

BCC DS
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APPLICATION REF
A006989635



109 Lemke Road, Taigum

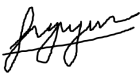
Stormwater Management Plan

11 April 2026

DOCUMENT INFORMATION

| | |
|----------------------------|---|
| Title | 109 Lemke Road, Taigum |
| | Stormwater Management Plan |
| Client organisation | Singh Sabha Brisbane |
| Client contact | Matt Doolan (Matt Doolan Town Planning) |
| Document number | P10003_009-REP-A-001 |
| Project manager | John Nguyen |
| Project reference | P10009_007 |

REVISION HISTORY

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| Revision 0 | Issue for Client | | |
| Revision description | Issue of report | | |
| Prepared by | John Nguyen | | |
| Reviewed by | - | | |
| Approved by | John Nguyen Principal Water Resources Engineer/Director |  RPEQ: 30168 | 11 April 2026 |
| Distributed to | Matt Doolan | | 11 April 2026 |

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1. INTRODUCTION

1.1 Overview

Jivy Consulting (Jivy) was engaged by Singh Sabha Brisbane (“Client”) to prepare a Site-based Stormwater Management Plan (SWMP) for the proposed development at 109 Lemke Road, Taigum, QLD 4018 (“the Site”). The land parcel is legally described as Lot 1 on RP.97335 and is located within the Brisbane City Council (BCC) local government area (LGA).

This application for a proposed development on 109 Lemke Road and has an area of approximately 10,060 m². The development proposes a development application for material change of use for the construction of a school and associated amenities (playground, parking and bus drop-off zones). As part the proposed application, internal drainage system for the carpark is proposed to discharge to the adjacent property.

The site is located between 101 and 115 Lemke Road, more particularly described as Lot 2 on RP.97335 and Lot 335 SP.291627, which was also owned by the Client. Between the three land parcels, there is an area of 56548 m² and is included within the part Emerging community and part Environmental management zones. The Client has been operating from 101 Lemke Road, Taigum since 2012 and has acquired the adjoining properties 109 and 115 Lemke Road. The need for additional community facilities in the form of a prayer room has been recognised by Council as part of prior approvals.

Previous approvals have been granted:

- over 101 Lemke Road for a Community facility, specifically a church. An approval granted 5 July 2013 (A003470565) for a Community facility (church), caretaker’s flat and approval granted 5 October 2012 (A003199211) for Community Facility
- over 115 Lemke Road for carparking and associated drainage network to cater for upstream flows

This report supports the development application and provides a site-based stormwater management plan to ensure the stormwater runoff from the site does not result in actionable nuisance or worsening of discharge to any properties within its vicinity (upstream, downstream or adjacent to the site) and/or cause adverse impact on flooding or the peak discharge flow and duration for all storm events up to the 1% AEP storm event.

Figure 1.1 presents the location and land parcels of the site.



Figure 1.1 Location of Site (Ipswich Interactive Mapping 2024)

This report and assessment are provided as supporting documentation for the development application and has been completed in accordance with the following guidelines and standards:

- Australian Rainfall and Runoff (AR&R) 2019 guidelines (Ball, et al, 2019)
- Queensland Urban Drainage Manual (QUDM) (IPWEA, 2016)
- Brisbane City Plan Scheme 2014

1.2 Scope of works

A summary of the scope of works for the stormwater management plan is provided below:

- Identify the pre-development and post-development stormwater runoff characteristics through the site as per AR&R (2019) and QUDM guidelines for a range of storm events up to the 1% AEP.
- Develop a stormwater management strategy to ensure there is no worsening of peak stormwater runoff from the site
- Development of stormwater quality system/s to ensure the stormwater quality management meets the State Planning Policy guidelines

2. SITE DETAILS AND CATCHMENT DESCRIPTION

2.1 Pre-development site description

The pre-development site is located at 109 Lemke Road, Taigum QLD 4018. The site forms part of a larger development since the owner purchased the adjoining properties 101 and 115 Lemke Road.

The existing site is a residential property that consists of a double-storey residential building, a shed and a playground to the rear of the property. The remainder of the site is largely hardstand and is used as temporary carparking. The total area of Site is approximately 10,060 m² (1.01 Ha) and has a slope less than 1% that falls from the south to north.

On review of the aerial and development applications for 109 Lemke Road, Taigum, the temporary carpark was not part of an approval with Council, however:

- prior 2017 the site formerly had a large warehouse and was utilised as a storage yard.
- In 2017, the warehouse was removed
- In 2017, the area was largely open space and lightly vegetated, with the temporary carpark constructed between the time of 2017 and 2019.

It was discussed with the Client that the temporary carparking area (to the rear of the property) will be addressed as part of a future development application and hence will not be addressed as part of this application.

Figure 2.1 shows a picture of the site development.



Figure 2.1 Street View of 109 Lemke, Taigum (Google Maps 2026)

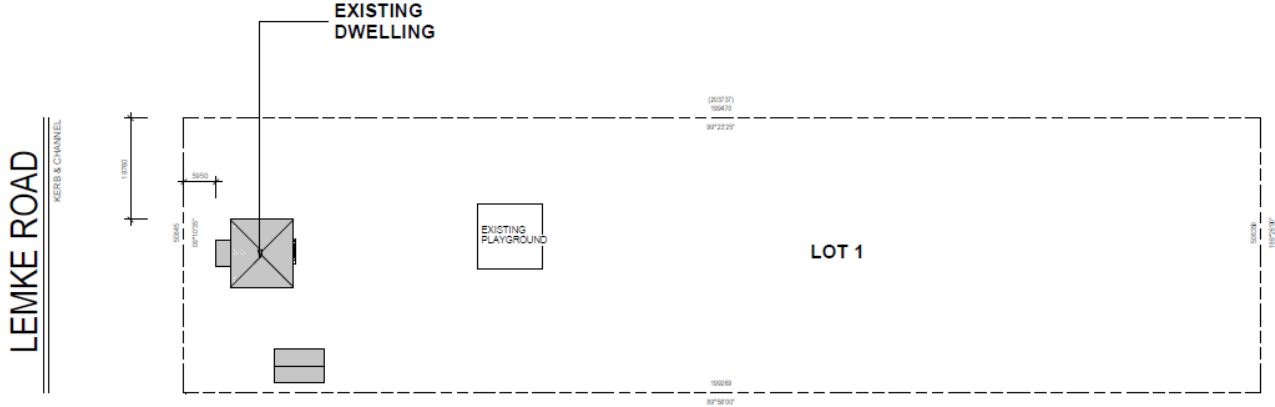


Figure 2.2 Existing Lot Layout of 109 Lemke, Taigum (Google Maps 2025)



Figure 2.3 Aerial view of 109 Lemke, Taigum captured in 2015



Figure 2.4 Aerial view of 109 Lemke, Taigum captured in February 2017



Figure 2.5 Aerial view of 109 Lemke, Taigum captured in February 2025

In the pre-development scenario, stormwater water runoff from the site and external catchment (101 Lemke Street catchment) is conveyed as sheet flow through the property, discharging at multiple locations:

- from south to north, through 115 Lemke Street and discharging into Cabbage Tree Creek.
- Towards Lemke Street
- or towards the rear of the property to Brushbox Street

Based on the review of the local stormwater network and nearby/approved development applications, the following was observed:

- 95 Lemke Road, Taigum – Stormwater Management Plan by HCE Engineers dated April 2023 (App Ref: A0006241998). Catchment delineation upstream of the 101 Lemke Road will not discharge through 109 Lemke Road as stormwater runoff and will discharge directly onto Lemke Road, Tamarind Street or Brushbox Street.



- 115 Lemke Road, Taigum – Operational Works plans for stormwater prepared by Arcos and approved in October 2025 (App Ref: A006816896). The plans show that as part of the 115 Lemke Road development, a lawful point of discharge was formed for the upstream catchments, which included a 600 mm dia. RCP to cater for minor flows and a constructed channel to convey the major flow events.
 - This application considered an upstream catchment area of 2 Ha, with a true existing fraction impervious area of 30% and a future fraction impervious area of 80%.

2.2 Post-development site description

Post-development, the following is proposed to be undertaken in accordance with the design plans presented in Appendix A. The following have been proposed:

- Bulk earthworks, which include new internal access, carparking and a bus zone. Additionally, the internal driveway and car park will be constructed with a stormwater drainage system.
- Stormwater from the hardstand area (mainly roof area, road, bus zone and carparking area) will discharge into 600 mm x 600 mm grated inlet pits and discharge via the abovementioned drainage system.
- Construction of a new two-storey education building
- Construction of a playground area

Post-development, any runoff from the driveway access, hardstand and carpark will discharge into the drainage system via grated inlet pits and discharge to the natural channel as per existing stormwater behaviour. The upgraded stormwater network at 115 Lemke Road and 109 Lemke Road boundary is the new lawful point of discharge and will be where the proposed drainage network is discharged to.

Where flow exceeds the stormwater network capacity, the flow will be discharged as sheet flow, where catch drains on 115 Lemke Road will discharge to the main open channel.

Figure 2.6 shows the site design plans and lot layout, which are further detailed in Appendix A.

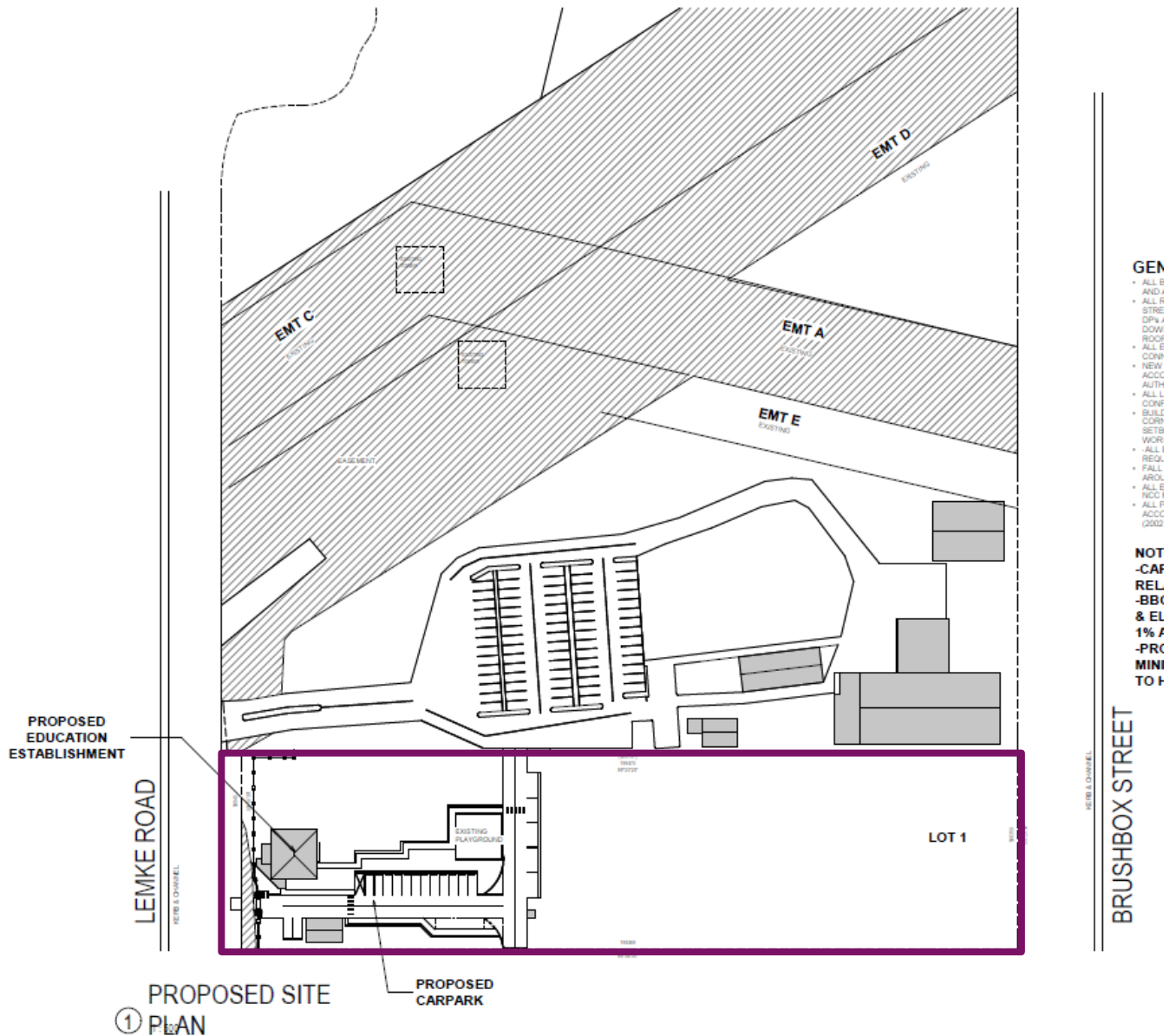


Figure 2.6 Proposed Lot Layout Plan

2.2.1 Lawful Point of Discharge

The lawful point of discharge for the site is at Lemke Road (stormwater network) and at the adjacent property on 115 Lemke Road, Taigum. As part of the operational work (DA: MCU A006291217), a lawful point of discharge was formed on

115 Lemke Road, Taigum and a stub was designed for future development (BCC DS APPLICATION REF 16-JUL-2025 A006816896 AMENDED IN RED 27/10/2025 BRISBANE CITY COUNCIL).

