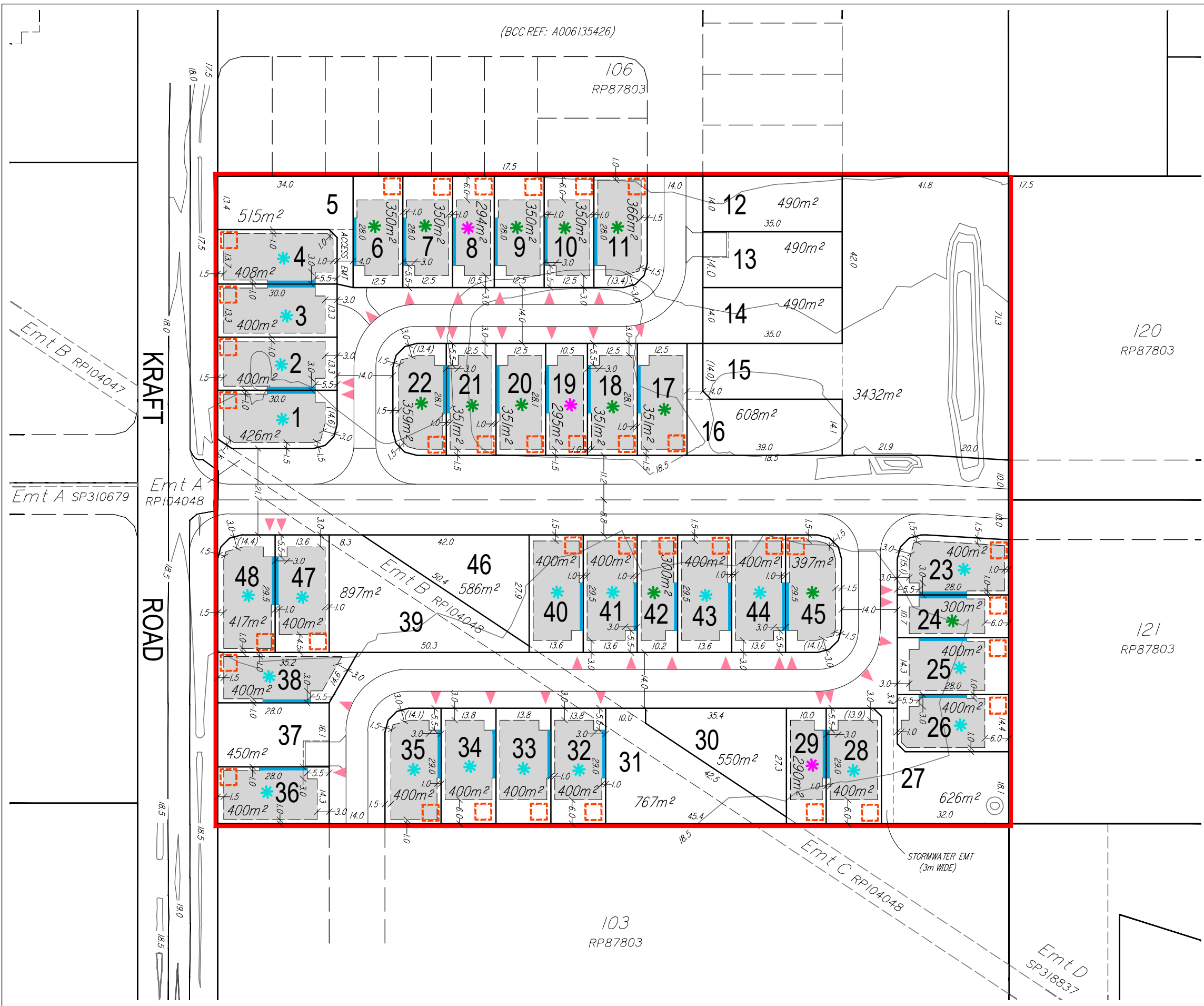




NOTES

(1) This plan was prepared for the purpose and exclusive use of LANOCHY PTY LTD to accompany an application to BRISBANE CITY COUNCIL for a Development Permit to Reconfigure the land described in the plan and is not to be used for any other purpose or by any other person or corporation.
JFP URBAN CONSULTANTS PTY LTD accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention to the terms of this clause or clauses 2, 3, 4, 5 or 6 hereof.

(2) The base information shown on this plan is from DSQ Land Surveyors contour and detail plan (14286-DTM-02A) dated 30/01/2023.

(3) The dimensions, areas, size and location of improvements, flood information (if shown) and number of lots shown on this plan are approximate only and may vary.

(4) Safety in Design
The Urban Design for the layout proposal has been developed to meet the stated project brief, as expressed in JFP Urban Consultants Offer for the works, and the Design Standards stipulated by the Local Authority named on this plan.
Non-standard design solutions adopted in the preparation of the layout are listed as follows;
• None

(5) The State Government proposes changes to the Queensland Development Code to reflect the provisions of the National Construction Code 2022. These changes once implemented will have an impact on the design of the future dwellings on the proposed allotments identified on this plan. The amendments to the QDC may also be subject to transitional provisions and we would strongly recommend that you discuss these matters further with your preferred Building Certifier.

(6) This plan may not be reproduced unless these notes are included.

PROPERTY DESCRIPTION
LOTS 104 & 105 ON RP87803
TOTAL AREA 3.23 ha
BRISBANE CITY COUNCIL

**BCC DS
RECEIVED**
06/08/2026
APPLICATION REF
A006952466

- LEGEND**
- SUBJECT SITE
 - MAXIMUM BUILDING ENVELOPE
 - 70% MAX. SITE COVER (200-299m² lots)
 - 60% MAX. SITE COVER (300-399m² lots)
 - 50% MAX. SITE COVER (400-449m² lots)
 - INDICATIVE PRIVATE OPEN SPACE (16m²) (Subject to building design)
 - PREFERRED VEHICULAR CROSSING (where the maximum crossover width is 4.0m, excluding apron tapers)
 - BUILT TO BOUNDARY WALL (where minimum side boundary setback is 0-0.2m nominal and maximum height is 3.5m for non-habitable spaces only; maximum total wall length is 12m for a single width tandem garage or 9m in any other circumstance)

Note: Rear boundary setback excludes unenclosed patio or gazebo (maximum roofed area 16m² and maximum height 3m, as per City Plan 2014 Table 5.3.4.1 "Prescribed Accepted Development").

Note: Unless varied by this plan, building setbacks to ground and first floor levels to be as per the provisions of the Dwelling House (Small Lot Code). A minimum 5.5 metre setback applies to the garage door.

Note: Building length as per the provisions of the Dwelling House (Small Lot Code).

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BRISBANE - JFP House
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South Brisbane Qld 4101
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JFP URBAN CONSULTANTS PTY LTD A.C.N. 050 414 045

PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

NORTH:

SCALE:

SCALE: @ A3 1:1000

ISSUES:

NO	DESCRIPTION	DATE	BY
E	LOTS 1-4 AMENDED	20-07-26	IAJ
D	LOTS 5,6,16,17 AMENDED	01-05-26	TJM
C	ROAD REALIGNMENT	31-03-26	TJM
B	BUILDING ENVELOPES AMENDED	21-01-26	TJM
A	ORIGINAL	18-12-25	TJM

ISSUE: DETAILS: DATE: INIT:

TITLE:

BUILDING ENVELOPE PLAN
LANOCHY PTY LTD
70 & 78 KRAFT ROAD, PALLARA

DETAILS:

JOB NUMBER: B4621PA1_DA1 B1 E

PLAN: ISSUE:

SHEET: 1 OF 1

DATE: 20th July 2026