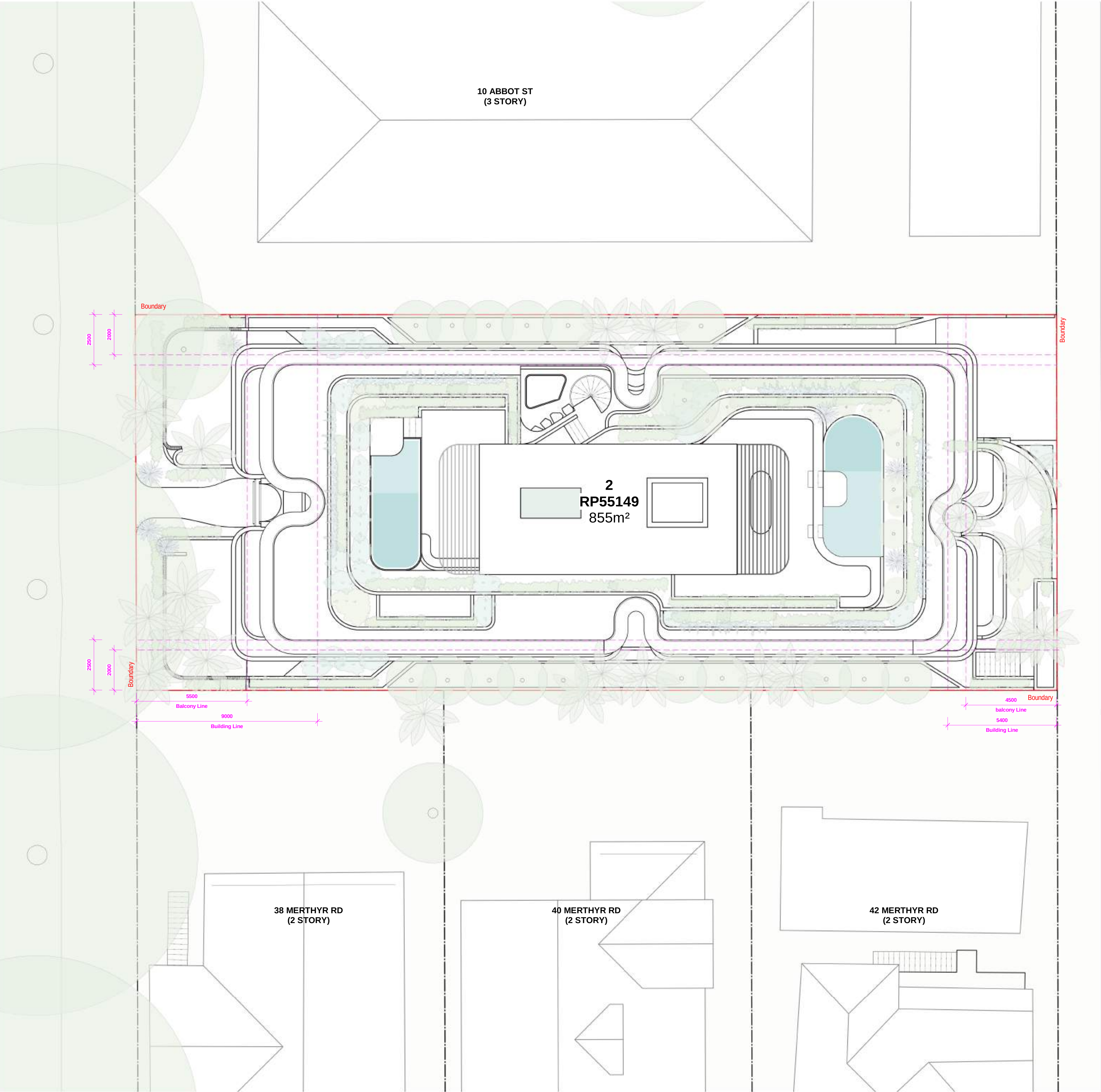




Site Plan

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B	01/10/2024	DA Submission		
C	13/12/2024	RFI DA Issue		
D	12/03/2025	RFI DA Issue		

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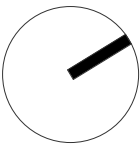
Key Plan

Client

Project
Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Site Plan



Date
12/03/2025
Scale
1 : 100
Sheet Size
@ A1

Drawn
EMK
Chk.
EMK

Job No.
2797
Drawing No.
A0009
Revision
/ D

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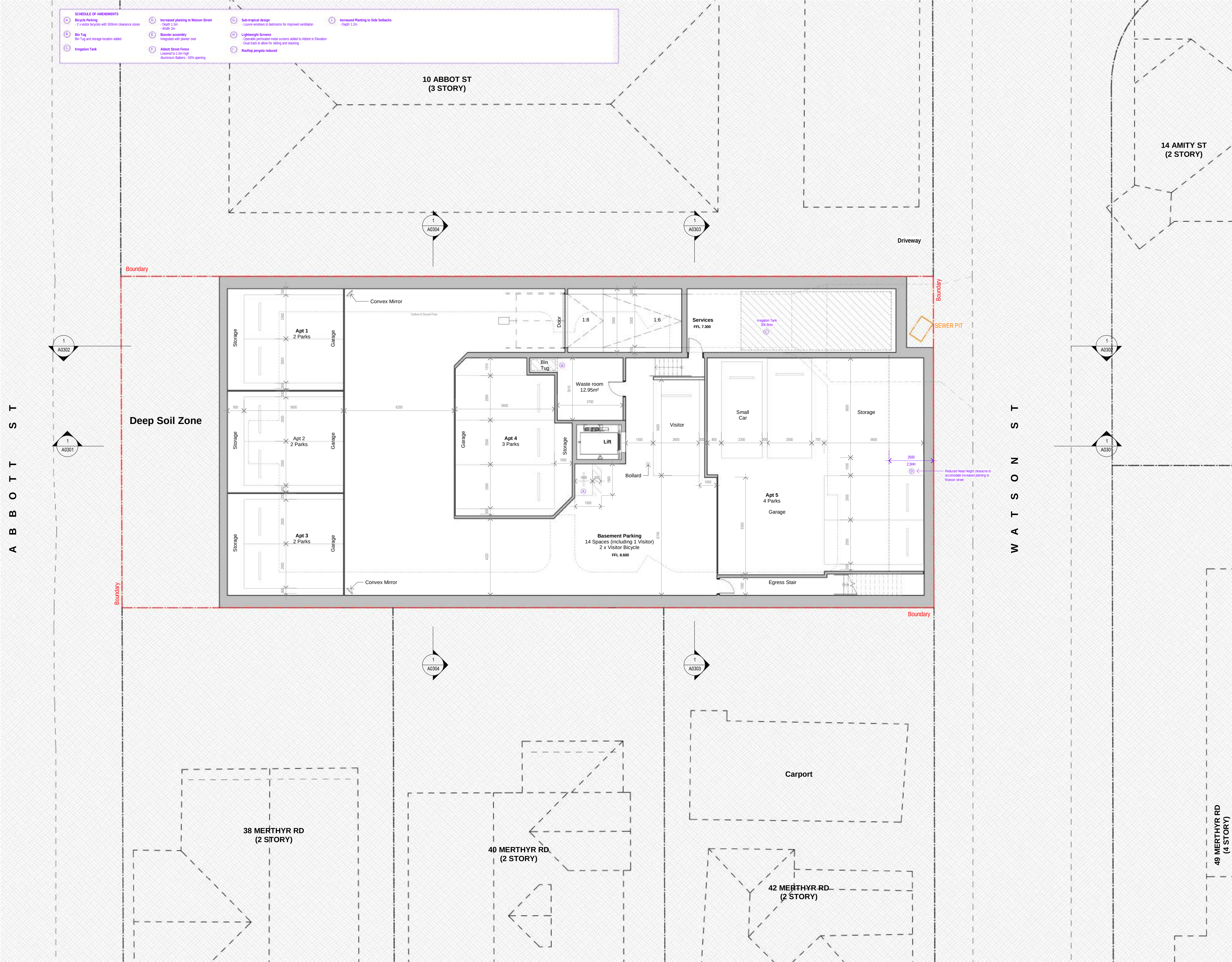
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Basement Plan



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APPROVAL
Dated: 01/04/2025

Key Plan

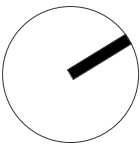
Client

Project

Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Floor Plan - Basement



Date 12/03/2025 Scale 1 : 100 Sheet Size @ A1

Drawn Chk.

Author Checker

Job No. Drawing No. Revision

2797 A0101 / D

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D	12/03/2025	RFI DA Issue		

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Drawing Name

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Ground Floor



First Floor

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PLANS AND DOCUMENTS referred to in the APPROVAL

Dated: 01/04/2025

Key Plan

Client

Project

Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Floor Plan - First Floor

Date 12/03/2025 Scale 1 : 100 Sheet Size @ A1

Drawn EMK Chk. EMK

Job No. 2797 Drawing No. A0103 Revision / D

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D	12/03/2025	RFI DA Issue		

A007077646

A006632675

Dated: 01/04/2025

Client _____

Drawing Name

Job No. _____ Drawing No. _____ Revision _____

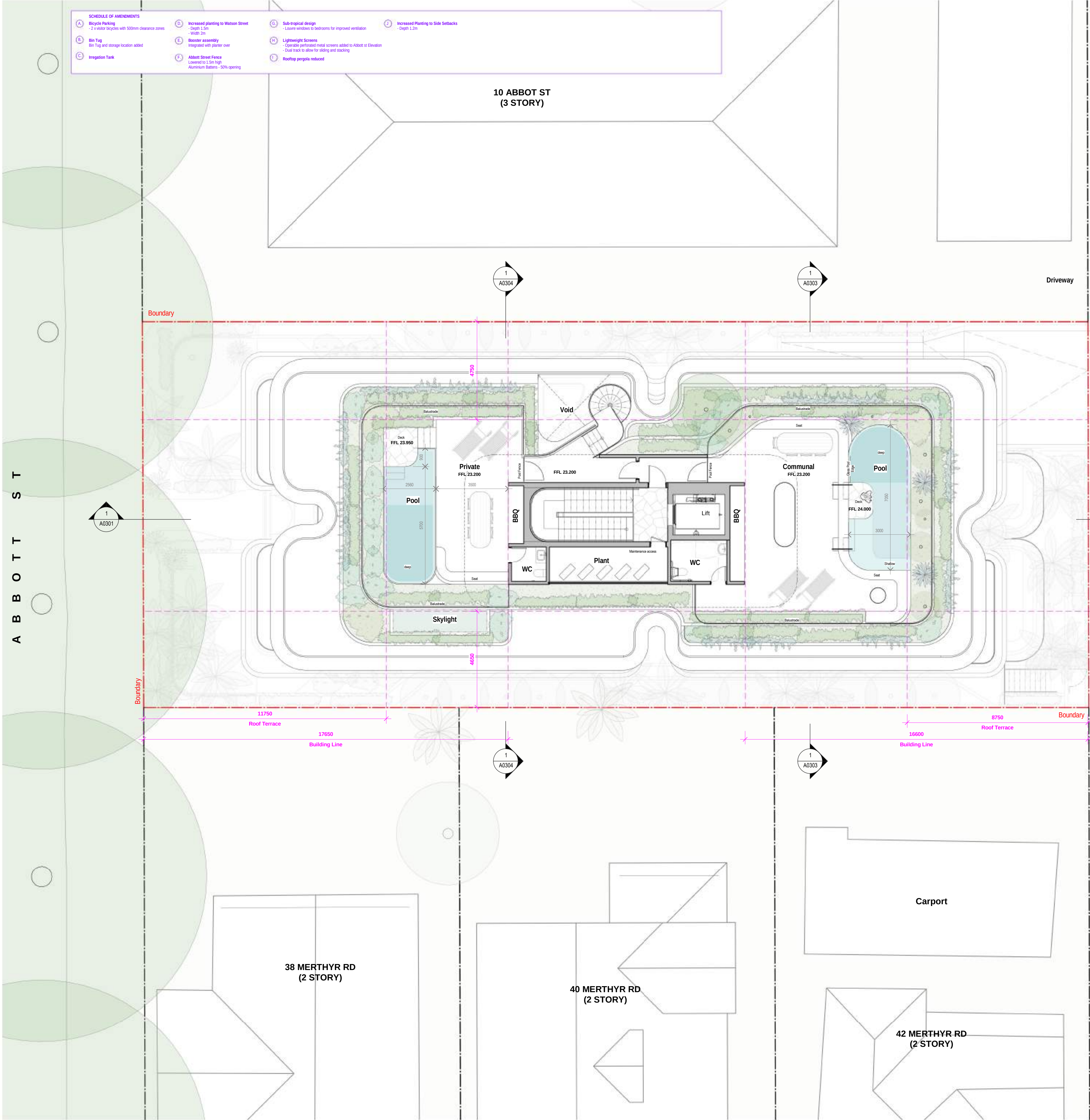
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W A T S O N S T

