT 1 (ON FAR LEFT) - PROPOSED SOLAR ROOF SHOWN  
 UNIT 2 - PROPOSED SOLAR ROOF SHOWN  
 UNIT 3 - PROPOSED SOLAR ROOF NOT SHOWN FOR CLARITY  
 UNIT 4 - PROPOSED SOLAR ROOF NOT SHOWN FOR CLARITY

**FRONT ELEVATION (SOUTH) (ON RIGHT HAND SIDE OF SHEET)**

- UNIT 1 (ON FAR RIGHT) - PROPOSED SOLAR ROOF SHOWN  
 UNIT 2 - PROPOSED SOLAR ROOF SHOWN  
 UNIT 3 - PROPOSED SOLAR ROOF NOT SHOWN FOR CLARITY  
 UNIT 4 - PROPOSED SOLAR ROOF NOT SHOWN FOR CLARITY

**ALSO SEE, 2604 EDEN ON EIGHTH AMENDMENT DRAWING: DRAWING 5 - STREET VIEW (PROPOSED VIEW FROM ACROSS THE STREET)**

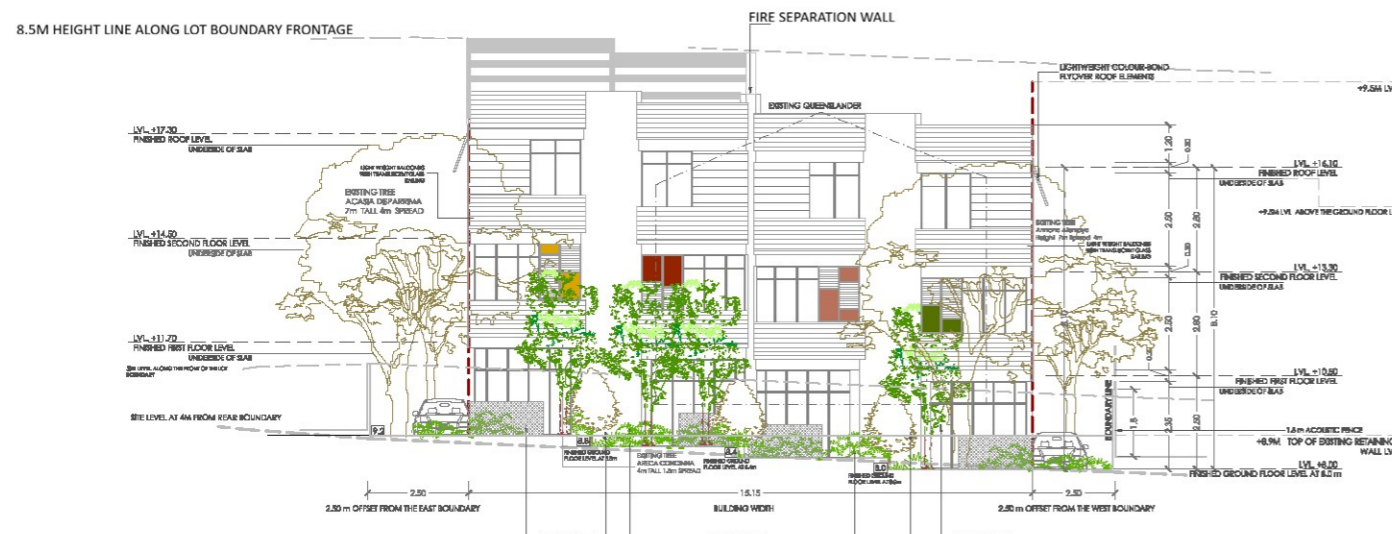


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**FRONT ELEVATION (SOUTH)**  
 VIEW FROM THE STREET



**PLANS AND DOCUMENTS**  
 referred to in the  
**APPROVAL**

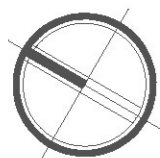
**16/04/2013**

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**REAR ELEVATION (NORTH)**  
 FACING 9 NINTH AVENUE