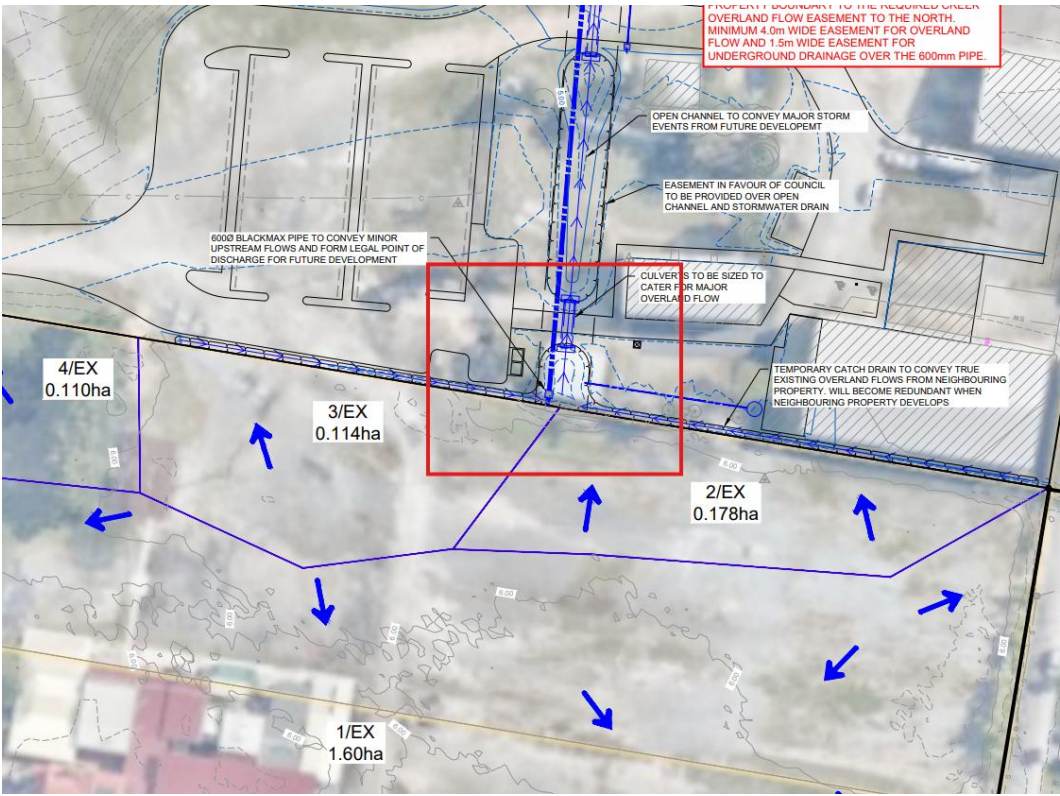


Figure 2.7 Lawful Point of Discharge in Red

3. STORMWATER QUANTITY MANAGEMENT

3.1 Overview

The existing Site survey, publicly available LiDAR and lot layout plan were used to determine the catchment boundaries in the pre-development and post-development scenarios.

In the pre-development:

- It is noted that the area to the rear of the property has remained unchanged as part of this application, as the section of the property will be proposed for future works
- Aside from the rear of the property, the frontage of the property had a two-storey building, a shed and a driveway leading to the rear, with the remainder of the area lightly grassed.
- The sheet flow from the site and 101 Lemke Road discharges to Lemke Road, 115 Lemke Road and Brushbox Street.

In the post-development scenario, the catchment of the developable area is proposed to be regraded to discharge towards the LPOD formed by the 115 Lemke Road development. Flow from the developed area will flow in the proposed internal drainage system and towards the LPOD. Where flow exceeds the capacity of the drainage network.

The proposed construction results in an increase in impervious area; however was not considered material given the existing catchment characteristics and the post-development.

Table 3.1 Catchment Details

| Scenario | Catchment | Approx. Area (Ha) | True Impervious Fraction (%) |
|-------------------------|---------------------------------|-------------------|------------------------------|
| Pre-Development | PRE_SUB (101 and 109 Lemke Rd) | 2 | 31.4% |
| Post-Development | POST_SUB (101 and 109 Lemke Rd) | 2 | 33.3% |

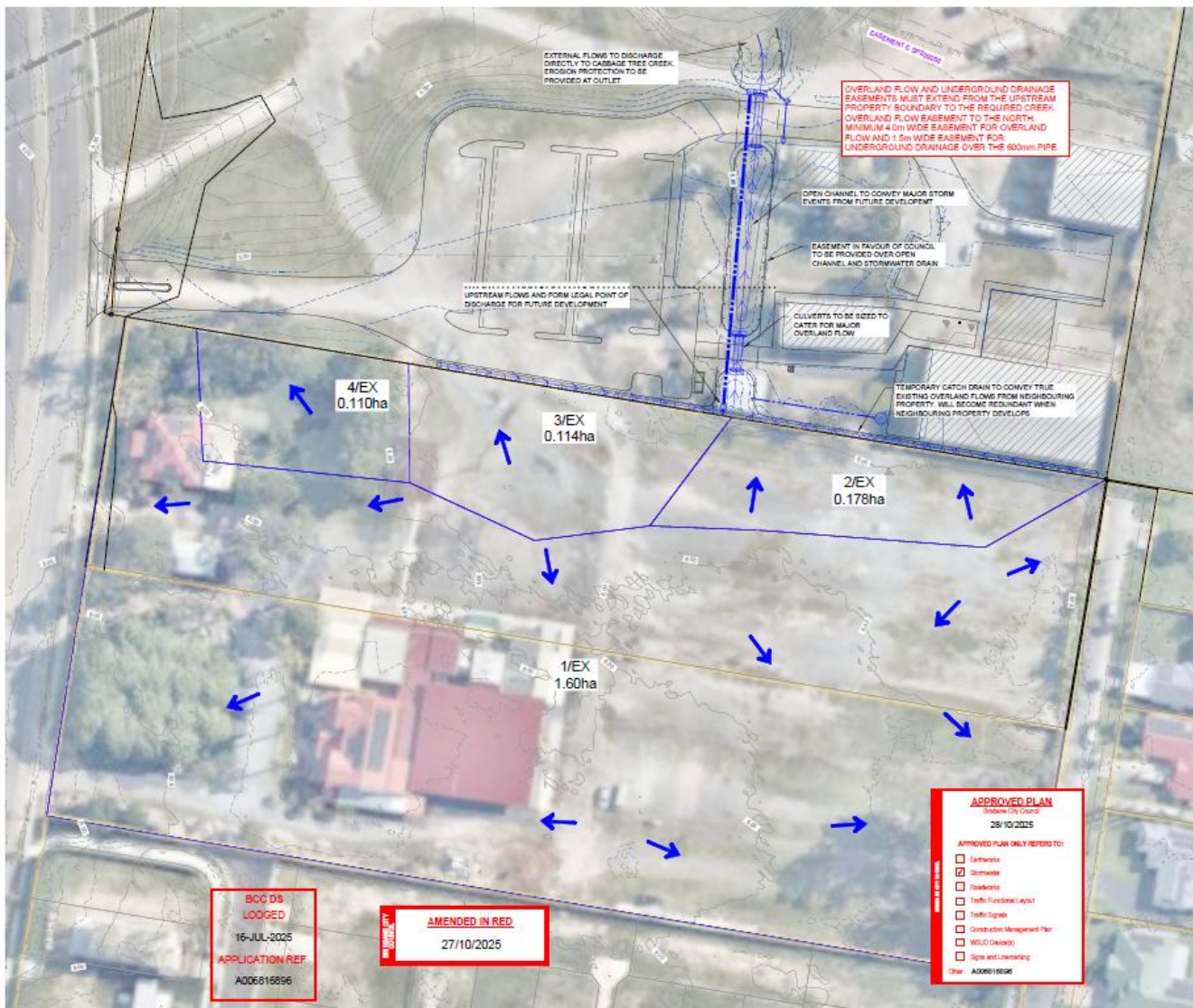


Figure 3.1 Approved Site Catchment for 115 Lemke Road, Taigum (BCC DS APPLICATION REF 16-JUL-2025 A006816896 AMENDED IN RED 27/10/2025 BRISBANE CITY COUNCIL)

3.2 Detention system design

Based on the review of the proposed development, it is likely that the proposed development will not result in a material increase in stormwater runoff locally and the lawful point of discharge has consideration for future development at the site. As such, detention was not proposed for the site.

The lawful point of discharge at the 109 and 115 Lemke Road property boundary is proposed to be the location of the discharged flow. There are proposed to be pit and pipe network on the property to allow for the flow to discharge in the LPoD. Flow exceeding the pit and pipe network is proposed to be concentrated into an open channel, where it will discharge into the LPoD.

In accordance with SC6.16 Infrastructure design planning scheme policy, Chapter 7 – Stormwater drainage, detention was not proposed as part of this development, as:

- the site discharges directly into the lower catchments of creeks or major drains where it would generally be undesirable to have detention where it may allow peak flows from the site to coincide with the wider catchment flood peak;
- the downstream drainage system has been upgraded, or is proposed to be upgraded by the development to cater for fully developed peak flows from the catchment to the Council's standard of service;

The downstream drainage system has been upgraded to consider an impervious area of 80% for upstream catchments. The proposed development forms less than 80% and does not increase significantly from the pre-development impervious area.

4. STORMWATER QUALITY MANAGEMENT

The site was assessed against the requirements of the State Planning Policy (July 2017) (SPP) for water quality. The assessment criteria and application in development for the South-East Queensland region to protect receiving waters are presented in Table 4.1.

Table 4.1 Target Water Quality Objectives

| Objective | Comment |
|---|---|
| <p>A material change of use for an urban purpose that involves premises 2500 m² or greater in size and:</p> <p>(a) Will result in six or more dwellings; or</p> <p>(b) An impervious area greater than 25 percent of the net developable area</p> | <p>Not applicable, the site is greater than 2500 m², however, the proposed impervious area of the net developable area is less than 25%.</p> |
| <p>Reconfiguring a lot for urban purposes that involves premises 2500 m² or greater in size AND result in six or more lots; or</p> | <p>Not applicable, the application is not for an ROL.</p> |
| <p>Operational works for an urban purpose that involves disturbing land area 2500 m² or greater in size</p> | <p>Not applicable, the proposed area to be disturbed is less than 2500 m²</p> |

Based on the assessment against the State Planning Policy, the proposed works do not trigger the requirements for stormwater quality devices.

5. CONCLUSION

Jivy Consulting (Jivy) was engaged by Singh Sabha Brisbane to prepare a stormwater management plan for the proposed development at 109 Lemke Road, Taigum. The site is proposed for a development application for two-storey education building, playground, access, bus zone and carparking for the site.

The following can be summarised from the assessment:

- In the pre-development scenario, the total catchment area is approximately 2 Ha (between 101 and 109 Lemke Road), which discharges in multiple directions based on the available topographic information. I.e. discharges to Lemke Road, Brushbox Street or towards 115 Lemke Road. As 115 Lemke Road has developed a new drainage easement, it is proposed that the catchment be regraded with the internal stormwater network discharged at the new LPoD.
- Downstream of the property 115 Lemke Road has constructed an open channel and associated drainage network to cater for upstream flows (for 109 and 101 Lemke Road), which considers a future development impervious area of 80%. The proposed impervious area within the developable area does not increase materially in comparison to the pre-development and furthermore is significantly less than the 80% impervious area the LPoD is designed for. As such, it was proposed for the carparking, building roof and access to discharge directly into the LPoD.
- In accordance with the State Planning Policy, the proposed development does not trigger the requirement for stormwater quality treatment. No stormwater quality treatment was proposed.

6. REFERENCES

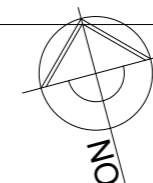
Ball J, Babister M, Nathan R, Weeks W, Weinmann E, Retallick M, & Testoni I. (2019). *Australian Rainfall and Runoff: A Guide to Flood Estimation*.

IPWEAQ (2016). Queensland Urban Drainage Manual FOURTH EDITION

7. QUALIFICATIONS AND LIMITATIONS

- In preparing this document, including all relevant calculation and modelling, Jivy Consulting (“Jivy”) has exercised the degree of skill, care, and diligence normally exercised by members of the engineering profession and has acted in accordance with accepted practices of engineering principles.
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 - Jivy considers it prudent to revise any aspect of the works in light of any information that becomes known to it after the date of submission.
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- This Report does not provide legal advice.

APPENDIX A – SITE LAYOUT



SITE DETAILS:

LOT 1 ON RP97335
SITE AREA: 56648m²

GENERAL NOTES

ALL BUILDING WORK TO ADHERE TO B.C.A. AND ALL RELEVANT CODES AND STANDARDS.