Second Floor



Roof Terrace

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Rev	Date	Revision	By	Chk.
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A	-	CONCEPT		
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C	13/12/2024	REF DA Issue		
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PLANS AND DOCUMENTS
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Dated: 01/04/2025

Key Plan

Client

Project

Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Roof Terrace

Date

12/03/2025

Scale

1 : 100

Sheet Size

@ A1

Drawn

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Chk.

EMK

Job No.

2797

Drawing No.

A0105

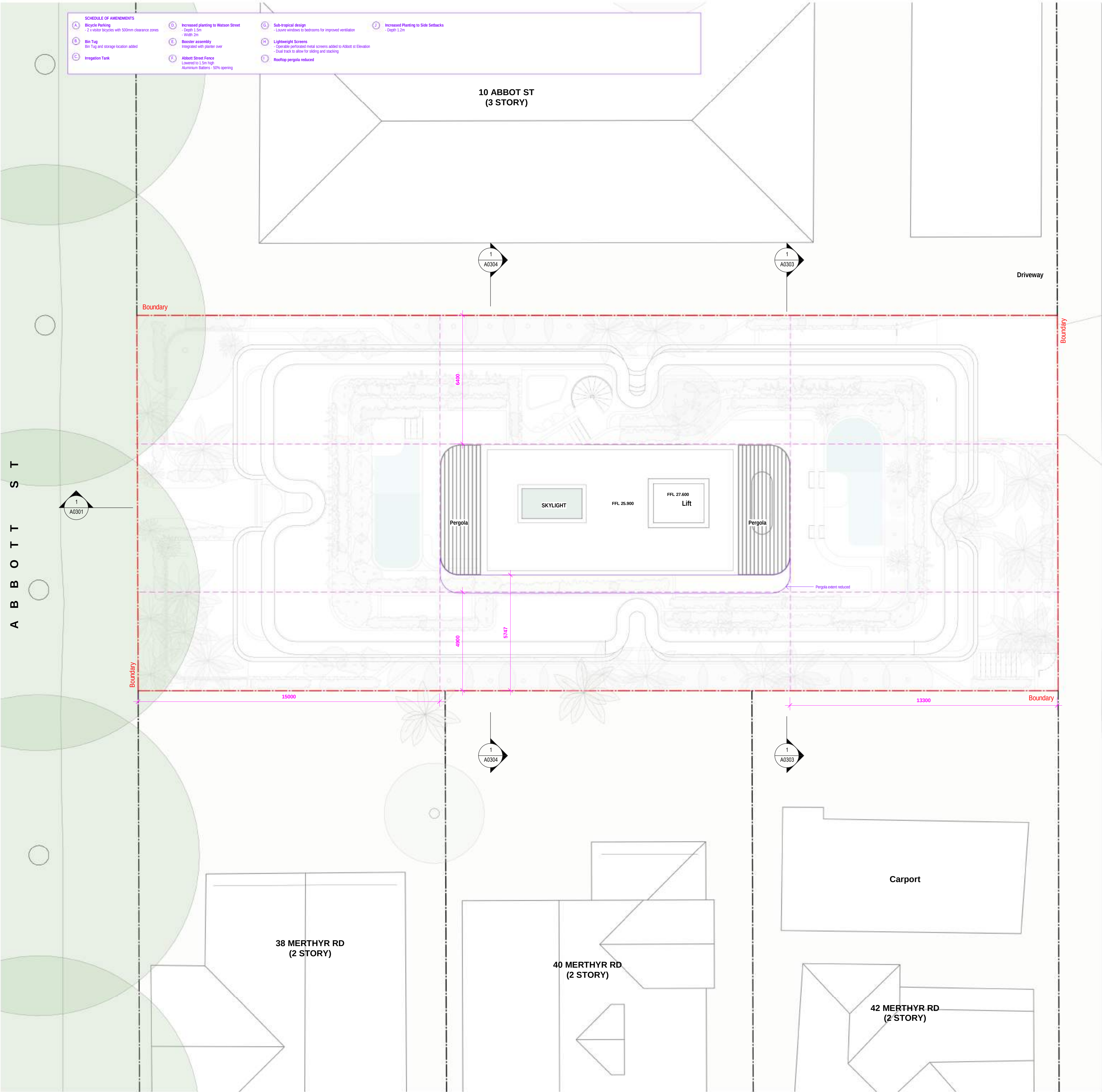
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Roof Plan

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APPLICATION REF
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referred to in the
APPROVAL
Dated: 01/04/2025

Key Plan

Client

Project
Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Roof Plan

Date 12/03/2025 Scale 1 : 100 Sheet Size @ A1

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Job No. 2797 Drawing No. A0106 Revision / D

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RESOURCES AND DOCUMENTS

Dated: 01/04/2025

Key Plan

Client

Project

Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Driveway Plan And Section

Date	Scale	Sheet Size
12/03/2025	1 : 50	@ A1

Drawn _____ Chk. _____

Author	Checker
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2797 A0110 / C

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referred to in the
APPROVAL
Dated: 01/04/2025

Key Plan

Client

Project
Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Elevations - South
Elevation

Date 12/03/2025 Scale As indicated Sheet Size @ A1

Drawn EMK Chk. EMK

Job No. Drawing No. Revision

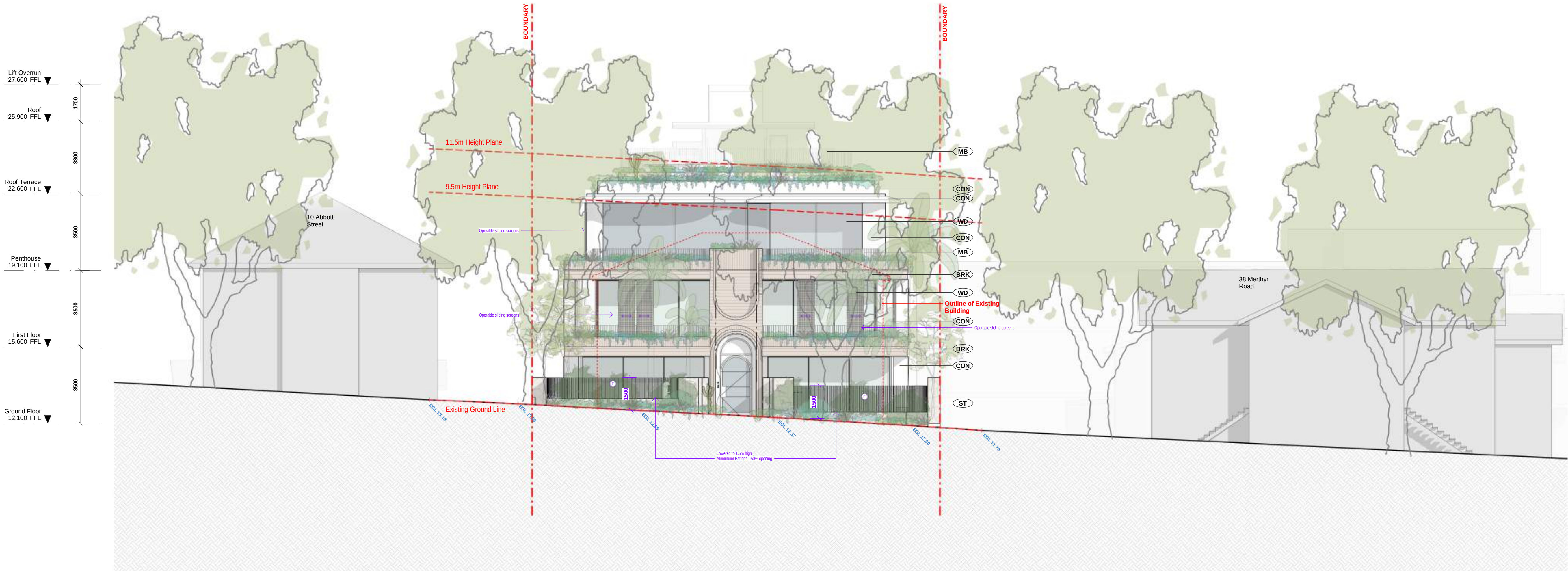
2797 A0201 / D

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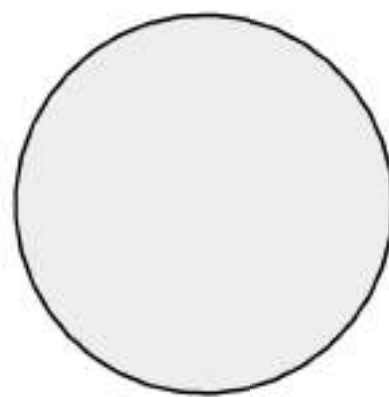
SCHEDULE OF AMENDMENTS			
A Pergola Parking - 2 x visitor bicycles with 500mm clearance zones	D Increased planting to Watson Street - Depth 1.5m - Width 5m	C Sub-irrigal design - Louvre windows to bedrooms for improved ventilation	F Increased Planting to Side Setbacks - Depth 1.2m
B Bin Tag Bin Tag and storage location added	E Rooster assembly Integrated with planter over	H Lightweight Screens - Operable perforated metal screens added to Abbott St Elevation - Dual track to allow for sliding and stacking	
C Irrigation Tank	F Abbott Street Fence Lowered to 1.5m high Aluminium Batters - 50% opening	I Rooftop pergola reduced	