**FRONT ELEVATION (SOUTH)**  
 FACING QUEENSLANDER



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**PROJECT :** PROPOSED TOWNHOUSES, COORPAROO, BRISBANE

**TITLE :** SOUTH AND NORTH ELEVATIONS

DWG NO. - 2D14

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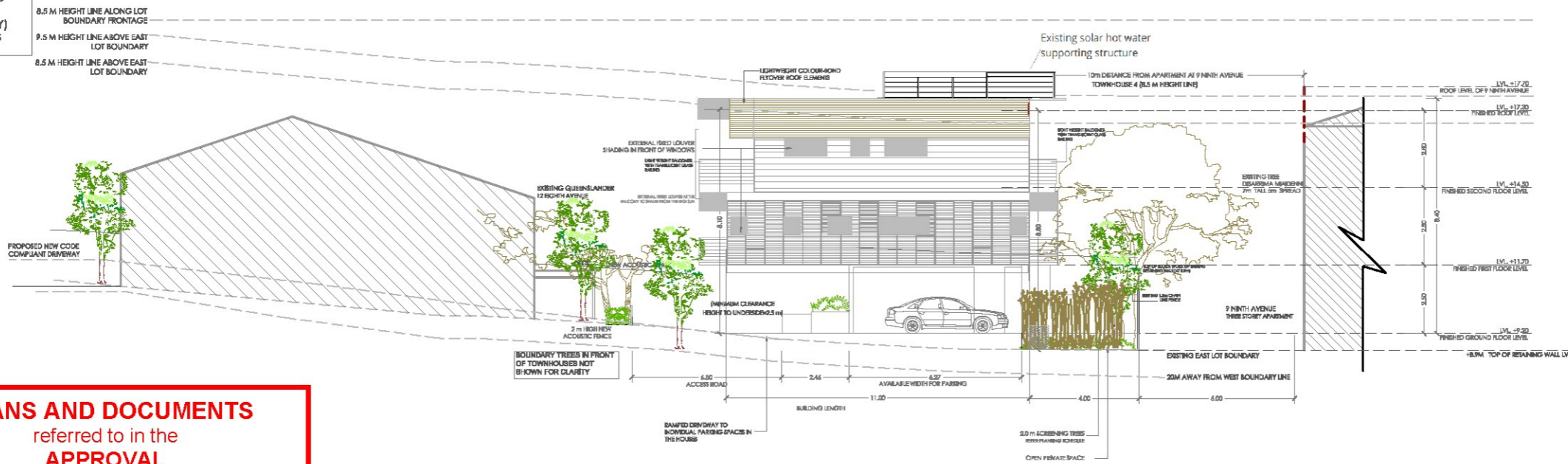
**GROUND 11**  
**ARCHITECTS**

c/o Peter James (ABN12796538397) RPEQ 12470  
 pahjames@gmail.com

1. ROOF EDGE BALUSTRADE RAILING TO AS 1170.1 AND MINIMUM OF 80% TRANSPARENT
2. BALCONY RAILING TO AS 1170.1 AND MINIMUM OF 80% TRANSPARENT
3. GROUND FLOOR WALLS LIGHT COLORED RENDERED PANNELLING
4. FIRST FLOOR WALLS LIGHT COLORED (WHITE OR GREY) HORIZONTALLY LAID CORRUGATED METAL PANNELLING
5. SECOND FLOOR LIGHT COLORED (WHITE OR GREY) HORIZONTALLY LAID PLAN EFFECT METAL PANNELLING

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**EAST ELEVATION**  
FACING 16 EIGHTH AVENUE