ALL ROOF RAINWATER TO BE CONNECTED TO COUNCIL STORMWATER LINE VIA 100mm uPVC DP's AT 1:100 GRADE AS PER COUNCIL REQUIREMENTS.

ALL EFFLUENT & WASTE WATER TO BE CONNECTED TO COUNCIL SEWERAGE LINE AS PER COUNCIL REQUIREMENTS.

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

EXISTING SITE PLAN

ISSUE DATE: 20-11-13

SHEET: 01 OF 27

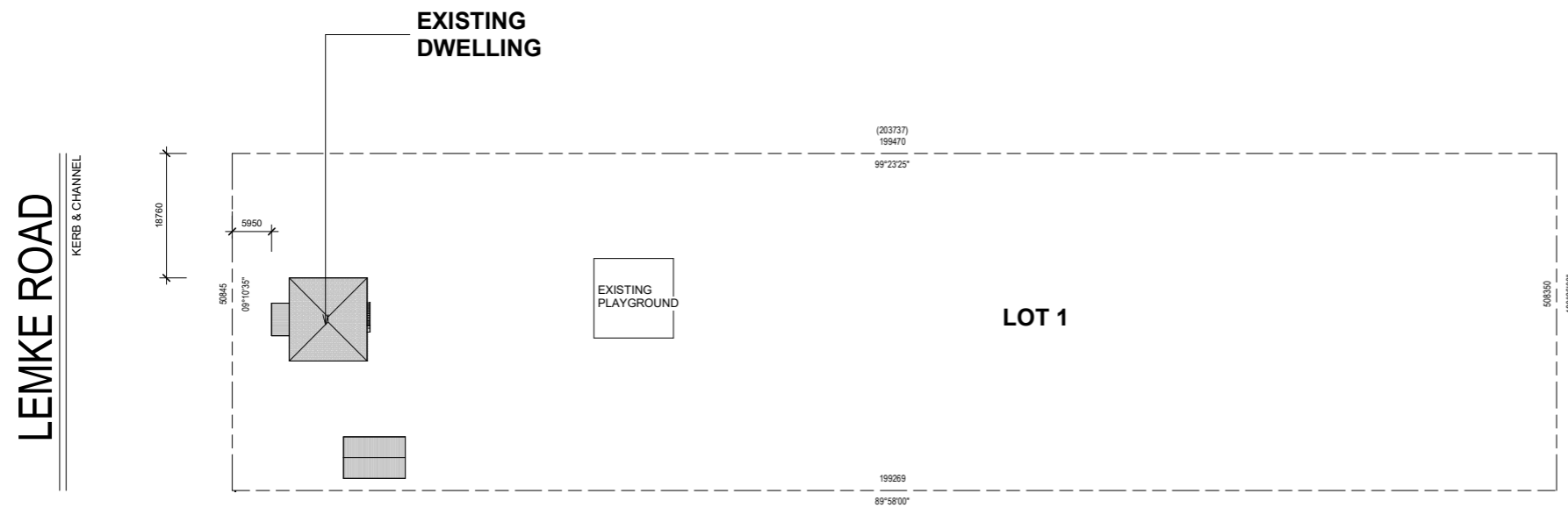
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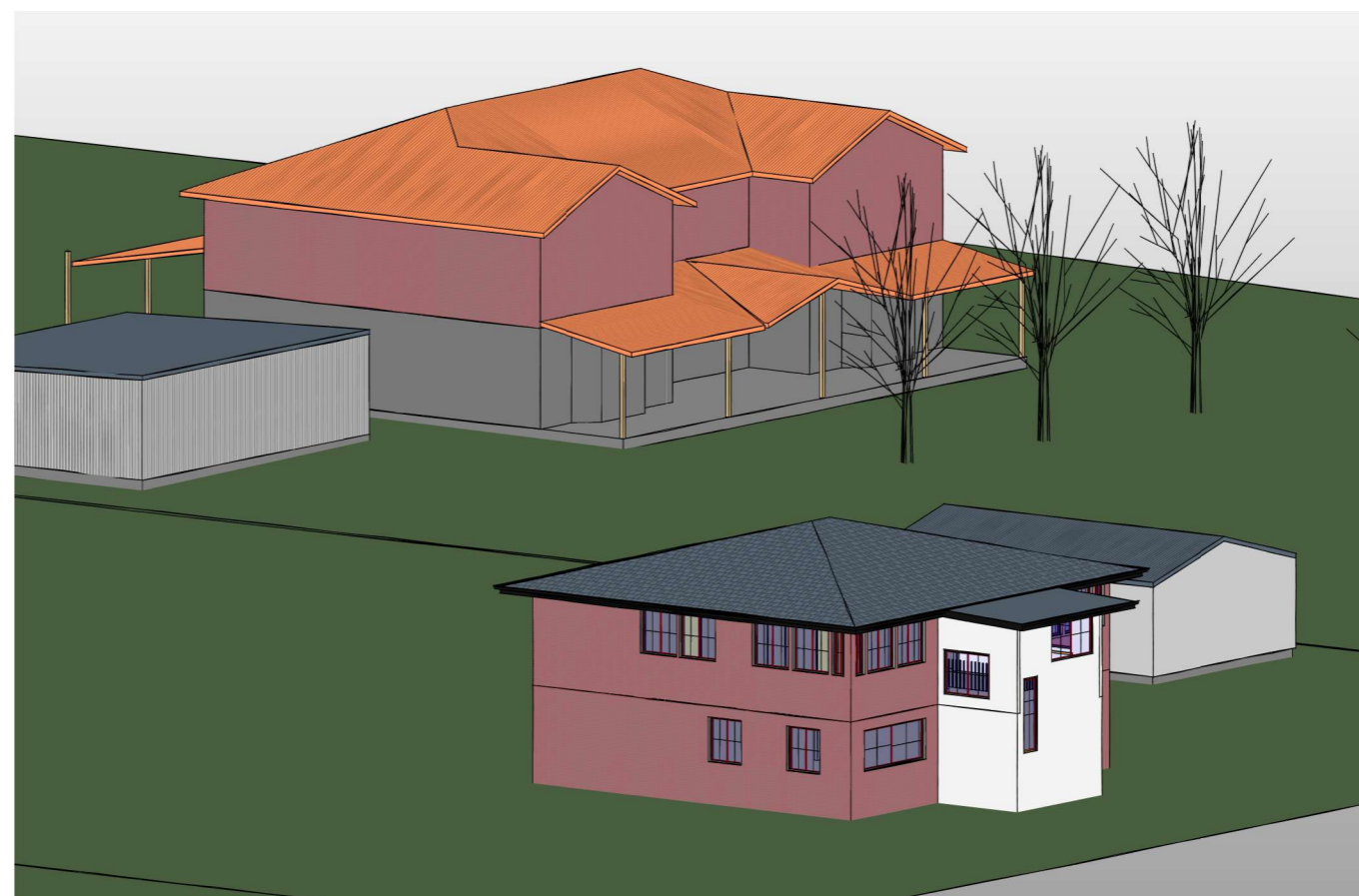
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1 EXISTING SITE PLAN



2 PERSPECTIVE 01



3 PERSPECTIVE 02



Report Damage <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra>
 PH - 13 22 03
 Email - Telstra.Plans@team.telstra.com
 Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries
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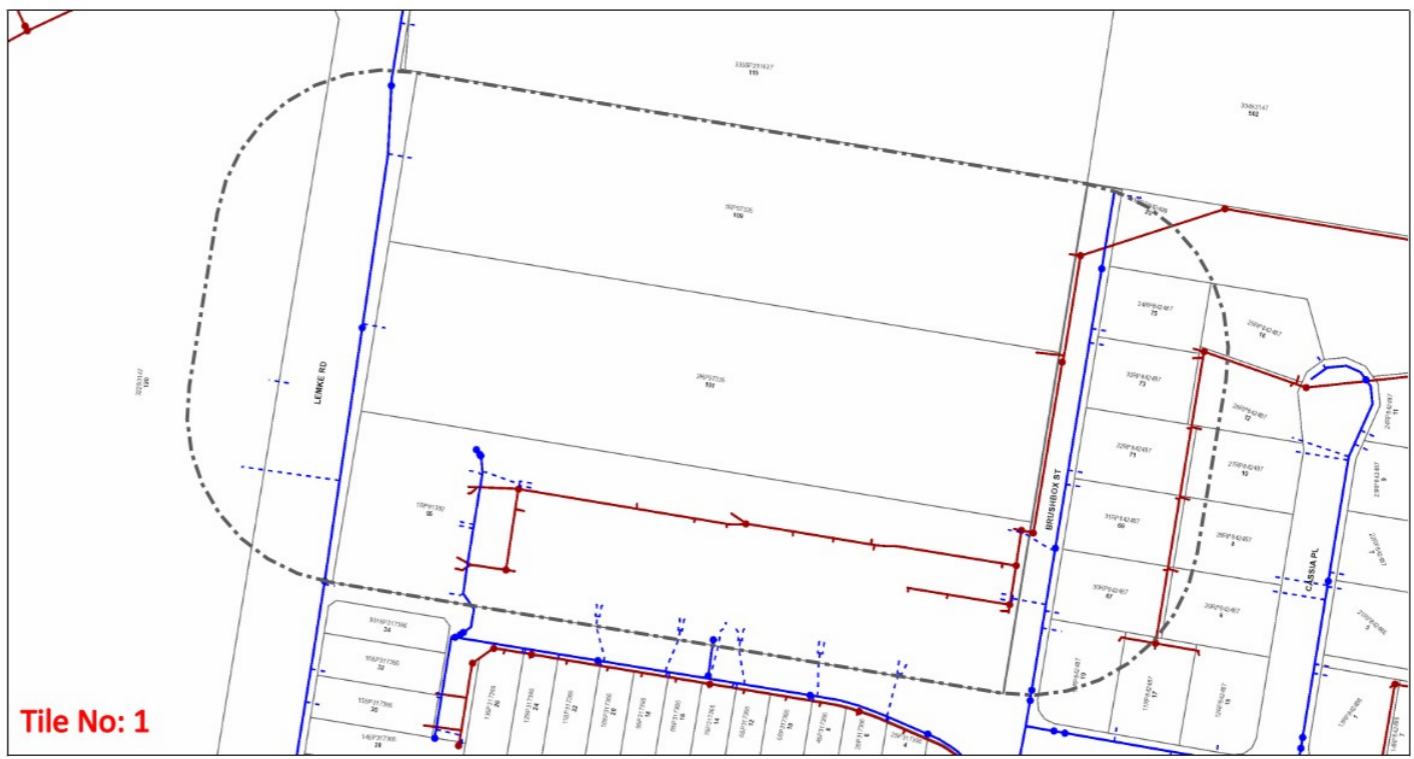
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Urban Utilities - Water, Recycled Water and Sewer Infrastructure



Tile No: 1

UrbanUtilities Before You Dig Australia - Urban Utilities Water, Recycled Water and Sewer Infrastructure
 BYDA Reference No: 258612002
 Date BYDA Ref Received: 28/07/2025
 Date BYDA Job to Commence: 29/07/2025
 Date BYDA Map Produced: 28/07/2025
 This Map is valid for 30 days Produced By: Urban Utilities

| Sewer | Water | Recycled Water |
|----------------------|---------------------------------|----------------------|
| Infrastructure | Infrastructure | Infrastructure |
| Major Infrastructure | Major Infrastructure | Major Infrastructure |
| Network Pipelines | Network Pipelines | Network Pipelines |
| Network Structures | Network Structures | Network Structures |
| | Water Service (Indicative only) | |

Map Scale 1:1000

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 Q.B.S.A. Lic. No. 65213
 50 Michel Drive, Narangba QLD 4504
 Phone: 3888 2555
 Fax: 3888 2444
 Email: zenithdesignqld@gmail.com

REAL PROPERTY DESCRIPTION:
 LOT 2 / LOT 1 / LOT 335
 PARISH: NA
 COUNTY: NA

PROJECT:
 EDUCATION ESTABLISHMENT

CLIENT:
 SINGH SABHA BRISBANE

ADDRESS:
 109-115 LEMKE ROAD, TAIGUM

DRAWING:
 SITE INFO

ISSUE DATE: 20-11-13

SHEET: 02 OF 27

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CHECKED: BZ

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REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

SITE INFO

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REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION
ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
EXISTING GF