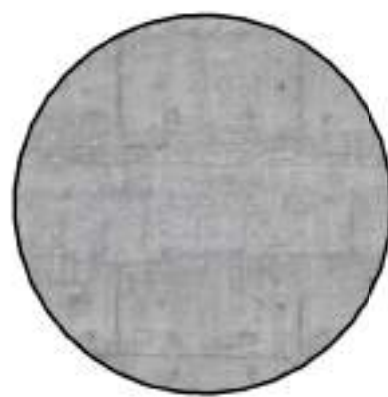
South Elevation - Abbott St



MB:
FINE METAL BALUSTRADE
DARK BRONZE



PTW:
PAINT WHITE



CON:
CONCRETE/RENDER
FINISH



BK1:
BRICK FACADE
LIGHT COLOUR



BS:
BATTEN PRIVACY
SCREEN



ST:
STONE CLADDING



WD:
ANODISED WINDOW FRAMES
DARK BRONZE



TM:
TIMBER SOFFIT LINING /CLADDING/
BATTENS



MTL:
METAL SCREENS - PERFORATED OR WOVEN MESH
BRONZE

External Finishes

Nominated Architects: Emil Kucevic - 9308

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Rev	Date	Revision	By	Chk.
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Dated: 01/04/2025

Key Plan

Client

Project
Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Elevations - East
Elevation

Date 12/03/2025 Scale As indicated Sheet Size @ A1

Drawn EMK Chk. EMK

Job No. Drawing No. Revision

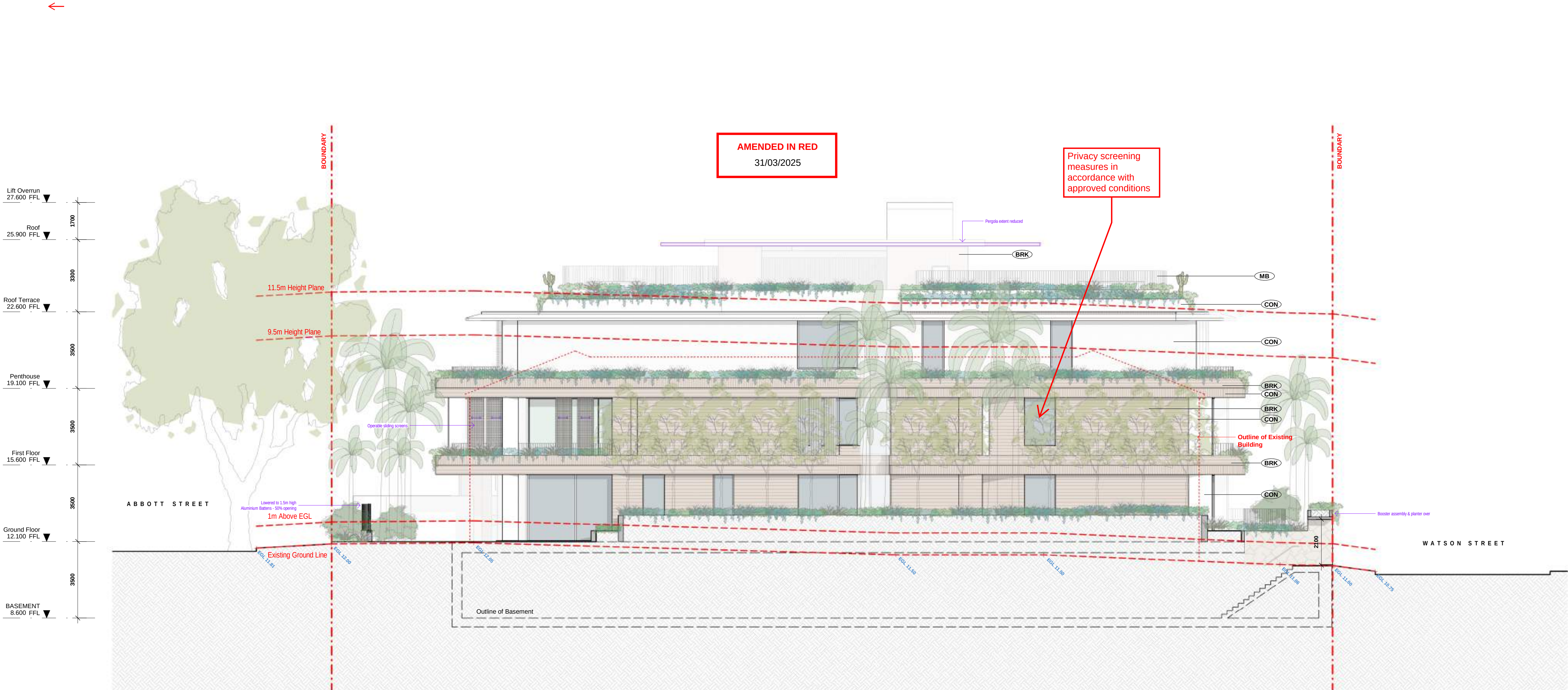
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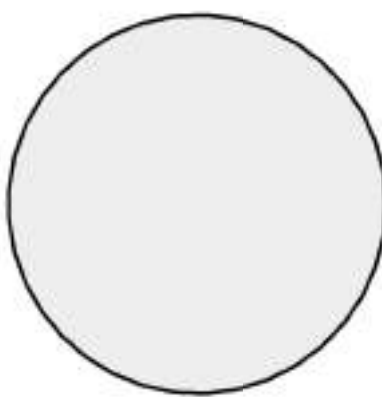
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C Irrigation Tank	F Abbott Street Fence Lowered to 1.5m high Aluminium Batters - 50% opening	I Rooftop pergola reduced	



East Elevation



MB:
FINE METAL BALUSTRADE
DARK BRONZE



PTW:
PAINT WHITE



CON:
CONCRETE/RENDER
FINISH



BK1 :
BRICK FACADE
LIGHT COLOUR



BS :
BATTEN PRIVACY
SCREEN



ST :
STONE CLADDING



WD:
ANGLED WINDOW FRAMES
DARK BRONZE



TM:
TIMBER SOFFIT LINING /CLADDING/
BATTENS



MTL:
METAL SCREENS - PERFORATED OR WOVEN MESH
BRONZE

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D	12/03/2025	RFI DA Issue

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PLANS AND DOCUMENTS
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Dated: **01/04/2025**

Client

Project

Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

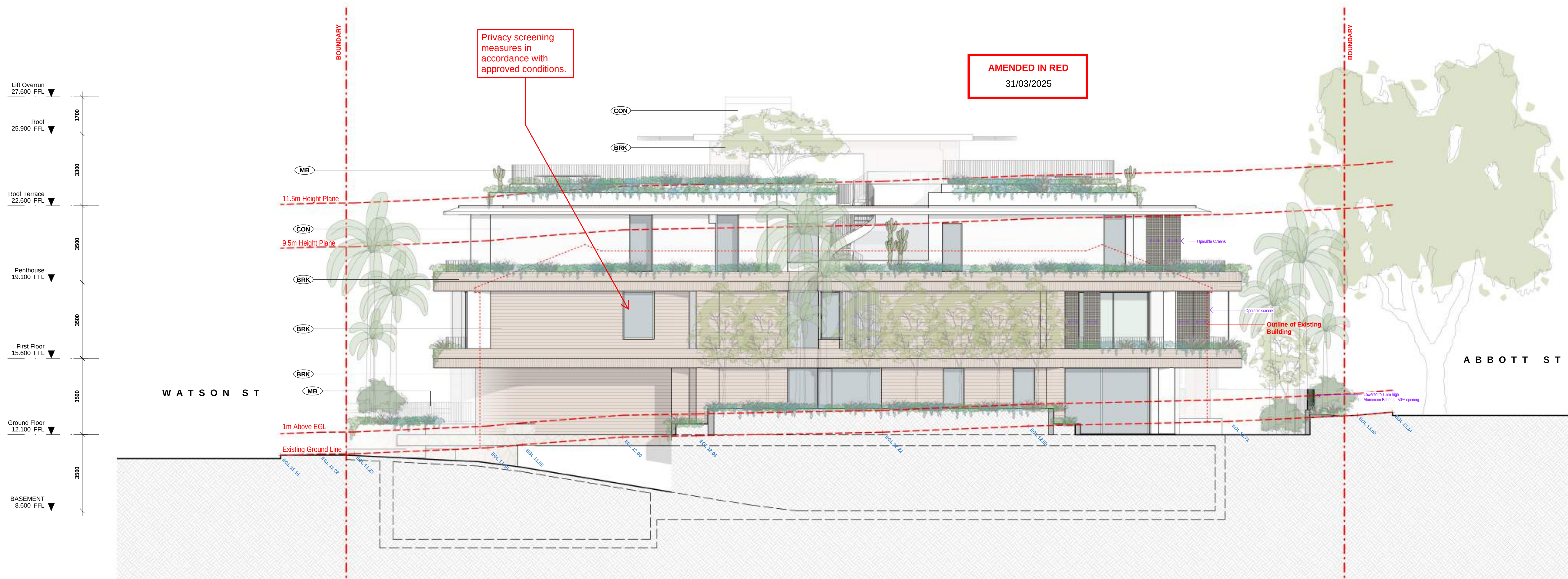
Elevations - West
Elevation

Date	Scale	Sheet Size
12/03/2025	As indicated	@ A1
Drawn	Chk.	
Author	Checker	
Job No.	Drawing No.	Revision

2797 A0203 / D

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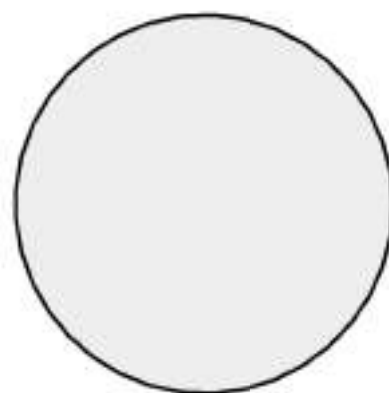
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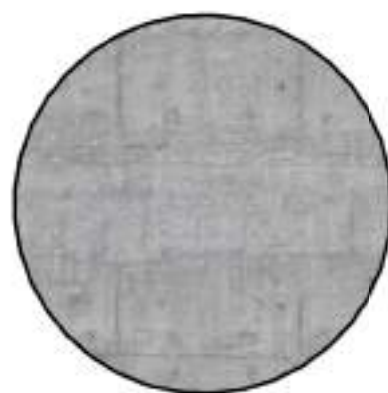
West Elevation



MB:
FINE METAL BALUSTRADE
DARK BRONZE



PTW:
PAINT WHITE



CON:
CONCRETE/RENDER
FINISH



BK1 :
BRICK FACADE
LIGHT COLOUR



BS :
BATTEN PRIVACY
SCREEN



ST :
STONE CLADDING



WD:
ANODISED WINDOW FRAMES
DARK BRONZE



TM:
TIMBER SOFFIT LINING /CLADDING
BATTENS



MTL:
METAL SCREENS - PERFORATED OR WOVEN MESH
BRONZE

External Finishes

A0203 / D

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Key Plan

Client

Project
Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Elevations - North
Elevation

Date
12/03/2025

Scale
As indicated

Sheet Size
@ A1

Drawn

Chk.

Author

Checker

Job No.

Drawing No.