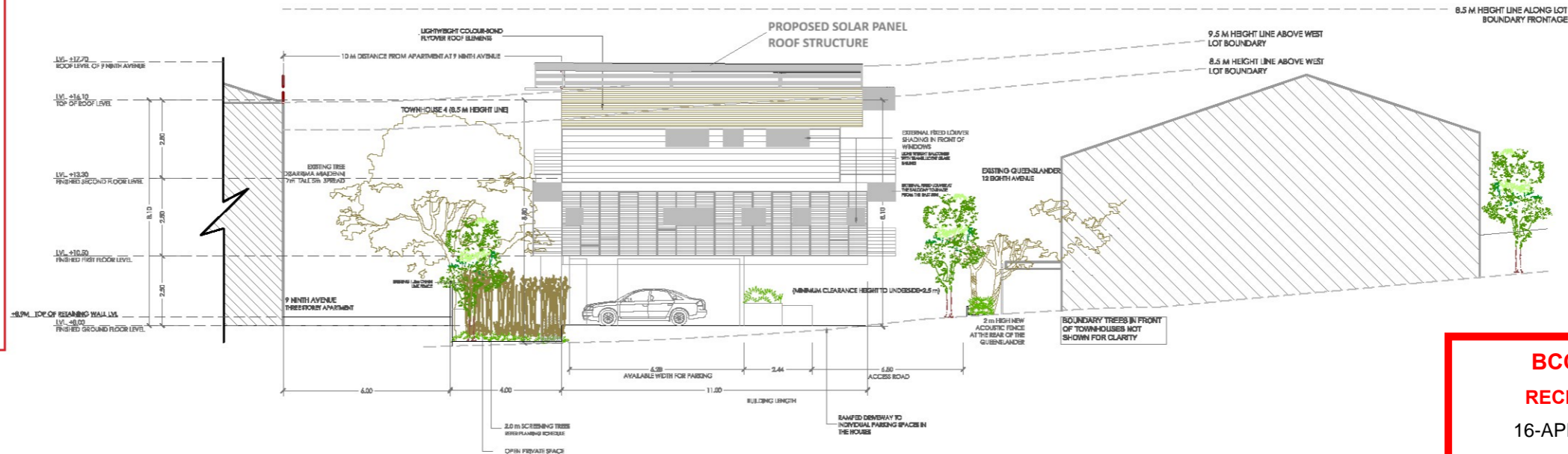
2. BALCONY F TRANSPARENT
3. GROUND F PANNELLING
4. FIRST FLOOR HORIZONTAL
5. SECOND FL HORIZONTAL

**ORIGINAL APPROVED DA DRAWING - MARKED UP TO SHOW PROPOSED MINOR AMENDMENTS**

**PROPOSED AMENDMENTS:**  
**EAST ELEVATION (AT TOP OF SHEET)**  
UNIT 1 - EXISTING SOLAR HOT WATER SUPPORT STRUCTURE SHOWN

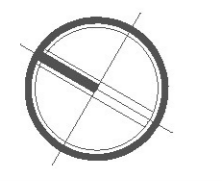
**WEST ELEVATION (AT BOTTOM OF SHEET)**  
UNIT 4 - PROPOSED SOLAR ROOF SHOWN

**ALSO SEE, "2604 EDEN ON EIGHTH AMENDMENT DRAWING":**  
DRAWING 3 - EAST ELEVATION (AT BOTTOM OF SHEET)



**WEST ELEVATION**  
FACING 10 EIGHTH AVENUE

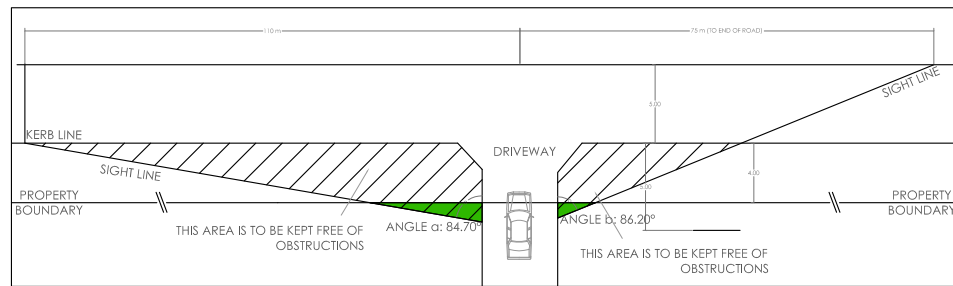
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16-APR-2026  
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16012013  
**PROJECT :** PROPOSED TOWNHOUSES, COORPAROO, BRISBANE  
**TITLE :** EAST AND WEST ELEVATIONS

DWG NO. - 2D15  
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**GROUND 11**  
ARCHITECTS  
c/o Peter James (ABN12796538397) RPEQ 12470  
p a h j a m e s @ g m a i l . c o m