ISSUE DATE: 20-11-13

SHEET: 04 OF 27

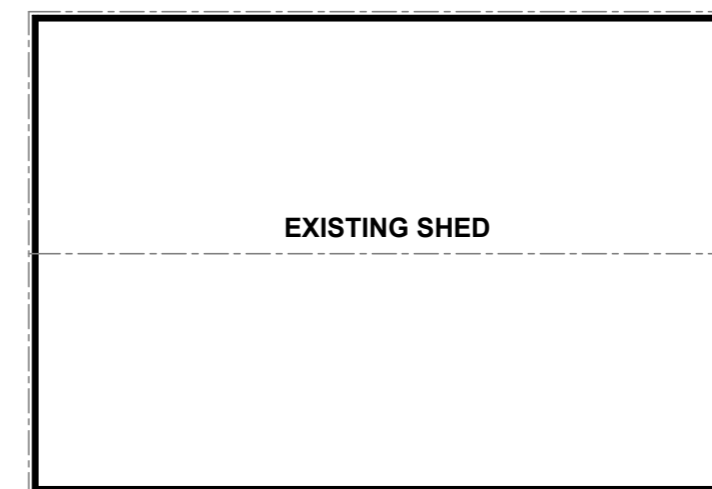
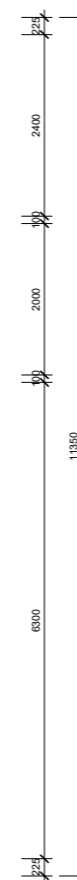
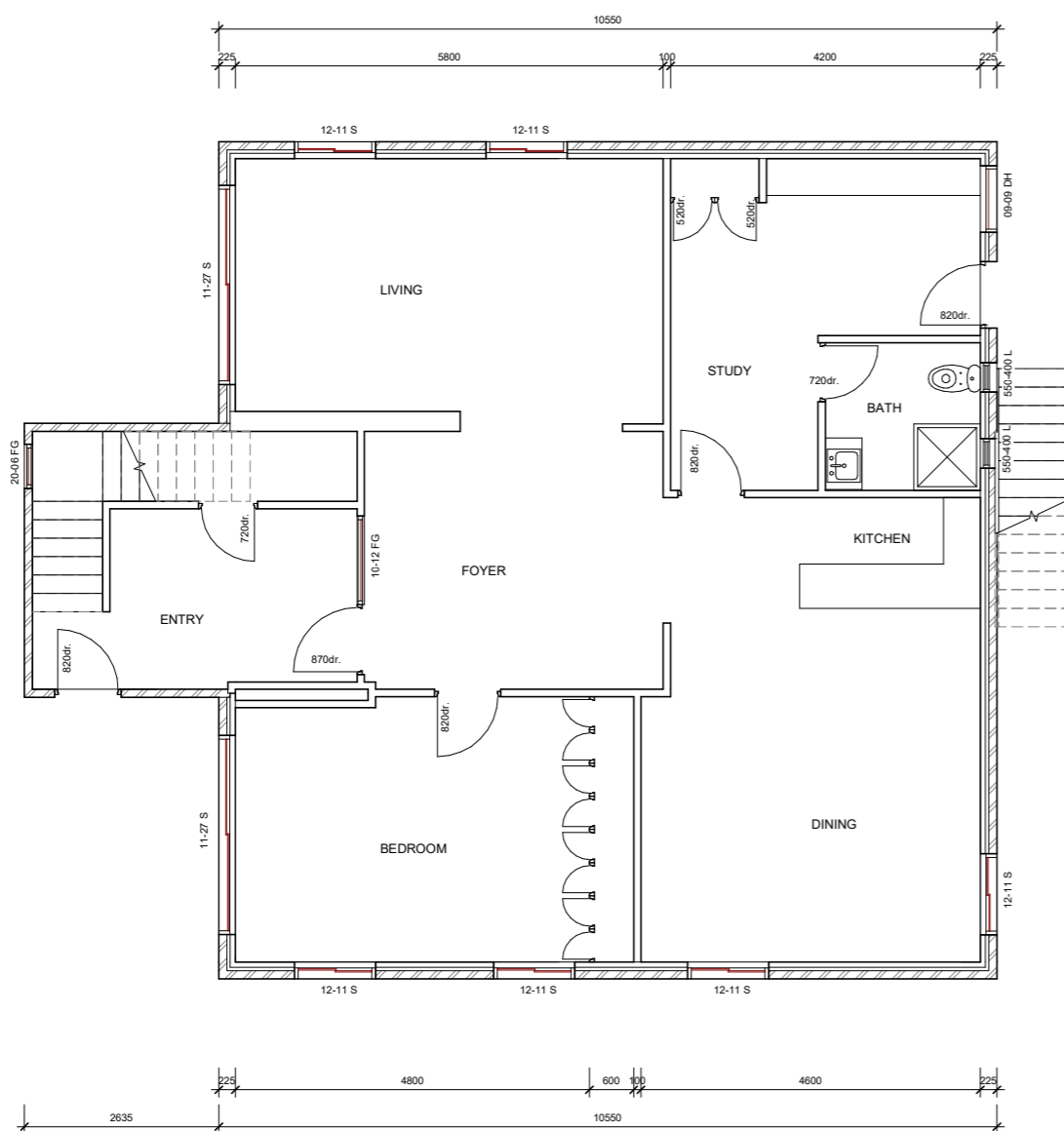
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CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:23 AM

JOB NO : 3298-25



② STORAGE SHED
1 : 50

EXISTING HOUSE

① GF

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION
ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

EXISTING FF

ISSUE DATE: 20-11-13

SHEET: 05 OF 27

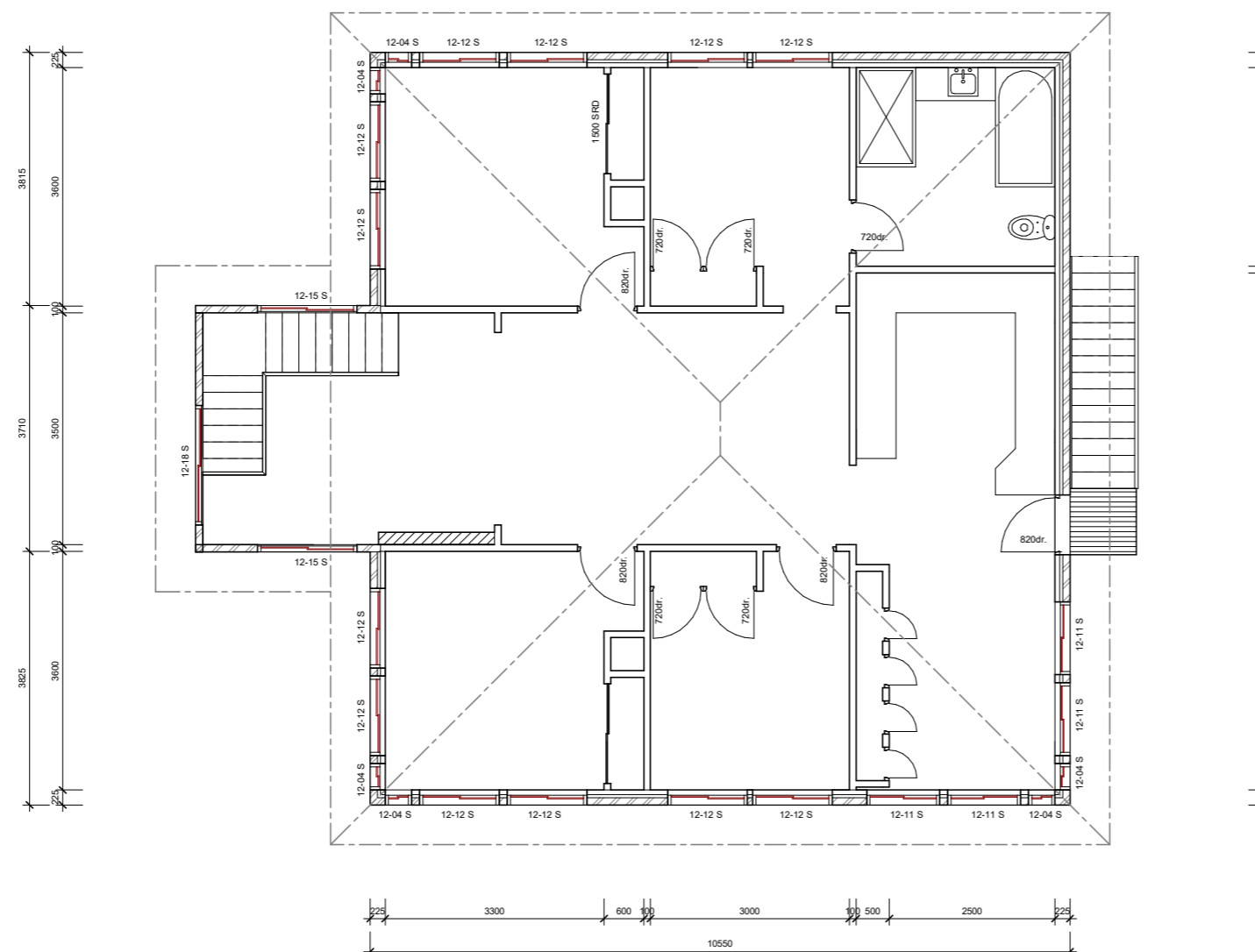
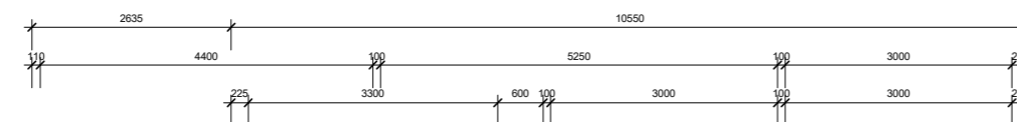
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CHECKED: BZ

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JOB NO : 3298-25



EXISTING HOUSE
1 FF

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
ELEVATIONS

ISSUE DATE: 20-11-13

SHEET: 06 OF 27

SCALE (AT A1 SIZE) 1 : 50

STATUS: WORKING DRAWINGS

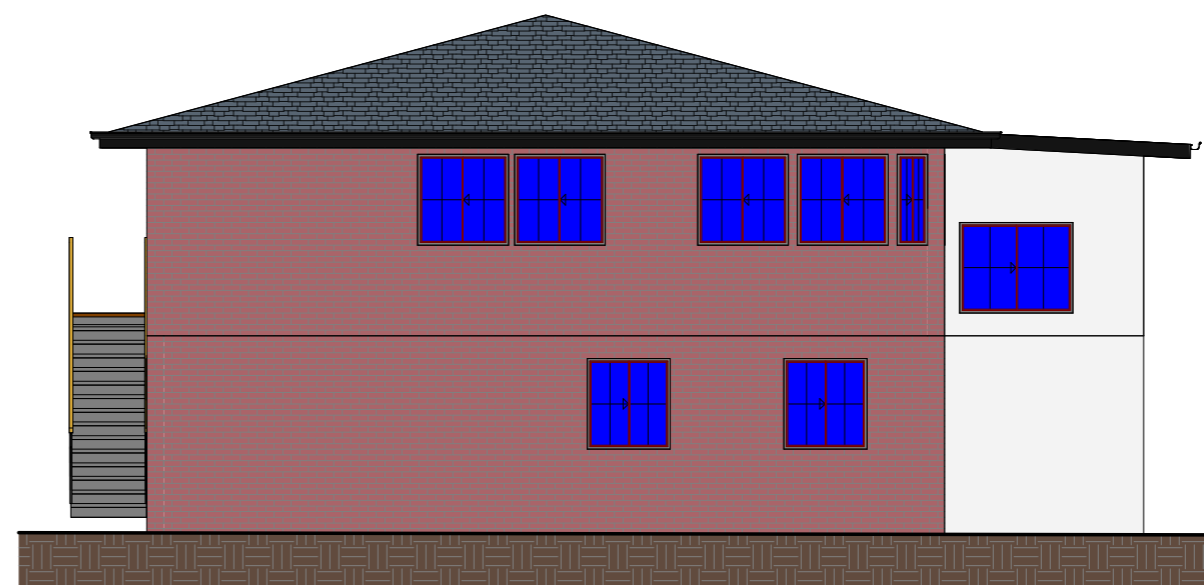
DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:24 AM

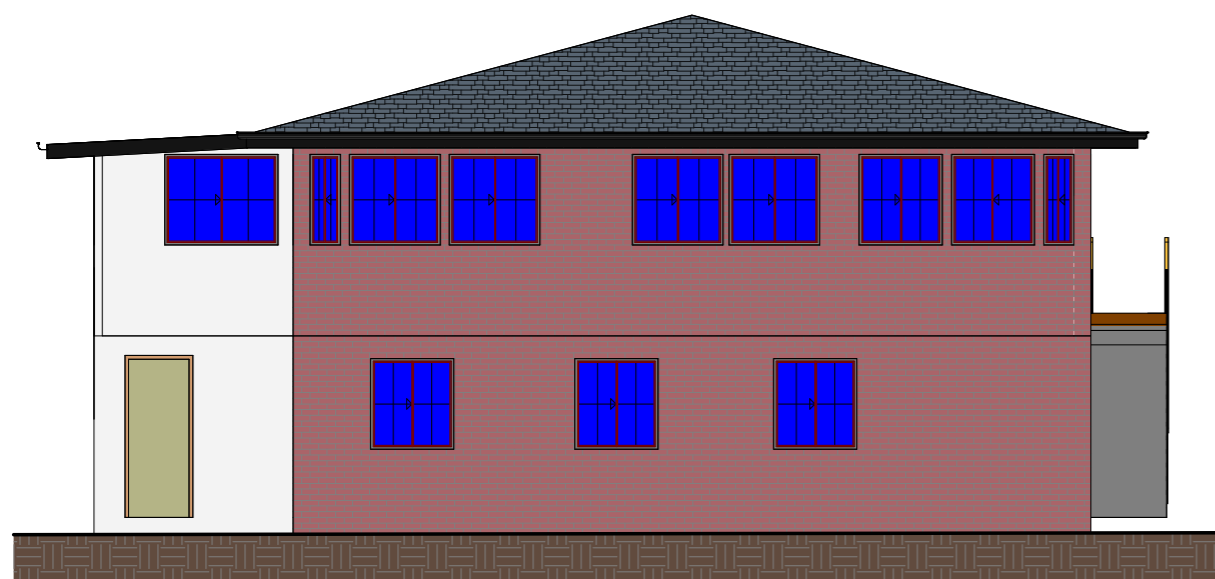
JOB NO : 3298-25



① **SCHOOL EAST**
1 : 50



② **SCHOOL NORTH**
1 : 50



③ **SCHOOL SOUTH**
1 : 50



④ **SCHOOL WEST**
1 : 50

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION
ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
PROPOSED
PERSPECTIVE