Revision

2797

A0204

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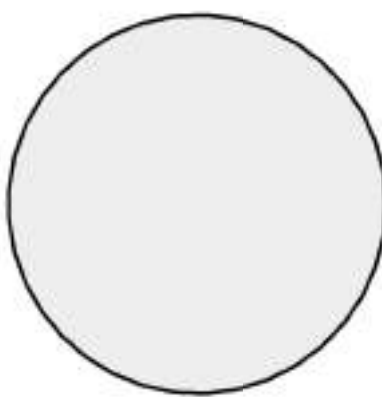
SCHEDULE OF AMENDMENTS			
A Pergola Parking - 2 x visitor bicycles with 500mm clearance zones	D Increased planting to Watson Street - Depth 1.5m - Width 2m	C Sub-tropical design - Louvre windows in bedrooms for improved ventilation	F Increased Planting to Side Setbacks - Depth 1.2m
B Bin Tag Bin Tag and storage location added	E Booster assembly Integrated with planter over	H Lightweight Screens - Operable perforated metal screens added to Abbott St Elevation - Dual track to allow for sliding and stacking	
C Irrigation Tank	F Abbott Street Fence Lowered to 1.5m high Aluminium Batters - 50% opening	I Rooftop pergola reduced	



North Elevation



MB:
FINE METAL BALUSTRADE
DARK BRONZE



PTW:
PAINT WHITE



CON:
CONCRETE/RENDER
FINISH



BRK1:
BRICK FACADE
LIGHT COLOUR



BS:
BATTEN PRIVACY
SCREEN



ST:
STONE CLADDING



WD:
ANODISED WINDOW FRAMES
DARK BRONZE



TM:
TIMBER SOFFIT LINING /CLADDING/
BATTENS



MTL:
METAL SCREENS - PERFORATED OR WOVEN MESH
BRONZE

External Finishes

Nominated Architects: Emil Kucevic - 9308

FOR APPROVAL

Rev	Date	Revision	By	Chk.
A	-	CONCEPT		
B	01/10/2024	DA Submission		
C	13/12/2024	RFI DA Issue		
D	12/03/2025	RFI DA Issue		

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APPLICATION REF
A007077646

PLANS AND DOCUMENTS
referred to in the
APPROVAL
Dated: 01/04/2025

Key Plan

Client

Project

Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Section 01

Date 12/03/2025 Scale 1 : 100 Sheet Size @ A1

Drawn EMK Chk. EMK

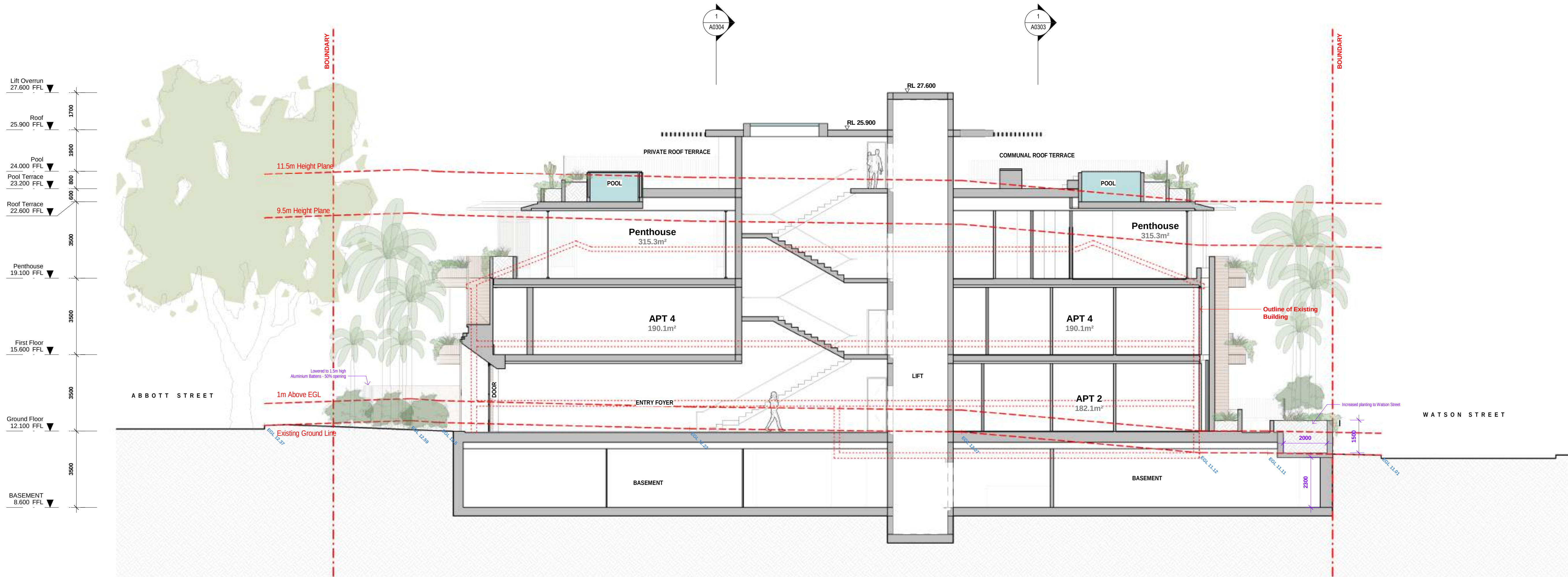
Job No. Drawing No. Revision

2797 A0301 / D

18 Dunkerley Place
Waterloo NSW 2017
Australia
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emkarchitects.com

nominated Architect
Emil Kucevic Reg. 9308

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Section 1

Nominated Architects: Emil Kucevic - 9308

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Rev	Date	Revision	By	Chk.
A	-	CONCEPT		
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Key Plan

Client

Project

Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Section 02

Date
12/03/2025

Scale
1 : 100

Sheet Size
@ A1

Drawn
EMK

Chk.
EMK

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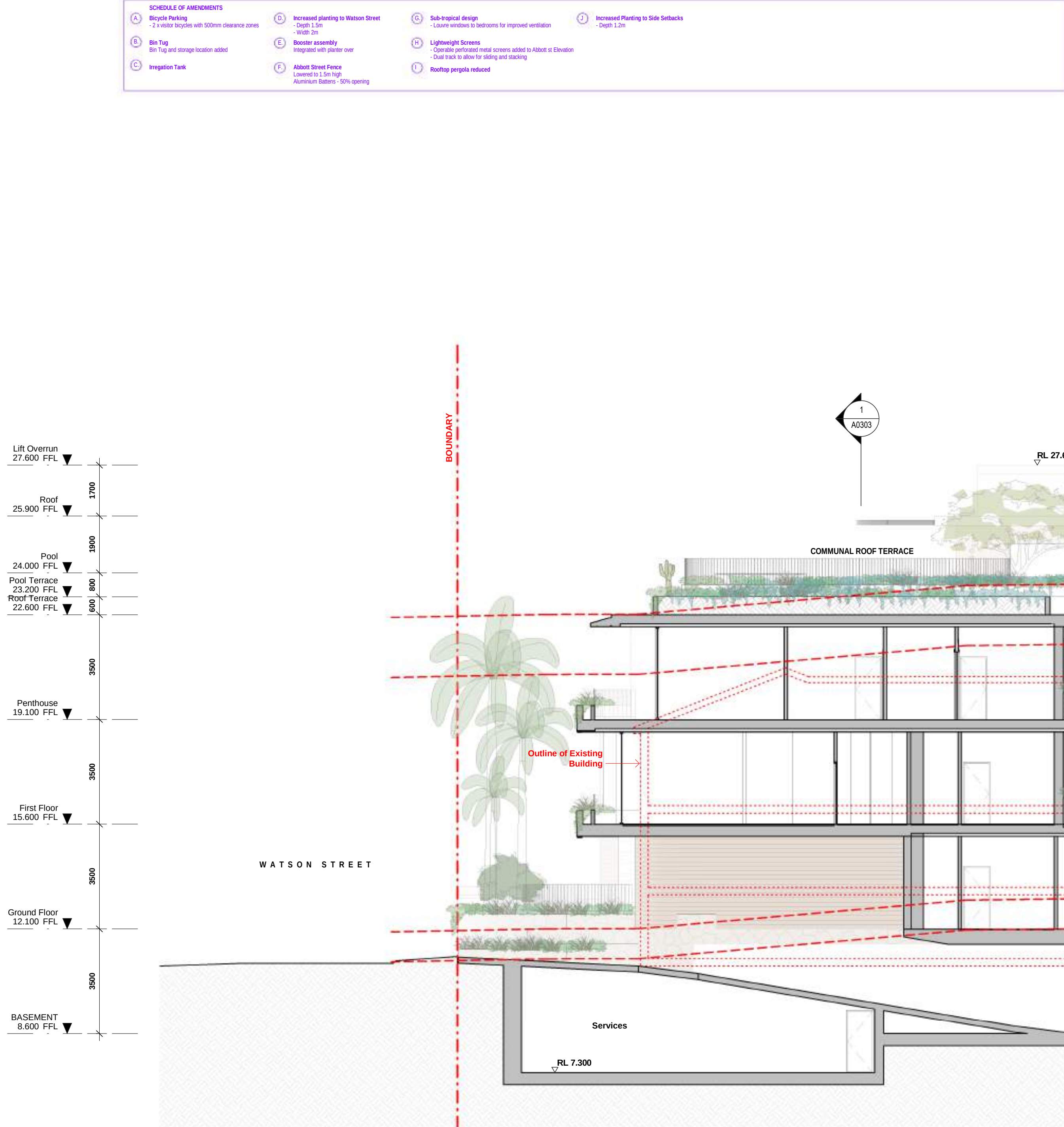
Drawing No.
A0302

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Section 2

Nominated Architects: Emil Kucevic - 9308

FOR APPROVAL

Rev	Date	Revision	By	Chk.
A	-	CONCEPT		
B	01/10/2024	DA Submission		
C	13/12/2024	RFI DA Issue		

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APPLICATION REF
A007077646

PLANS AND DOCUMENTS
referred to in the
APPROVAL
Dated: 01/04/2025

Key Plan

Client

Project

Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Section 03

Date
13/12/2024

Scale
1 : 100

Sheet Size
@ A1

Drawn
EMK

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EMK

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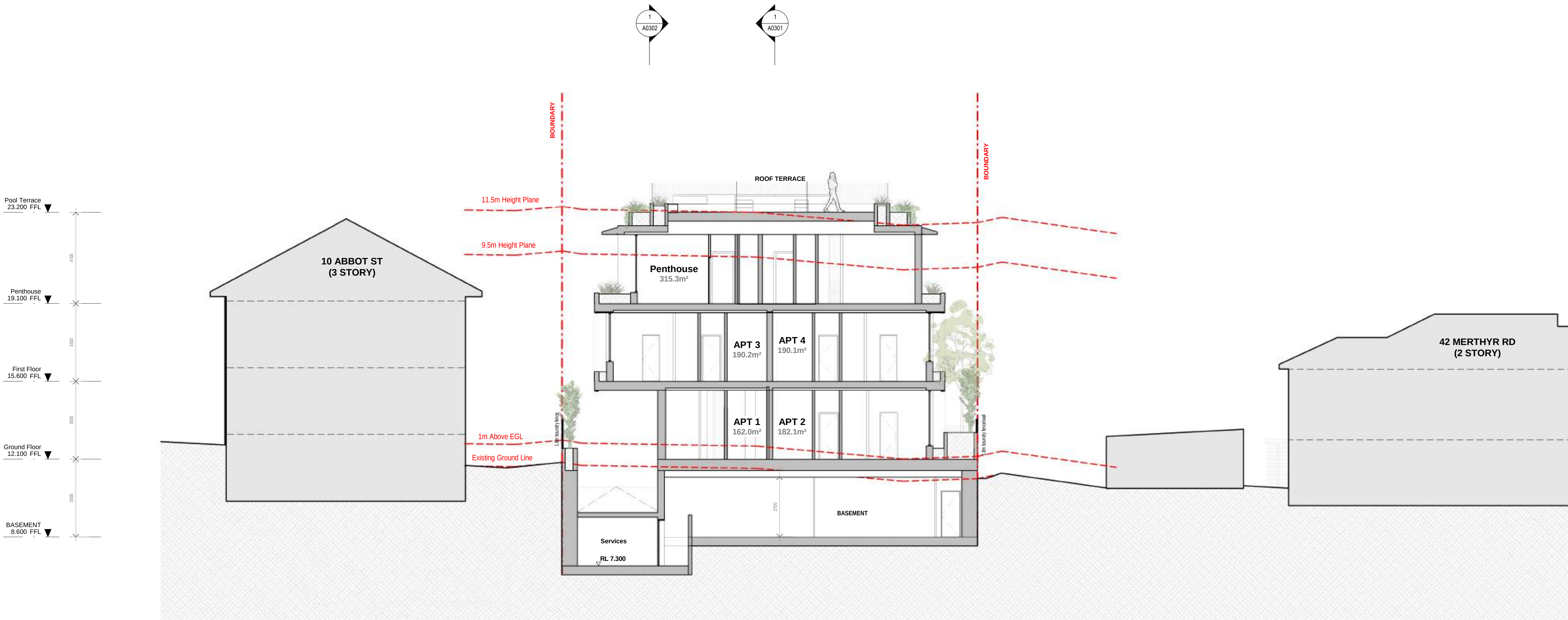
Drawing No.
A0303