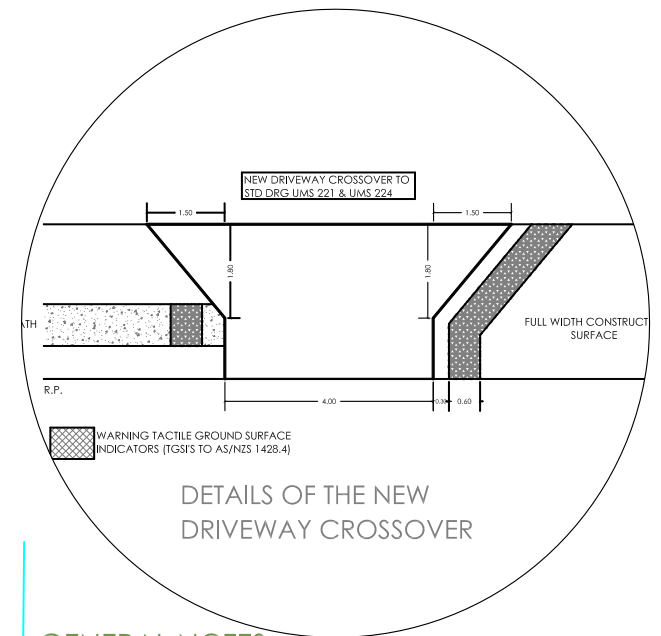
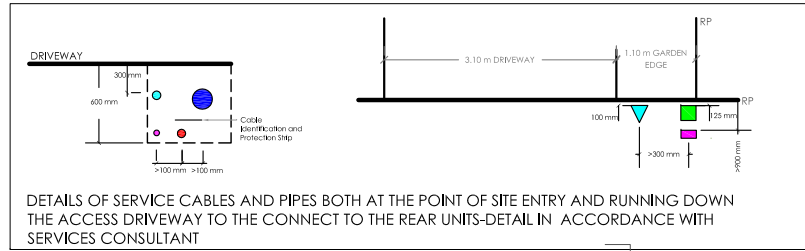


SIGHT LINES AT BOTH THE CROSSOVERS- SEE IMAGES OF FRONT OF PROPERTIES BELOW-ON BOTH SIDES IT CAN BE SEEN THAT NEIGHBORS HAVE VERY LOW FRONT BOUNDARY FENCES, WHILST FOR THE SUBJECT SITE, THE FENCING IS BOTH AND TRANSPARENT AND LOW