ISSUE DATE: 20-11-13

SHEET: 07 OF 27

SCALE (AT A1 SIZE)

STATUS: WORKING
DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:25 AM

JOB NO : 3298-25





REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION
ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

PROPOSED
PERSPECTIVE

ISSUE DATE: 20-11-13

SHEET: 08 OF 27

SCALE (AT A1 SIZE)

STATUS: WORKING
DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:25 AM

JOB NO : 3298-25

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION
ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
PROPOSED
PERSPECTIVE

ISSUE DATE: 20-11-13

SHEET: 09 OF 27

SCALE (AT A1 SIZE)

STATUS: WORKING
DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:25 AM

JOB NO : 3298-25



**REAL PROPERTY
DESCRIPTION:**

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION
ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
PROPOSED
PERSPECTIVE

ISSUE DATE: 20-11-13



SHEET: 10 OF 27

SCALE (AT A1 SIZE)

STATUS: WORKING
DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:26 AM

JOB NO : 3298-25

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION ESTABLISHMENT

CLIENT:

SINGH SABHA BRISBANE

ADDRESS:

109-115 LEMKE ROAD, TAIGUM

DRAWING:

PROPOSED SITE PLAN

ISSUE DATE: 20-11-13
ISSUE DATE: 13TH JUE 2024

SHEET: 11 OF 27

SCALE (AT A1 SIZE) 1 : 500

STATUS: WORKING DRAWINGS

DRAWN: BZ, DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:26 AM

JOB NO : 3298-25



GENERAL NOTES

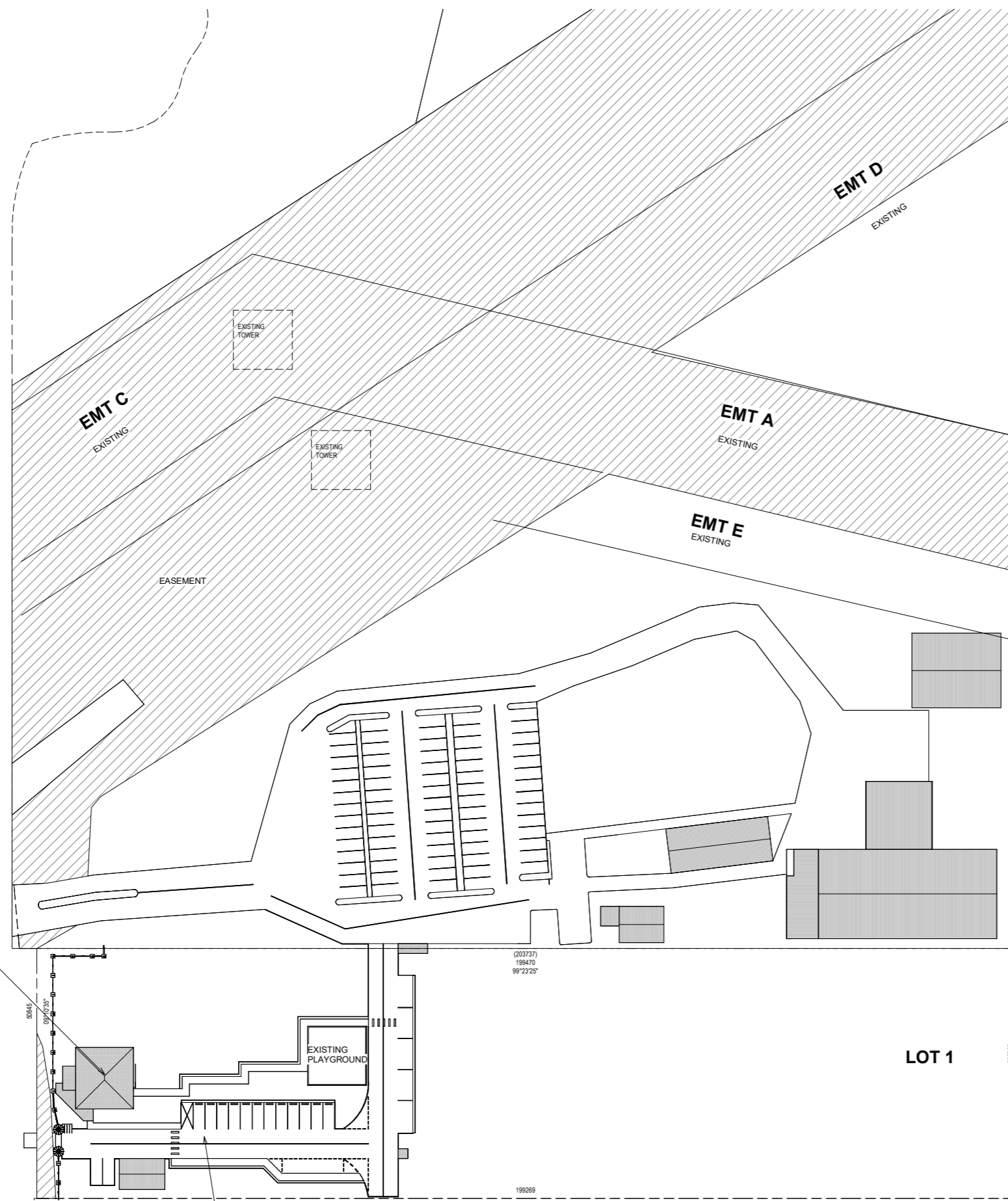
- ALL BUILDING WORK TO ADHERE TO NCC 2022 AND ALL RELEVANT CODES AND STANDARDS.
- ALL ROOF RAINWATER TO BE CONNECTED TO STREET STORMWATER LINE VIA 100mm uPVC DP's AT 1:100 GRADE. MAXIMUM 12m BETWEEN DOWN PIPES AND SERVICE MAXIMUM 40m² OF ROOF AREA.
- ALL EFFLUENT & WASTE WATER TO BE CONNECTED TO COUNCIL SEWERAGE LINE.
- NEW STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH A.S. 3500 & LOCAL AUTHORITY GUIDELINES
- ALL LEVELS, HEIGHTS AND DIMENSIONS TO BE CONFIRMED PRIOR TO START OF ANY WORKS
- BUILDER TO ESTABLISH SITE BOUNDARIES & CORNER PEGS PLUS CONFIRM ALL BUILDING SETBACK DIMENSIONS PRIOR TO START OF ANY WORK
- -ALL DRAINAGE TO COMPLY WITH NCC REQUIREMENTS
- FALL FINISHED GROUND @ 1:20 FOR MINIMUM 1m AROUND PERIMETER OF FOUNDATIONS
- ALL EARTHWORKS TO BE IN ACCORDANCE WITH NCC REQUIREMENTS
- ALL PROPOSED HANDRAILS TO BE IN ACCORDANCE AUSTRALIAN STANDARDS 1170.1 (2002)

NOTES:

-CARPARK FLOOD ZONE RELATIONSHIP:

-BBC FLOOD LEVELS FOR THE SITE & ELEVATION OF 4.2mAHD FOR THE 1% AEP TO BE COMPLIED WITH.

-PROPOSED CARPARK TO SATISFY MINIMUM 4.2mAHD FLOOD LEVEL TO HYDRAULIC ENGINEER'S DETAIL



PROPOSED EDUCATION ESTABLISHMENT

LEMKE ROAD

KERB & CHANNEL

PROPOSED CARPARK

PROPOSED SITE PLAN

1 PLAN

KERB & CHANNEL

BRUSHBOX STREET

LOT 1

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

SITE DETAIL

ISSUE DATE: 20-11-13

SHEET: 12 OF 27

SCALE (AT A1 SIZE) 1 : 100

STATUS: WORKING DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:27 AM

JOB NO : 3298-25

SCOPE OF WORK:
-MATERIAL CHANGE OF USE FOR EXISTING DWELLING TO PROPOSED EDUCATION ESTABLISHMENT
-EXISTING AND APPROVED GATE TO BE MODIFIED TO ALLOW FOR SINGLE CAR ACCESS
-PROPOSED CARPARK TO SERVICE NEW EDUCATION ESTABLISHMENT