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Section 3

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Rev	Date	Revision	By	Chk.
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APPLICATION REF

A007077646

PLANS AND DOCUMENTS referred to in the APPROVAL

Dated: 01/04/2025

Key Plan

Client

Project

Multi-Residential Apartment Building
12 Abbott St, New Farm QLD
4005

Drawing Name

Section 04

Date 12/03/2025 Scale 1 : 100 Sheet Size @ A1

Drawn Chk.

Author Checker

Job No. Drawing No. Revision

2797

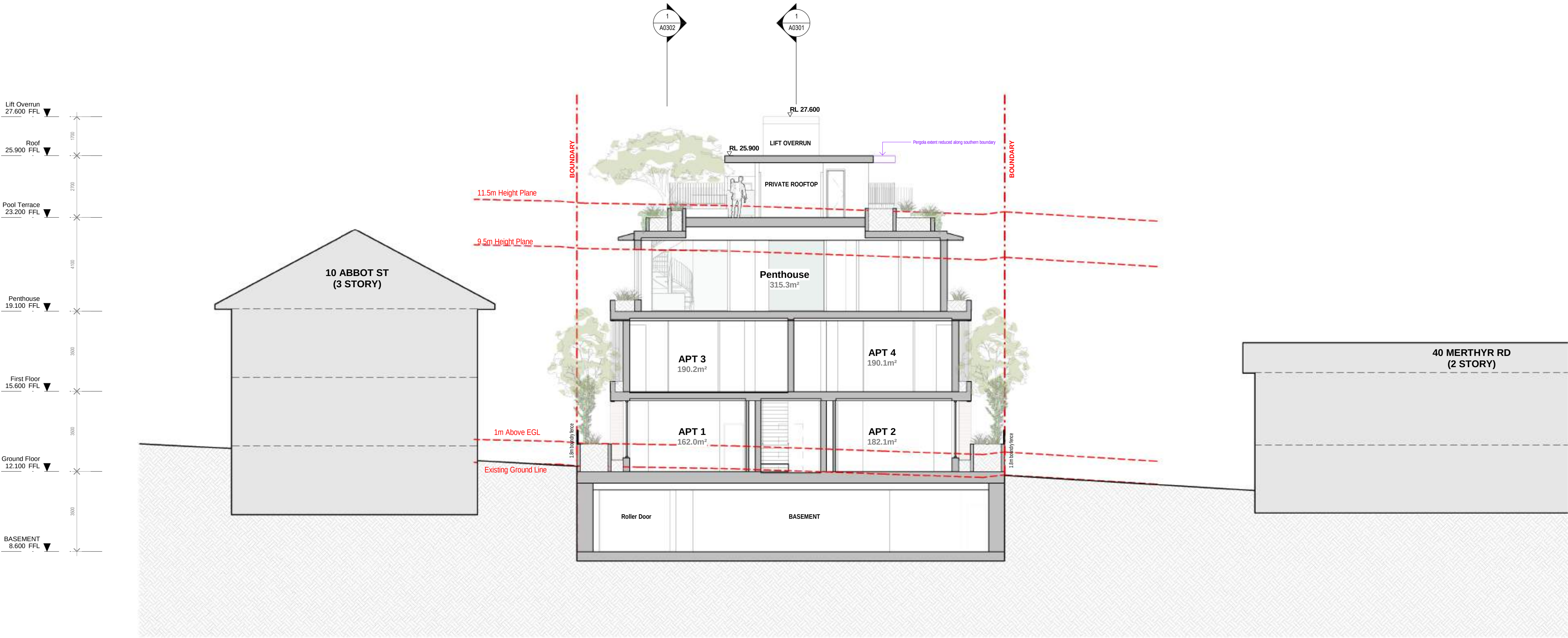
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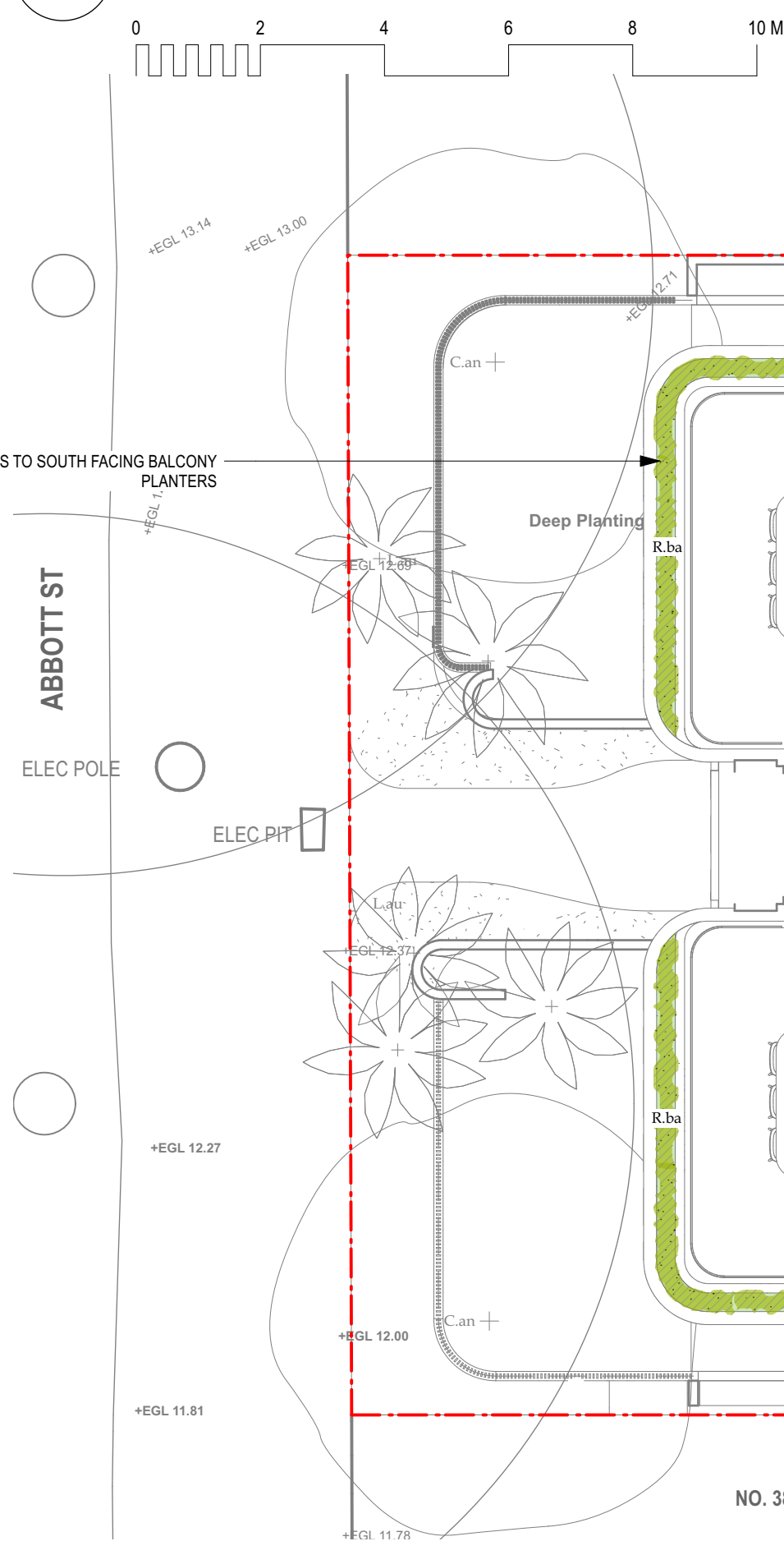
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Section 4



Ground Floor Plan
Scale: 1:100

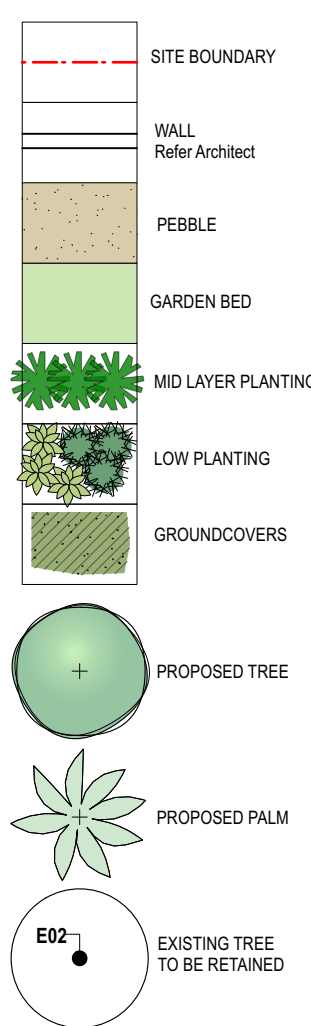


First Floor Plan
Scale: 1:100

SCHEDULE OF AMENDMENTS

1. PROPOSED TREE SPECIES CHANGED TO 'LARGE SHADE TREE' (CUPANIOPSIS ANACARDIOIDES)
2. PROPOSED 'LARGE SHADE TREE' ADDED TO DEEP SOIL ZONE (CUPANIOPSIS ANACARDIOIDES)
3. PROPOSED PALMS SUBSTITUTED FOR 'LARGE SHADE TREES' (WATERHOUSEA FLORIBUNDA)
4. STORMWATER HARVESTING & IRRIGATION STRATEGY ADDED
5. PLANTER TO SIDE SETBACKS INCREASED IN DEPTH TO 1.2M

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INDICATIVE PLANT SCHEDULE - GROUND FLOOR