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**GENERAL NOTES:**

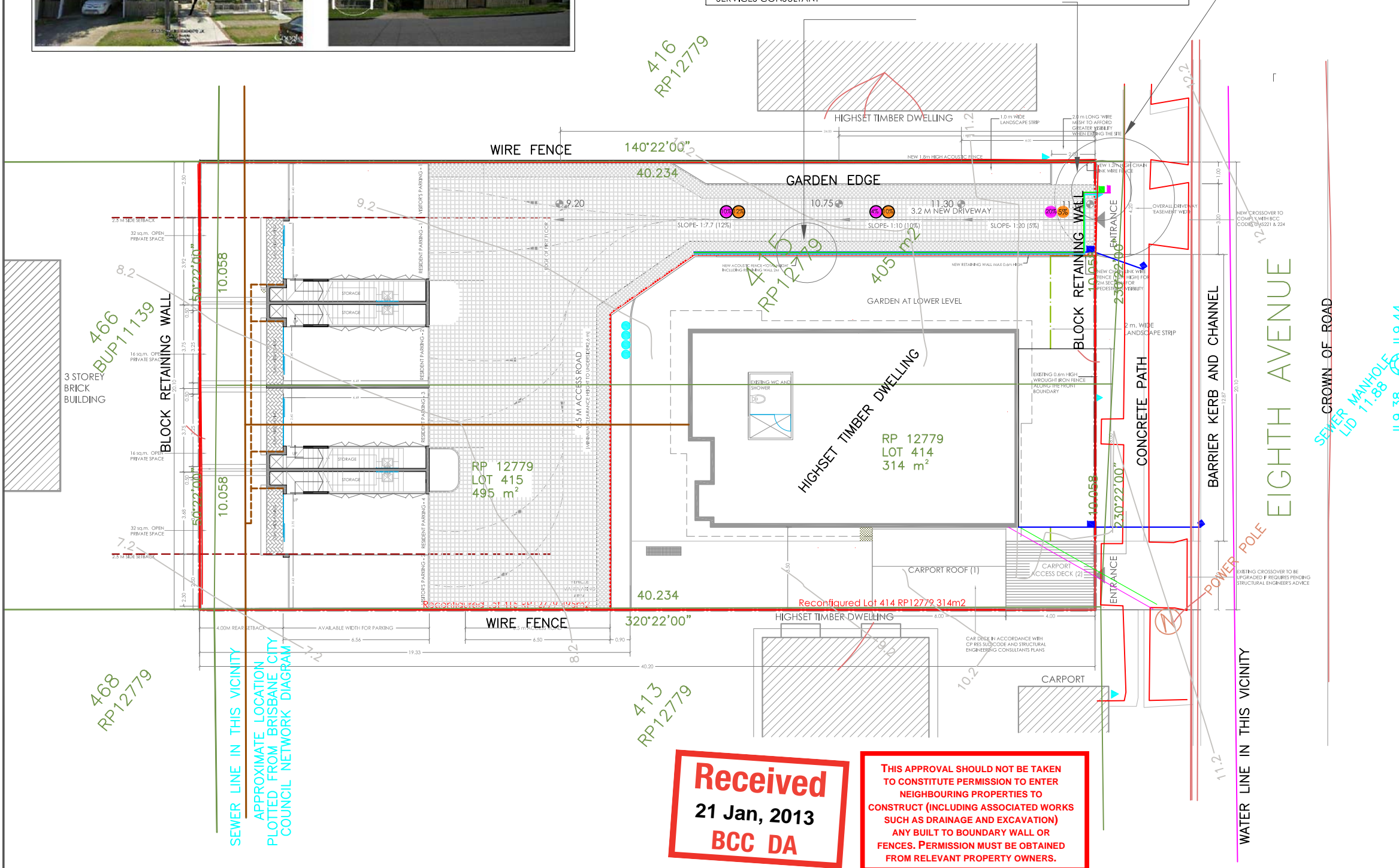
1. CONTOUR INTERVAL 1.0 m
2. LEVEL DATUM: SSUH 73522 FL 15.512 m
3. TOTAL AREA:
4. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY. THE LOCATION OF BOUNDARY PEGS IS NOT GUARANTEED. ALL DIMENSIONS ARE SUBJECT TO FINAL SURVEY.
5. SERVICES SHOWN HEREBY HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE SO LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN., WHERE SUCH RECORDS EITHER DO NOT EXIST OR ARE INADEQUATE A NOTATION HAS BEEN MADE HEREON. PRIOR TO EXCAVATION THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR VERIFICATION OF THE LOCATION OF ALL UNDERGROUND SERVICES.

NOTE: EXISTING SERVICES AND CONNECTIONS TO THE EXISTING SERVICES ARE TO BE LOCATED AND CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO ANY EXCAVATION. ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES FOR POSSIBLE REVISIONS.

**LEGEND**

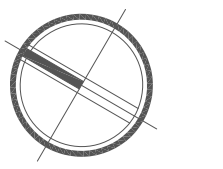
- Proposed (N25) Concrete Pavement
- Proposed Porous Paving (with Flex Strength equal or above code requirements)
- Proposed Porous Paving Edge Restraint
- Warning Tactile Ground Surface Indicators (TGS's)
- Existing contours
- Proposed Levels
- Existing spot level
- Communications pit
- Communications cables
- Lv electrical pillar
- Lv electrical cable
- Mains water meter
- Potable water pipe
- Potable sub-meter
- Roofwater inspection manhole
- Roofwater pipe
- Kerb adaptor
- Sewer(existing)
- Sewer (new)
- Existing gradient
- Existing and proposed gradient are same
- Proposed new gradient

SERVICES LOCATION ARE APPROXIMATE AND SHOW INDICATIVE LOCATIONS SHALL COMPLY WITH REQUIRED STANDARDS



**Received**  
21 Jan, 2013  
**BCC DA**

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16012013  
**PROJECT :** PROPOSED TOWNHOUSES, COORPAROO, BRISBANE  
**TITLE :** CIVIL SITE WORKS CONCEPT LAYOUT PLAN

DWG NO. - 2D16  
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**GROUND 11 ARCHITECTS**  
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