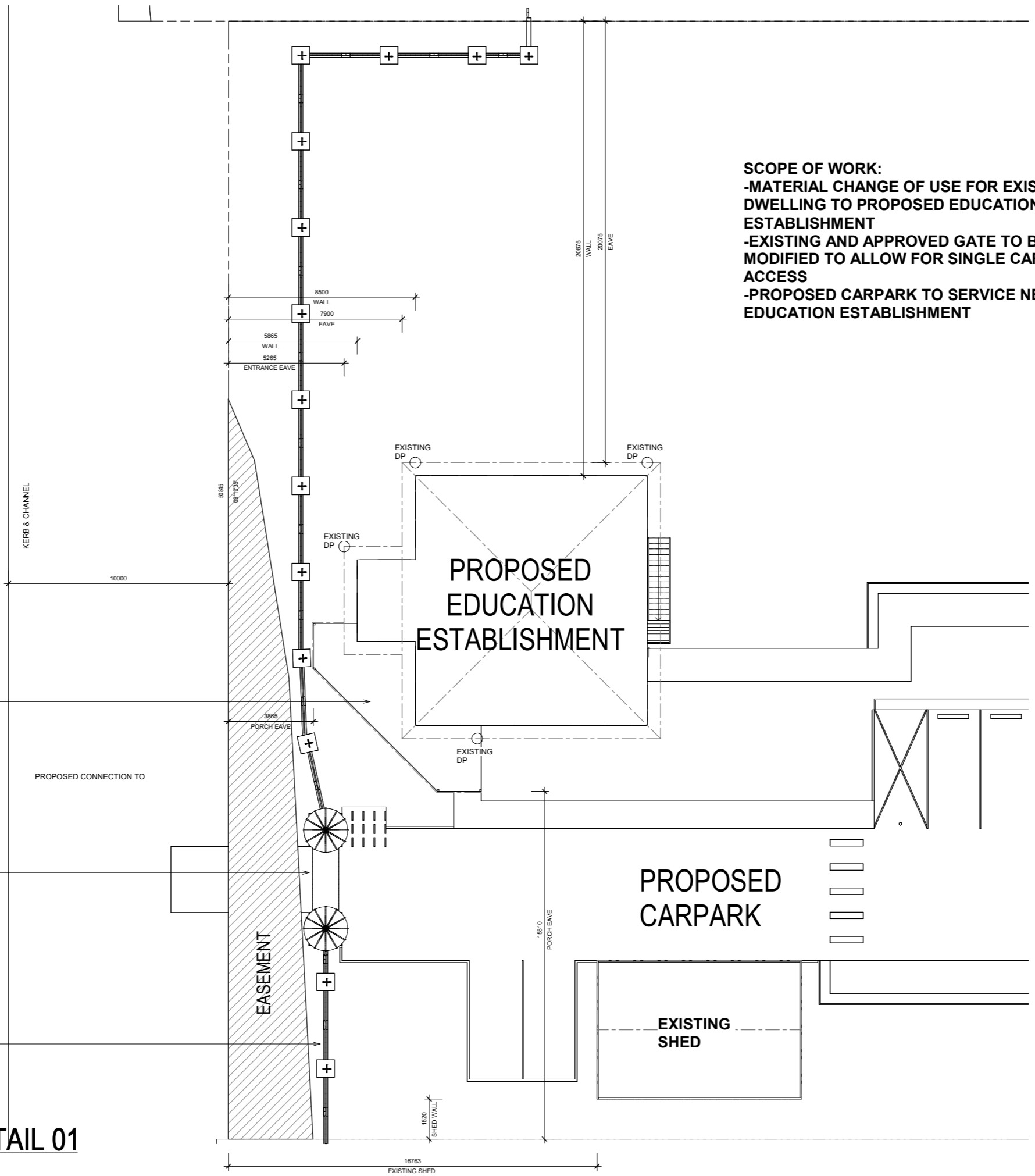
LEMKE ROAD

PROPOSED PORCH

APPROVED SCHOOL GATE

APPROVED SCHOOL FENCE

1 SITE DETAIL 01
1 : 100



REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

LANDSCAPING PLAN

ISSUE DATE: 20-11-13

SHEET: 13 OF 27

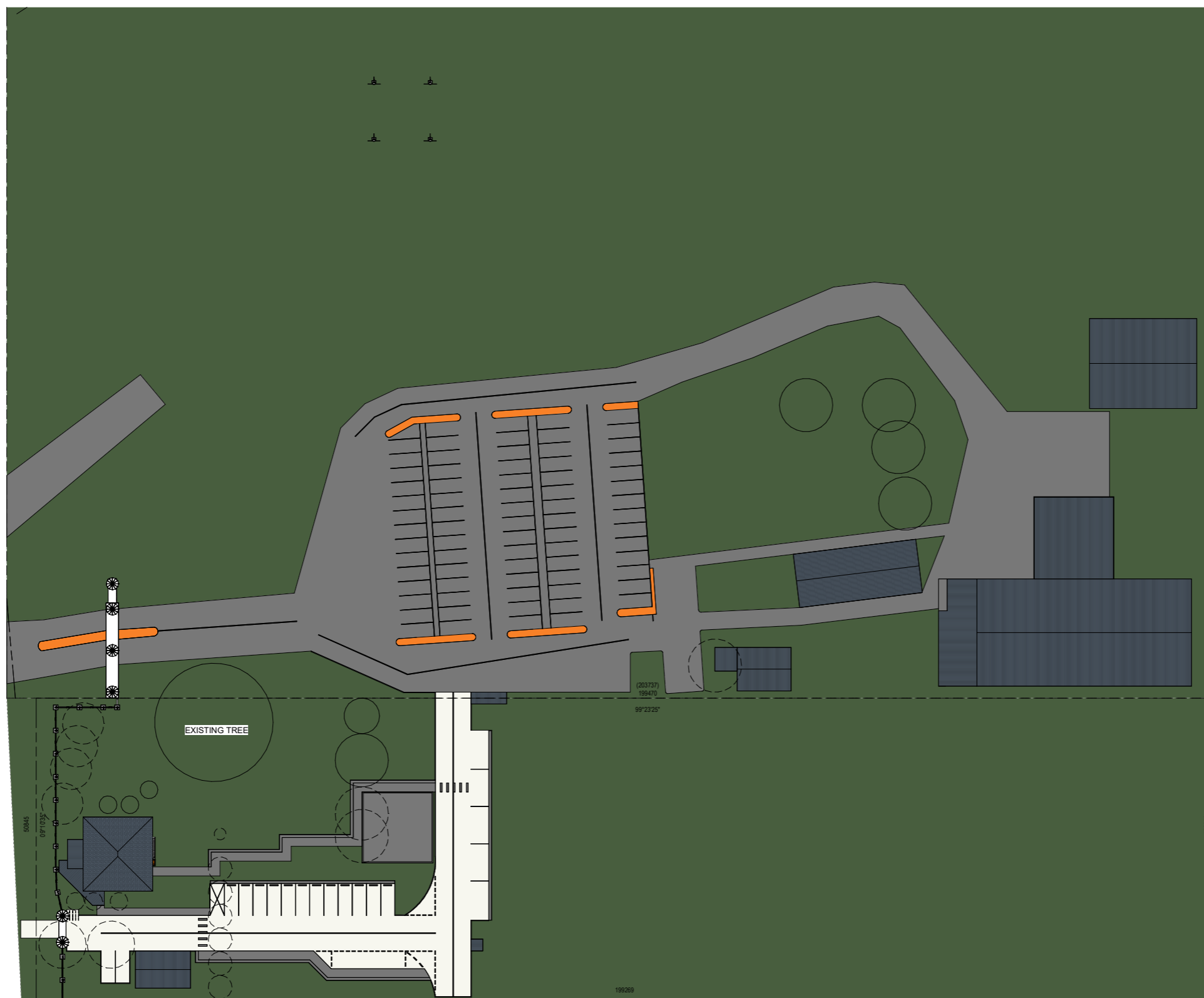
SCALE (AT A1 SIZE) 1 : 400

STATUS: WORKING DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:27 AM

JOB NO : 3298-25



LEMKE ROAD

KERB & CHANNEL

BRUSHBOX STREET

KERB & CHANNEL

| LEGEND | |
|--------|--------------|
| | REMOVED TREE |
| | TO REMAIN |

1 LANDSCAPING PLAN

NOTE:
-ALL TREE LOCATIONS APPROXIMATE & TO BE CONFIRMED ON SITE

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335
PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION ESTABLISHMENT

CLIENT:
SINGH SABHA BRISBANE

ADDRESS:
109-115 LEMKE ROAD, TAIGUM

DRAWING:
EDUCATION GF

ISSUE DATE: 20-11-13

SHEET: 14 OF 27

SCALE (AT A1 SIZE): 1 : 50

STATUS: WORKING DRAWINGS

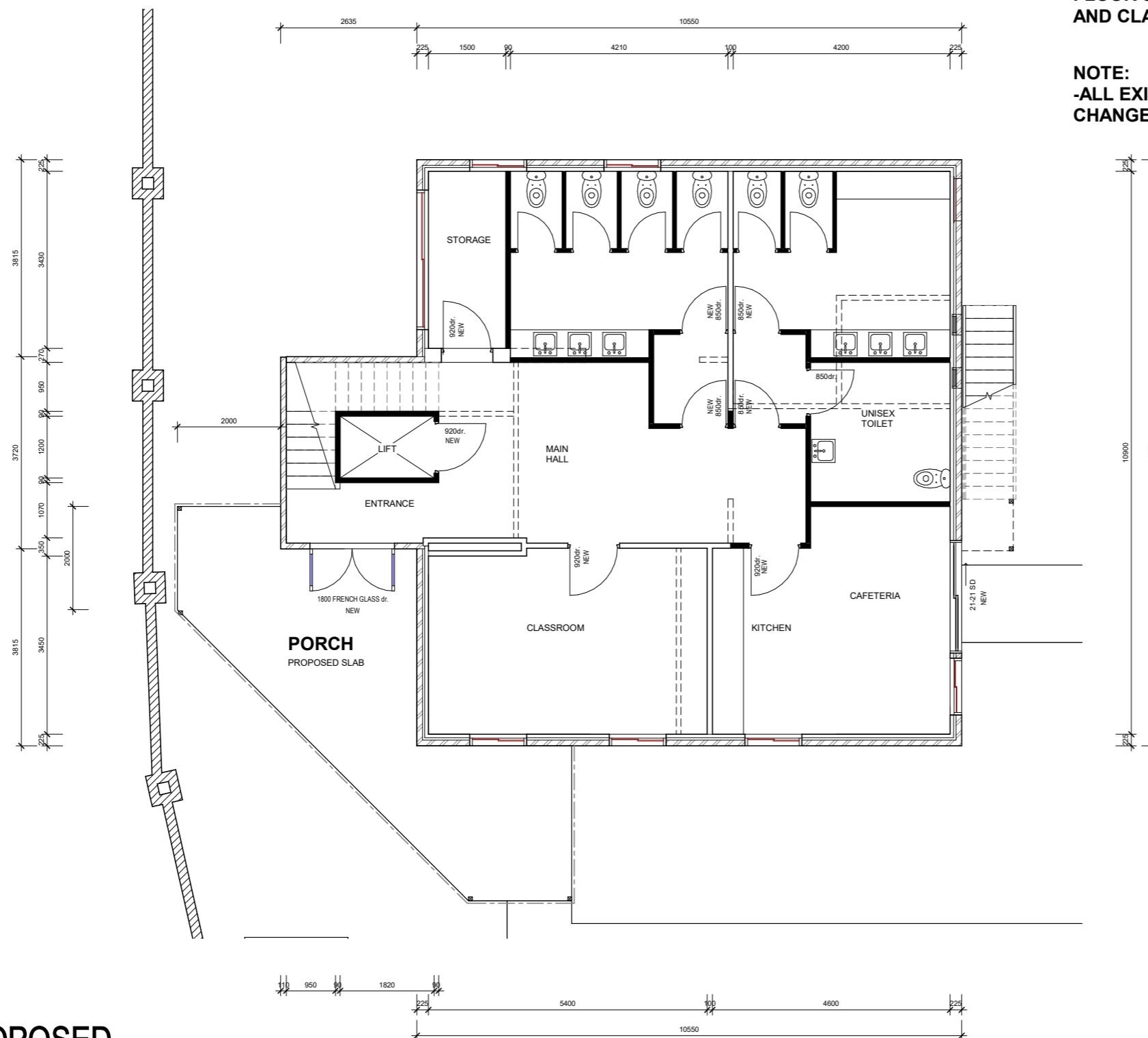
DRAWN: BZ, DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:28 AM

JOB NO : 3298-25

SCOPE OF WORK:
-EXISTING DWELLING TO HAVE CHANGE OF USE TO BECOME EDUCATION ESTABLISHMENT
-PROPOSED LAYOUT FOR GROUND FLOOR SHOWING NEW BATHROOMS AND CLASSROOMS

NOTE:
-ALL EXISTING DOORS TO BE CHANGED TO 920dr.



1 PROPOSED EDUCATION GF

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
EDUCATION FF

ISSUE DATE: 20-11-13

SHEET: 15 OF 27

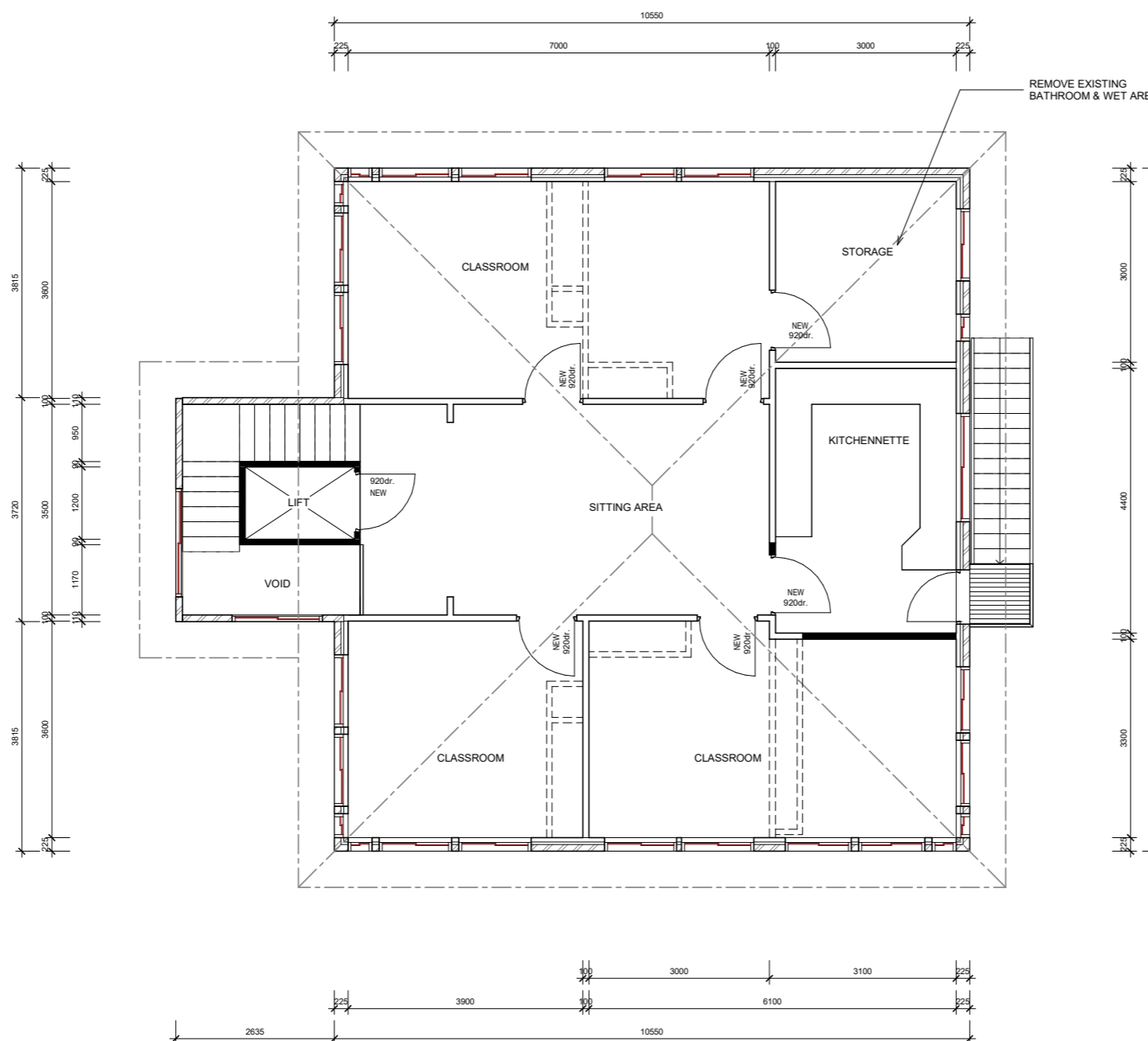
SCALE (AT A1 SIZE): 1 : 50

STATUS: WORKING DRAWINGS

DRAWN: BZ, DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:29 AM

JOB NO : 3298-25



1 PROPOSED
EDUCATION FF

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION
ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