ID	Latin Name	Common Name	Pot Size	Mature Height	Mature Spread
TREES					
C.an	Cupaniopsis anacardioides	Tuckeroo	100L	6 - 8m	4 - 8m
E.eu	Eucalyptus eumundii	Quandong	100L	4 - 8m	2.0 - 3.5m
W.fl	Waterhousea floribunda	Weeping Lily Pilly	100L	6 - 10m	3.5 - 6m
PALMS					
H.b	Howea forsteriana	Kentia palm	100L	10 - 15m	3.5 - 6m
L.au	Livistona australis	Cabbage-tree Palm	100L	15 - 20m	6 - 10m
L.ra	Livistona ramifera	Australian Fan Palm	25L	10 - 15m	2.0 - 3.5m
SHRUBS					
A.br	Allocasia brisbanensis	Elephant's Ear	200mm	0.8 - 1.5m	1.2 - 2.0m
C.sh	Carissa chrysophylla	Water Plum	200mm	0.8 - 1.0m	0.9 - 1.2m
C.ms	Cordyline marianae-sulcata	Giant Palm Lily	300mm	4.0 - 10.0m	1.0 - 2.0m
H.hr	Heliconia lutea x Caribaea	Hot Rio Red Lobster Claw	300mm	2.5 - 4m	1.25 - 2.5m
L.re	Liquidaria reniformis	Tractor Seat Plant	200mm	0.5 - 1.0m	0.5 - 1.0m
P.co	Philodendron 'Rolo Congo'	Red Philodendron	200mm	0.9 - 1.5m	0.9 - 1.2m
P.xa	Philodendron 'Xanadu'	Xanadu	200mm	0.3 - 0.45m	0.4 - 0.6m
R.co	Rapicarpus 'Oriental Pearl'	Indian Hawthorn	200mm	1 - 1.2m	1 - 1.2m
GRASSES					
N.gr	Neomarcia bicolor gracilis	Brazilian Walking Iris	140mm	0.6 - 0.75m	0.3 - 0.6m
GROUNDCOVERS					
D.re	Dichondra repens	Kidney Weed	100mm	0.0 - 0.3m	0.9 - 1.2m
V.he	Viola hederacea	Native Violet	140mm	0.0 - 0.3m	1.2 - 2.0m
Z.te	Zoysia tenuifolia	Korean Grass	140mm	0.0 - 0.1m	0.3 - 0.6m
SUCCULENTS					
E.ac	Euphorbia acronotus 'Cowboy'	Cowboy Cactus	270mm	2 - 3m	0.6 - 0.9m
S.ja	Senecio jacobsonii	Trailing Jade	140mm	0.0 - 0.3m	0.0 - 0.3m
FERNS					
B.al	Blechnum albidum	Silver Lady Fern	140mm	0.9 - 1.2m	0.6 - 0.9m
Z.fy	Zamia furfuracea	Cardboard Palm	300mm	0.9 - 1.5m	1.2 - 2.0m

PLANS AND DOCUMENTS

referred to in the

APPROVAL

Dated: 01/04/2025

INDICATIVE PLANT SCHEDULE - FIRST FLOOR

ID	Latin Name	Common Name	Pot Size	Mature Height	Mature Spread
SHRUBS					
L.re	Liquidaria reniformis	Tractor Seat Plant	200mm	0.5 - 1.0m	0.5 - 1.0m
GRASSES					
N.gr	Neomarcia bicolor gracilis	Brazilian Walking Iris	140mm	0.6 - 0.75m	0.3 - 0.6m
GROUNDCOVERS					
R.ba	Rhipsalis baccifera	Mistletoe Cactus	140mm	0.0 - 0.3m	1.0 - 1.2m
R.pr	Rosmarinus officinalis Prostratus	Trailing Rosemary	140mm	0.3 - 0.45m	0.9 - 1.2m

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D	12/3/25	RFI DA Issue	PM
C	20/12/24	RFI DA Issue	PM
B	1/10/24	Issued For DA	PM
A	27/9/24	Issued For Coordination	PM
REVISION	DATE	REVISION NOTE	BY

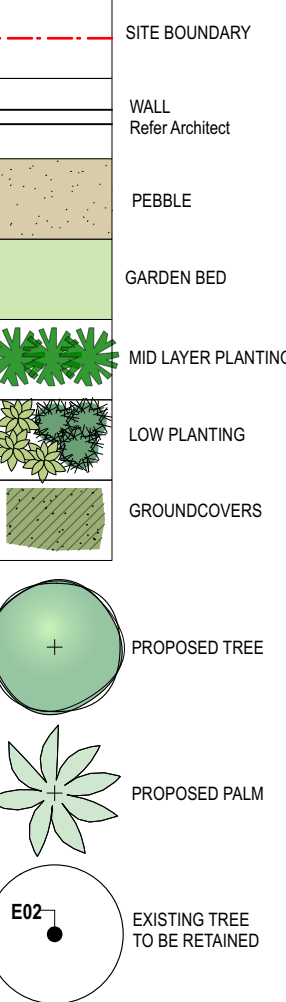
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PROJECT
Multi-Residential Apartment Building
ADDRESS
12 Abbott Street, New Farm QLD 4005
CLIENT
Crowndale Properties
DRAWING
Ground & First Floor Landscape Plans
spirit level
spirit level designs pty ltd
514 cleveland street, surry hills nsw 2010
tel: 02 8399 0660
email: inspired@spiritlevel.com.au
ABN: 58 078 310 826

PROJECT #	2084	DWG STATUS	
DWG DATE	20/12/2024	CAD FILE NAME	lsgr01.vwx
PLOT DATE	12/3/2025	DWG #	REVISION
ORIGINAL SHEET SIZE	ISO A1		
SCALE @ SHEET SIZE	1:100		
DRAWN	PM	CHKD	HM
		L100 D OF 3	

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INDICATIVE PLANT SCHEDULE - SECOND FLOOR

ID	Latin Name	Common Name	Pot Size	Mature Height	Mature Spread
SHRUBS					
L.ba	Ligularia reniformis	Tractor Seat Plant	140mm	0.5 - 1.0m	0.5 - 1.0m
GROUNDCOVERS					
R.ba	Rhipsalis baccifera	Mistletoe Cactus	140mm	0.0 - 0.3m	1.0 - 1.2m
R.pr	Rosemarinus officinalis Prostratus	Trailing Rosemary	140mm	0.3 - 0.45m	0.9 - 1.2m
S.mc	Scaevola abida 'Mauve Carpet'	Mauve Fan Flower	140mm	0.0 - 0.3m	0.5 - 1.0m
V.be	Viola hederacea	Native Violet	140mm	0.0 - 0.3m	1.2 - 2.0m
Z.ba	Zoysia tenuifolia	Korean Grass	140mm	0.0 - 0.1m	0.3 - 0.6m
SUCCULENTS					
A.bb	Aloe 'Bush Baby Yellow'	Aloe	140mm	0.3 - 0.5m	0.3 - 0.5m
E.ac	Euphorbia acerosa 'Cowboy'	Cowboy Cactus	270mm	2 - 3m	0.6 - 0.9m
FERNS					
B.al	Blechnum gibbum	Silver Lady Fern	140mm	0.9 - 1.2m	0.6 - 0.9m

INDICATIVE PLANT SCHEDULE - ROOF TERRACE

ID	Latin Name	Common Name	Pot Size	Mature Height	Mature Spread
TREES					
Pa	Plumeria rubra var. acutifolia	Frangipani	100L	4 - 6m	3.5 - 5m
SHRUBS					
C.ds	Carissa 'Desert Star'	Natal Plum	---	0.8 - 1.0m	0.9 - 1.2m
K.ss	Kalanchoe bracteata 'Silver Spoons'	Silver Spoons	200mm	0.8 - 1.2m	0.8 - 1.1m
R.co	Rachicallis 'Chester Pearl'	Indian Hawthorn	---	1 - 1.2m	1 - 1.2m
GROUNDCOVERS					
R.pr	Rosemarinus officinalis Prostratus	Trailing Rosemary	140mm	0.3 - 0.45m	0.9 - 1.2m
S.mc	Scaevola abida 'Mauve Carpet'	Mauve Fan Flower	140mm	0.0 - 0.3m	0.5 - 1.0m
SUCCULENTS					
A.bb	Aloe 'Bush Baby Yellow'	Aloe	140mm	0.3 - 0.5m	0.3 - 0.5m
A.co	Aloe 'Outback Orange'	Aloe 'Outback Orange'	200mm	0.6 - 0.9m	0.6 - 0.9m
C.mk	Crassula undulatifolia 'Max Cook'	'Max Cook' Jade	---	0.6 - 1m	0.3 - 0.6m
K.bo	Kalanchoe behavensis 'Oakleaf'	Oakleaf Kalanchoe	200mm	1.5 - 3m	1.2 - 2.0m
Y.ro	Yucca rostrata 'Sawtooth Sharp'	Blue Beaked Yucca	300mm	0.9 - 1.5m	0.9 - 1.2m

PLANS AND DOCUMENTS
referred to in the
APPROVAL
Dated: 01/04/2025

D	12/3/25	RFI DA Issue	PM
C	20/12/24	RFI DA Issue	PM
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REVISION	DATE	REVISION NOTE	BY

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PROJECT
Multi-Residential Apartment Building

ADDRESS
12 Abbott Street, New Farm QLD 4005

CLIENT
Crowndale Properties

DRAWING
Second Floor & Roof Landscape Plans

spirit level

spirit level designs pty ltd
514 cleveland street, surry hills nsw 2010
tel: 02 8399 0660
email: inspired@spiritlevel.com.au

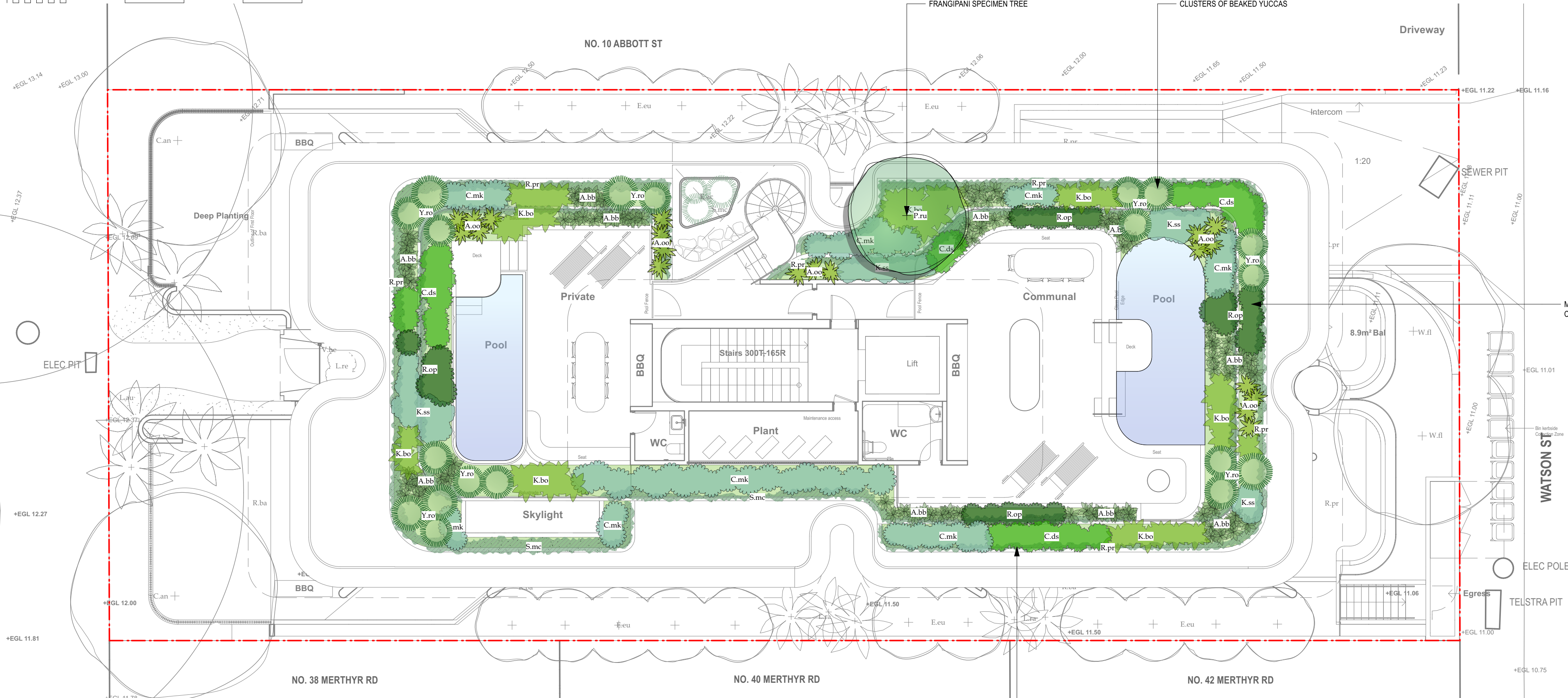
ABN: 58 078 310 826

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PLOT DATE	12/3/2025	DWG #	REVISION
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SCALE @ SHEET SIZE	1:100		
DRAWN	PM	CHKD	HM