WET AREA DETAIL

ISSUE DATE: 20-11-13

SHEET: 16 OF 27

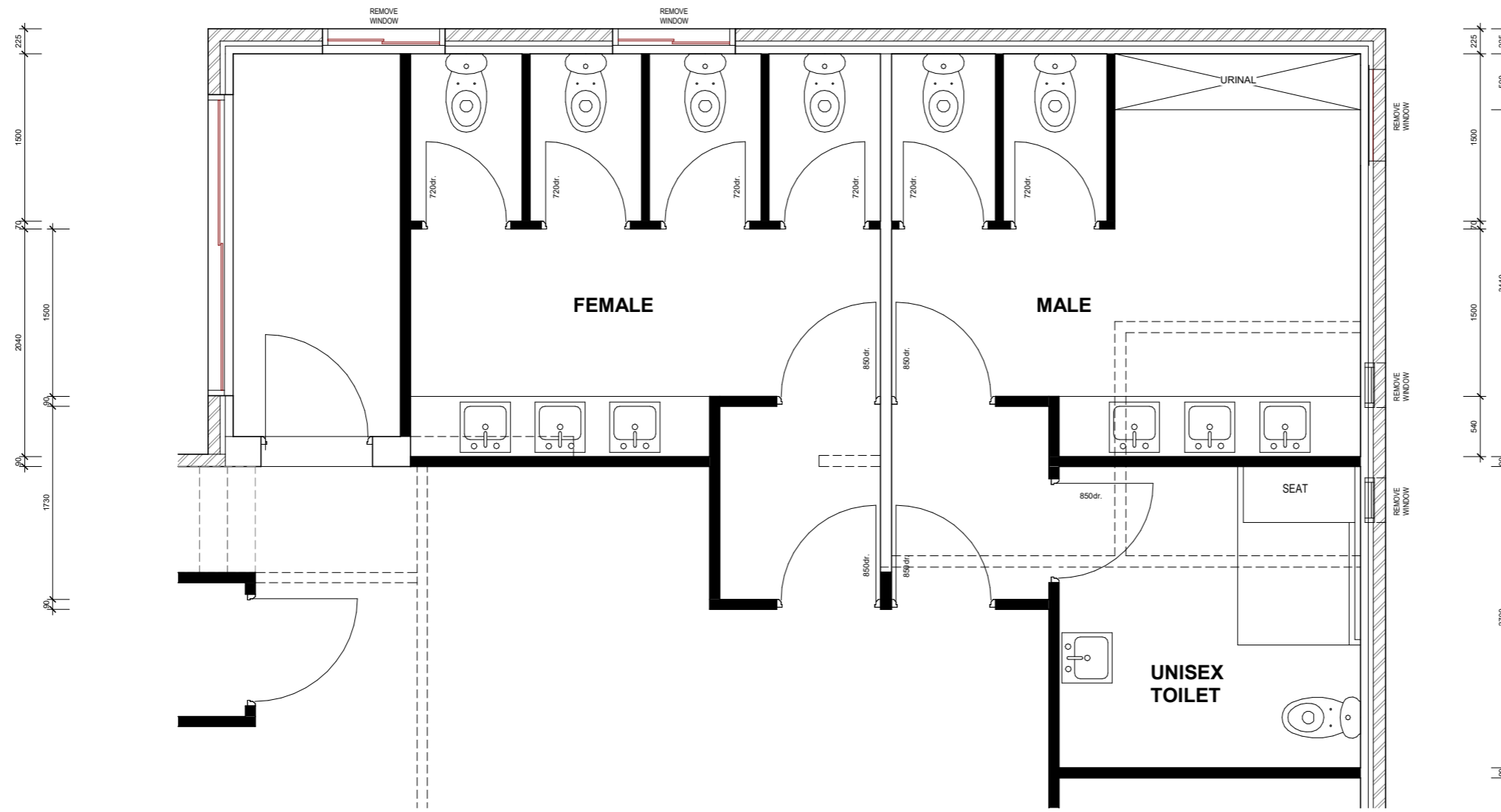
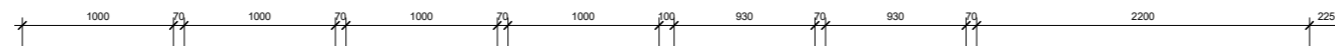
SCALE (AT A1 SIZE): 1 : 25

STATUS: WORKING
DRAWINGS

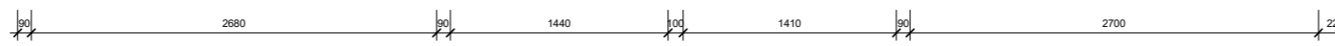
DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:29 AM

JOB NO : 3298-25



1 WET AREA DETAIL
1 : 25



REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
DETAIL PLAN

ISSUE DATE: 20-11-13

SHEET: 17 OF 27

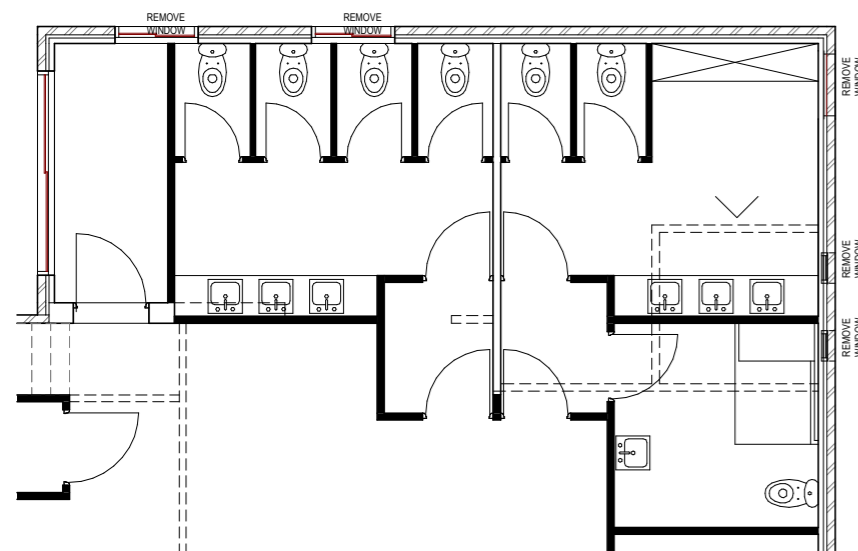
SCALE (AT A1 SIZAs indicated)

STATUS: WORKING DRAWINGS

DRAWN: BZ, DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:29 AM

JOB NO : 3298-25



1 **DETAIL PLAN**
1:50

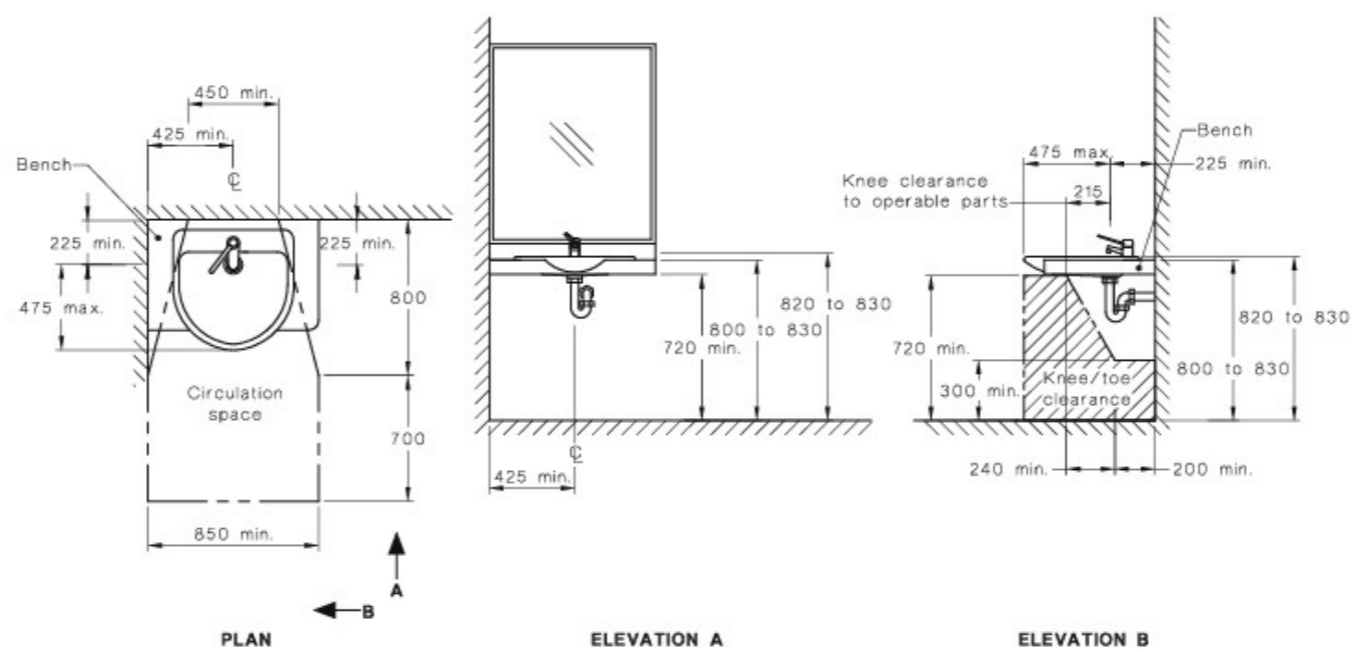
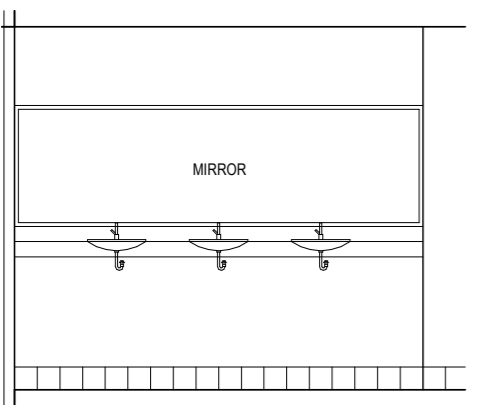