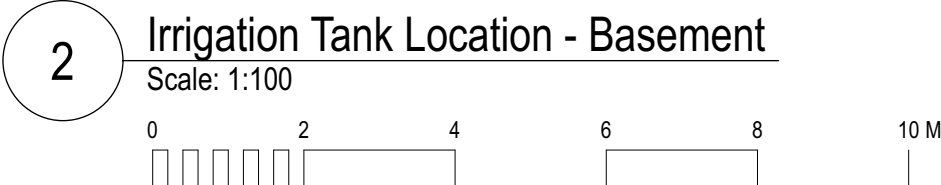
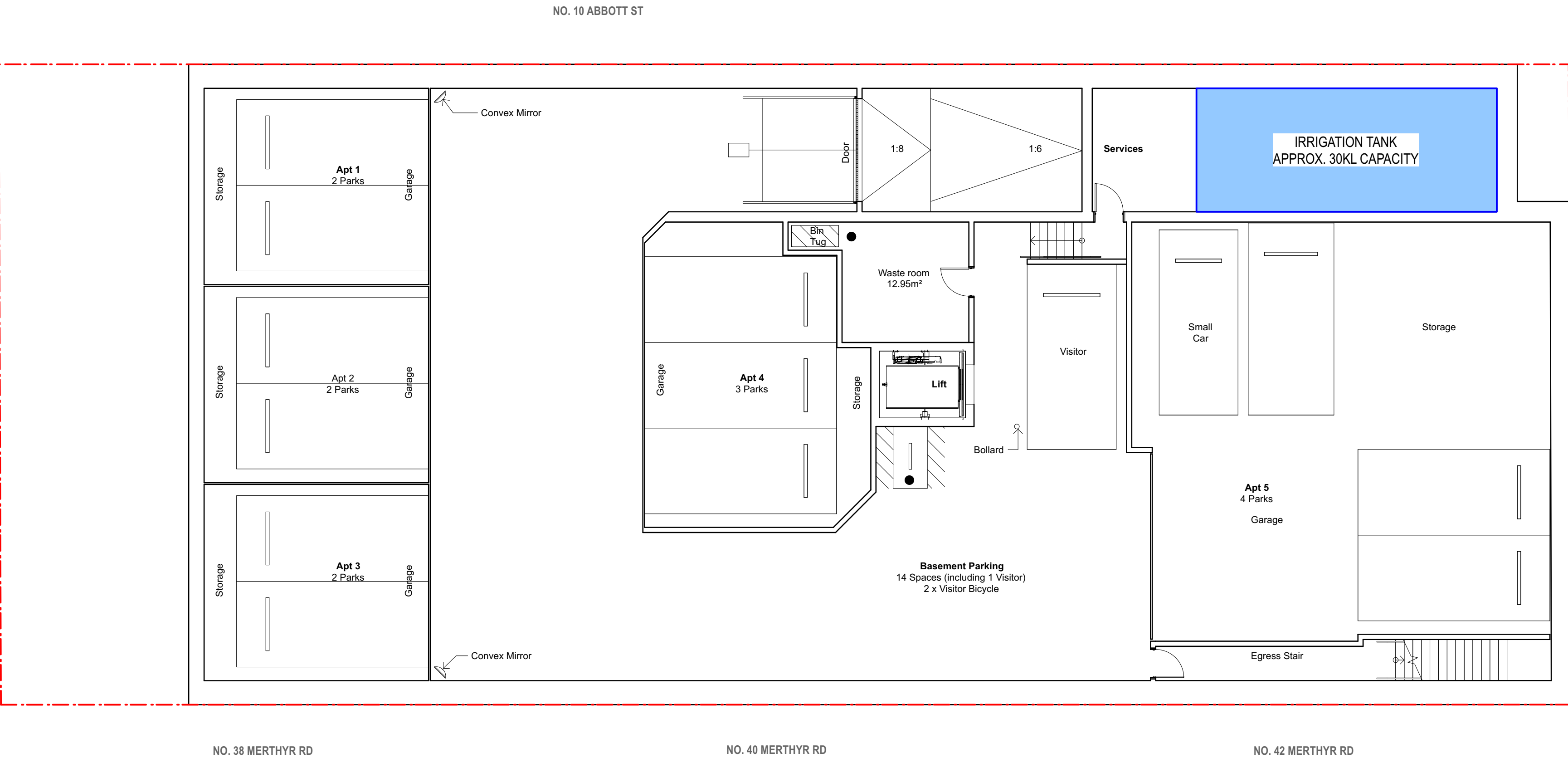
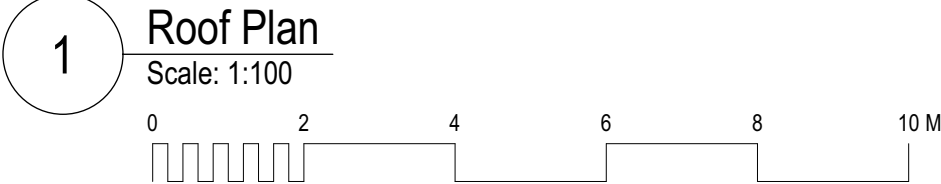
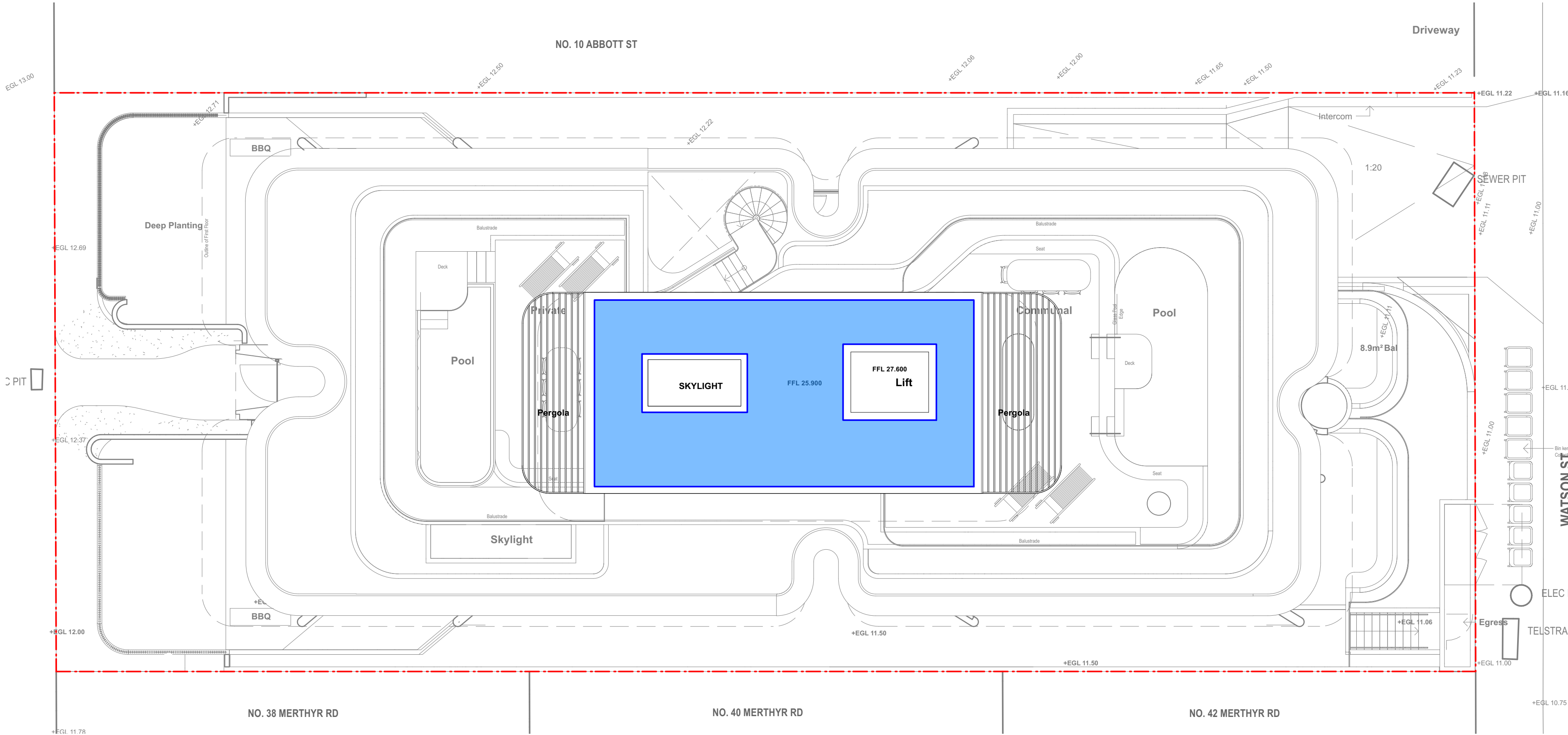
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OF 3

Second Floor Plan
Scale: 1:100



Roof Terrace Plan
Scale: 1:100





IRRIGATION CALCULATIONS AS ADAPTED FROM SECTION 6 -
IRRIGATION OF BCC SC6.17 LANDSCAPE DESIGN PLANNING SCHEME POLICY

POSSIBLE STORMWATER HARVEST CAPACITY

Refer to Section 6 Irrigation '6.2 Site stormwater harvest capacity'

AREA TO HARVEST RAINWATER
59.89 m2

TOTAL ANNUAL RAINFALL
1138.4 mm

POTENTIAL ANNUAL HARVESTABLE VOLUME OF STORMWATER
1138.4 mm x 59.89 m2 x (0.8) = **54,543.02 LITRES**

INDICATIVE IRRIGATION APPLICATION RATES

Refer to Section 6 Irrigation '6.1 Irrigation Rates - Table 3. Indicative irrigation application rates for artificial growing environments'

Green Element	
Terrace planters	30-35L/m2/week

Irrigation calculation rates below have allowed for 25L/m2/week based on proposed plant species (hardy succulents, native & exotic species) and the installation of a highly efficient irrigation system

Green Element	m2	Irrigation Required Per Week
Ground floor	135.45 m2	3386.25 L
First floor	17.82 m2	445.5 L
Second floor	16.94 m2	423.5 L
Roof Terrace	113.24 m2	2831 L
TOTAL	283.45 m2	7086.25 L
DAILY VOLUME REQUIRED (irrigation required per week as above divided by 7 days)		1012.32 L

TANK SIZE ALLOWED FOR: **30 KL**

TANK SIZE REQUIRED (FOR 6 WEEK WATERING CAPACITY): **42KL**

The proposed irrigation design should include a schedule which complies with Council's watering regulations and devices and techniques that contribute to the efficient use of water such as:

- (a) automatic controllers incorporating multiple start times, rain delay programming, and evapotranspiration programming;
- (b) automatic shut-off devices, such as rain and moisture sensors;
- (c) low-volume irrigation delivery, through systems using drippers, bubblers or micro-jets;
- (d) pressure-regulating devices;
- (e) high-efficiency nozzles;
- (f) deficit watering programs that irrigate to achieve 80% field capacity when available water reaches 40–45% of field capacity;
- (g) stationing of sprinkler systems to match each of the site's hydro-zones;
- (h) hand watering via hoses or buckets for small garden areas.

A landscape maintenance plan should be provided that includes:

- (a) conducting leak and blockage checks in irrigation lines and emitters;
- (b) reprogramming the irrigation controller and restationing of emitters as plants grow, die out and are replaced;
- (c) inspecting moisture sensors;

Water consumption will vary and will be required to be adjusted seasonally. The above numbers are to determine the size of the proposed rainwater tank. Numerous variables, methods of water deliver, emitters & components perform individually with more design detail litres per zone will be calculated as part of the subsequent design stage. The above numbers are to be used as an indicative guide and for consideration.

RAINWATER TOPUP:

Rainwater tanks will not be topped up with main water supply. Top up of rainwater tank, in drought events, will be via water truck.

IRRIGATION WATER REUSE:

All drainage lines from podium planters will not be directed to stormwater but back to the storage tanks recirculating excess irrigation water. An irrigation consultant will design the filter tanks and storage assembly including nutrient tanks.

SCHEDULE OF AMENDMENTS

1. PROPOSED TREE SPECIES CHANGED TO 'LARGE SHADE TREE' (CUPANIOPSIS ANACARDIOIDES)
2. PROPOSED 'LARGE SHADE TREE' ADDED TO DEEP SOIL ZONE (CUPANIOPSIS ANACARDIOIDES)
3. PROPOSED PALMS SUBSTITUTED FOR 'LARGE SHADE TREES' (WATERHOUSEA FLORIBUNDA)
4. STORMWATER HARVESTING & IRRIGATION STRATEGY ADDED
5. PLANTER TO SIDE SETBACKS INCREASED IN DEPTH TO 1.2M

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C	20/12/24	RFI DA Issue	PM
B	17/12/24	Issued For Review	PM
A	13/12/24	Issued For Information	PM
REVISION	DATE	REVISION NOTE	BY

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PROJECT	Multi-Residential Apartment Building
ADDRESS	12 Abbott Street, New Farm QLD 4005
CLIENT	Crowndale Properties
DRAWING	Irrigation Requirements

spirit level

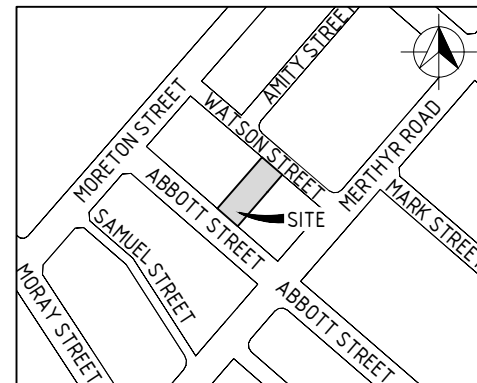
spirit level designs pty ltd
514 cleveland street, surry hills nsw 2010
tel: 02 8399 0660
email: inspired@spiritlevel.com.au

ABN: 58 078 310 826

PROJECT #	2084	DWG STATUS	
DWG DATE	20/12/2024	CAD FILE NAME	lsgr0.vmx
PLOT DATE	12/3/2025	DWG #	REVISION
ORIGINAL SHEET SIZE	ISO A1		
SCALE @ SHEET SIZE	1:100		
DRAWN	PM	CHKD	HM

L102 D
OF 3

NOT FOR CONSTRUCTION



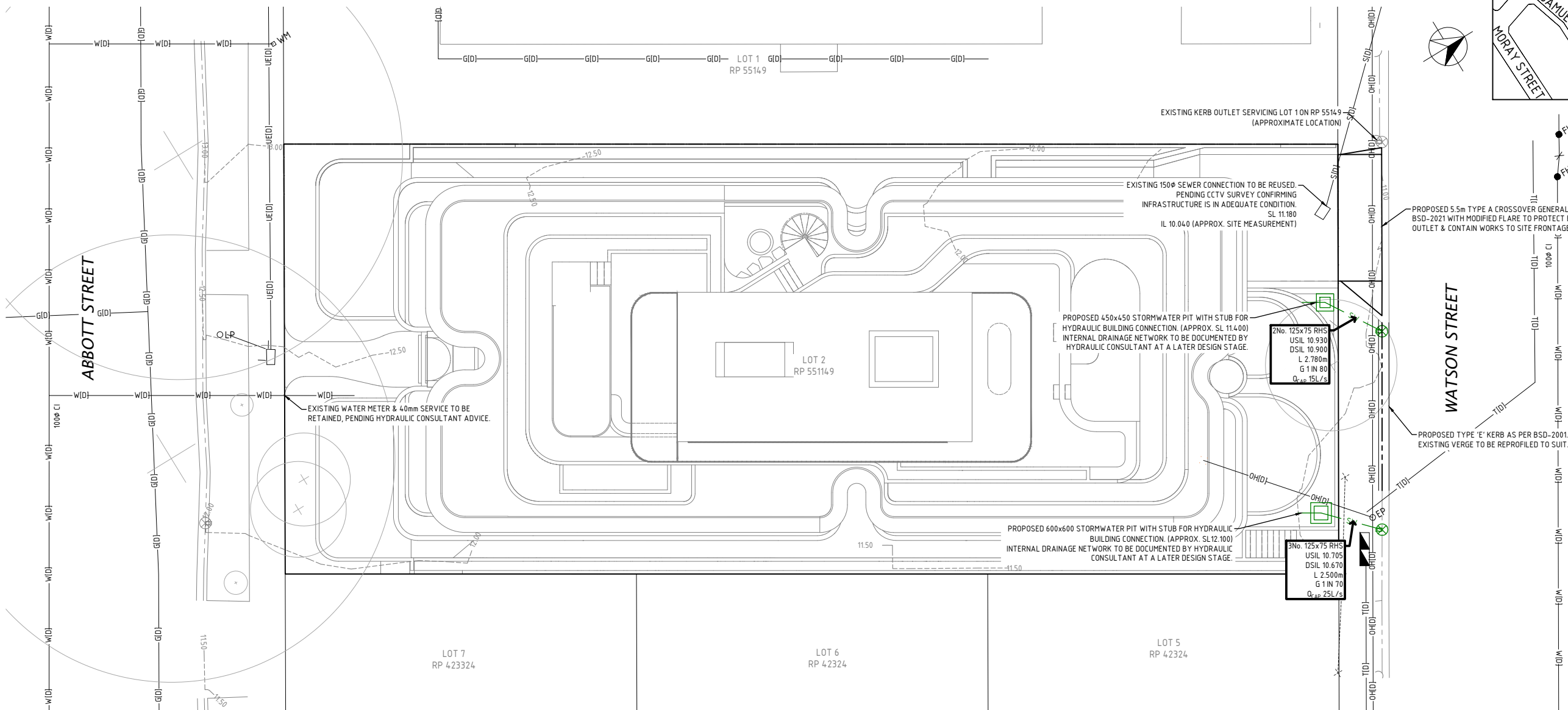
LOCALITY PLAN
SCALE 1:2500

**BCC DS
LODGED**

11-OCT-2024

APPLICATION REF

A006632675



LEGEND

— G(D) —	EXISTING GAS
— UE(D) —	EXISTING ELECTRICAL UNDERGROUND
— OH —	EXISTING ELECTRICAL OVERHEAD
— T(D) —	EXISTING TELECOMMUNICATION
— S(D) —	EXISTING SEWERAGE MAIN
— W(D) —	EXISTING WATER MAIN
9.999 - - - - -	EXISTING CONTOURS
— SW —	PROPOSED STORMWATER DRAINAGE
— S —	PROPOSED SEWERAGE MAIN
— W —	PROPOSED WATER MAIN
— — — — —	PROPOSED KERB
+	EXISTING TREE

PLAN
SCALE 1:100

**BCC DS
RECEIVED**

24-JUL-2026

APPLICATION REF

A007077646

PLANS AND DOCUMENTS
referred to in the
APPROVAL

Dated: 01/04/2025

- NOTES:
- THIS DRAWING TO BE USED FOR DESIGN REVIEW AND ACCESS PERMISSION ONLY. NOT TO BE USED FOR CONSTRUCTION.
 - LEVELS ON SITE TO BE CONFIRMED BY DETAILED SURVEY AND DESIGN REVISED PRIOR TO CONSTRUCTION.
 - APPROPRIATE APPROVALS FROM THE LOCAL AUTHORITIES ARE REQUIRED PRIOR TO CONSTRUCTION.

EXISTING SERVICES NOTE:

THIS DESIGN HAS BEEN PREPARED BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION OR FIELD SURVEY, IF MADE AVAILABLE TO MNCE AT THE TIME OF DESIGN. THE LOCATION OF UNDERGROUND SERVICES ARE NOTED WITH THEIR RESPECTIVE CLASS IN ACCORDANCE WITH AS5488:2022, THE AUSTRALIAN STANDARDS FOR CLASSIFICATION OF SUBSURFACE UTILITY INFORMATION (SUI). NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING SERVICE LOCATIONS AND DEPTHS. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE FURTHER SURVEY AND POT HOLING AS REQUIRED, TO CONFIRM THE NATURE AND LOCATION OF THESE SERVICES AND VERIFY THE DESIGN.

REAL PROPERTY DESCRIPTION
LOT 2 ON RP55149

REV.	DESCRIPTION	DATE	INIT.
A	PRELIMINARY ISSUE	01.10.24	PA

**MILANOVIC NEALE
CONSULTING ENGINEERS**

BRISBANE PH No. (07) 3255 1877
IPSWICH PH No. (07) 3281 6603

**CIVIL
STRUCTURAL
TRAFFIC
PROJECT MANAGEMENT**

SYDNEY PH No. 1300 827 901
GOLD COAST PH No. 1300 827 901



EMAIL mail@mnce.com.au
WEB www.mnce.com.au

CLIENT

CROWDALE PROPERTIES PTY LTD

PROJECT

12 ABBOTT STREET, NEW FARM

TITLE

PRELIMINARY SERVICES LAYOUT
PLAN

DRAWN PA	DESIGNED CFR	DATE AUG 2024
CHECKED CFR	APPROVED	
DRAWING No. C5989 - SK21	REV. A	