FIGURE 45 WASHBASIN FOR ACCESSIBLE SOLE-OCCUPANCY UNIT



2 **DETAIL 01**
1:25

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
EDUCATION
ELEVATIONS

ISSUE DATE: 20-11-13

SHEET: 18 OF 27

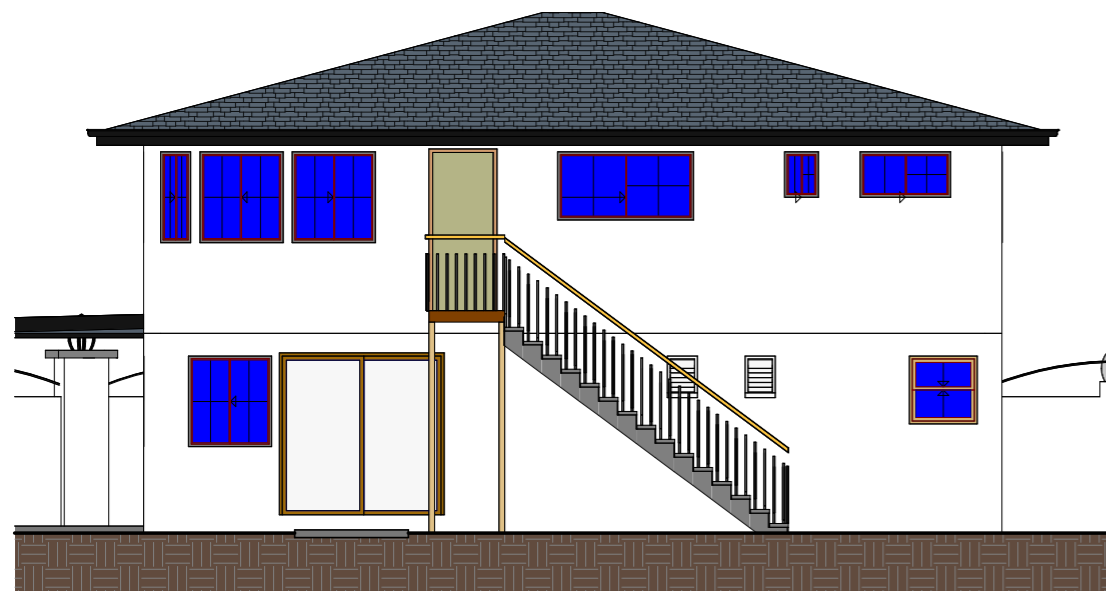
SCALE (AT A1 SIZE) 1 : 50

STATUS: WORKING DRAWINGS

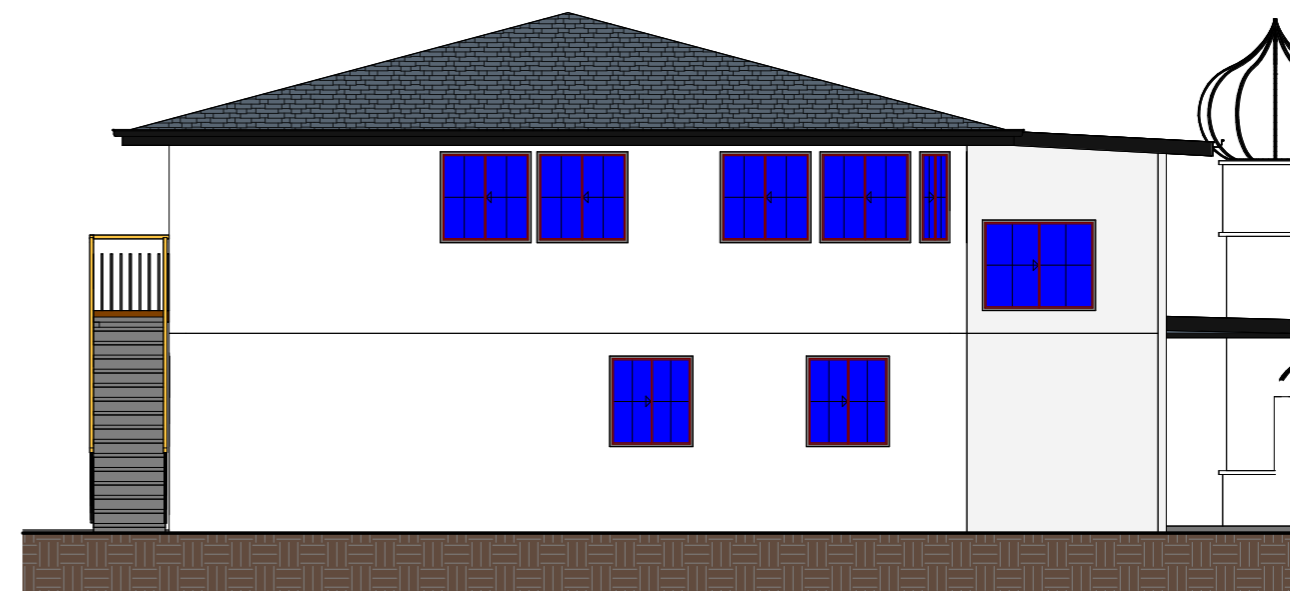
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CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:30 AM

JOB NO : 3298-25



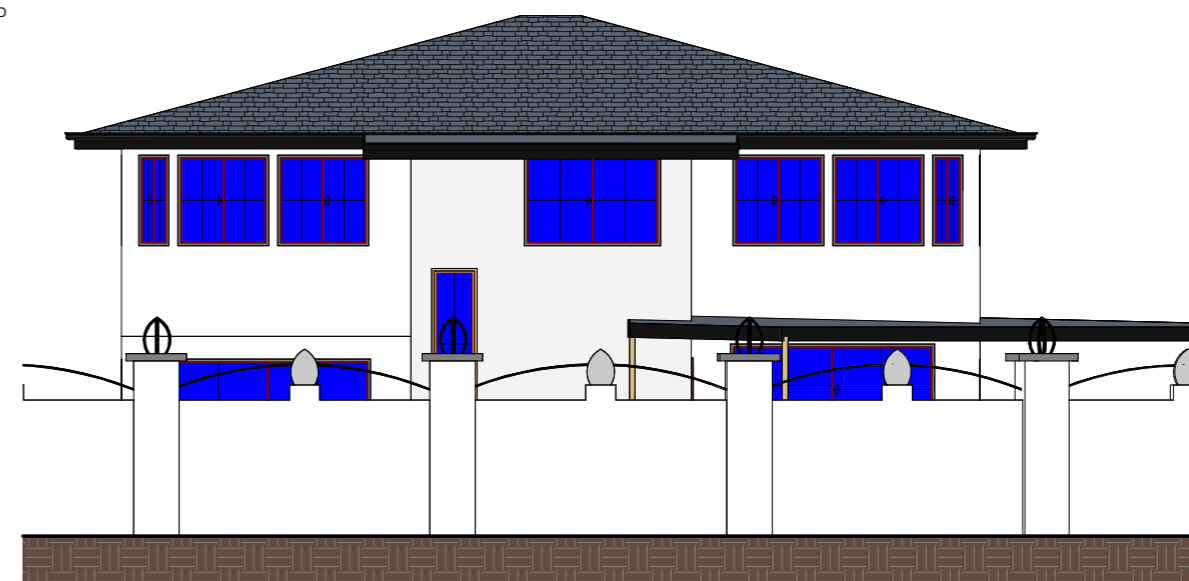
① PROPOSED SCHOOL EAST



② PROPOSED SCHOOL NORTH



③ PROPOSED SCHOOL SOUTH



④ PROPOSED SCHOOL WEST

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
EDUCATION SECTION

ISSUE DATE: 20-11-13

SHEET: 19 OF 27

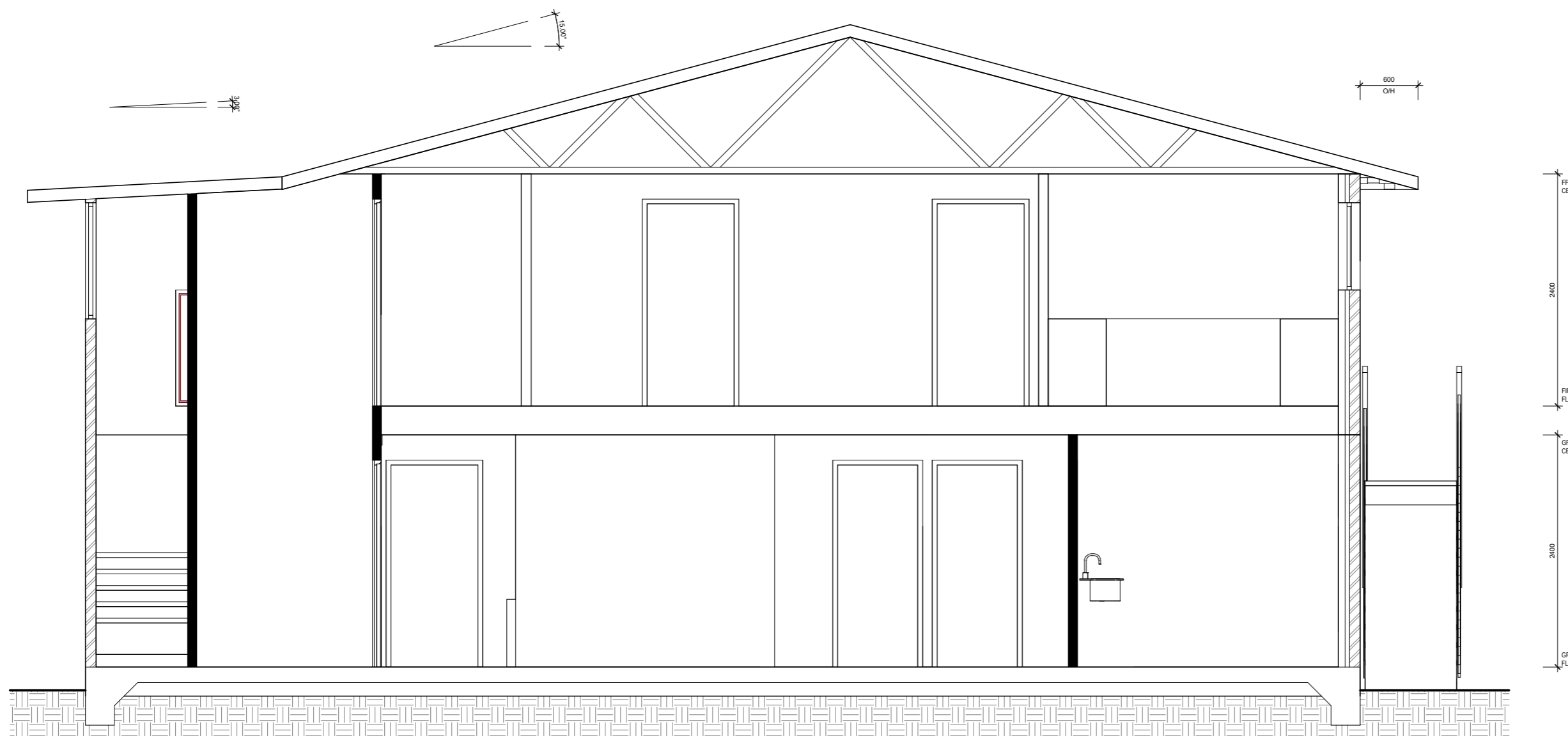
SCALE (AT A1 SIZE): 1 : 25

STATUS: WORKING DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:31 AM

JOB NO : 3298-25



EDUCATION SECTION
①

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
EDUCATION GATE

ISSUE DATE: 20-11-13

SHEET: 20 OF 27

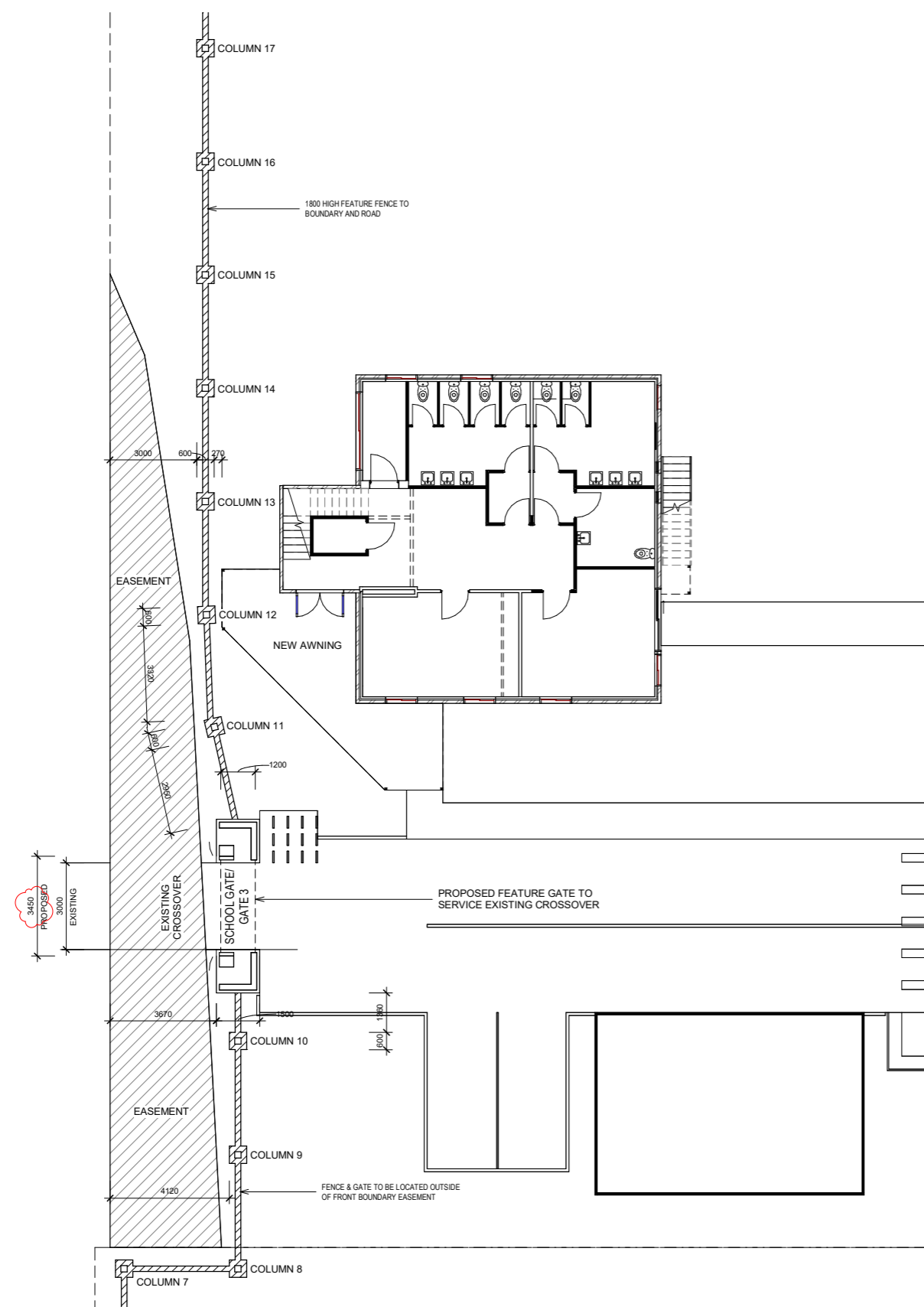
SCALE (AT A1 SIZAs indicated)

STATUS: WORKING DRAWINGS

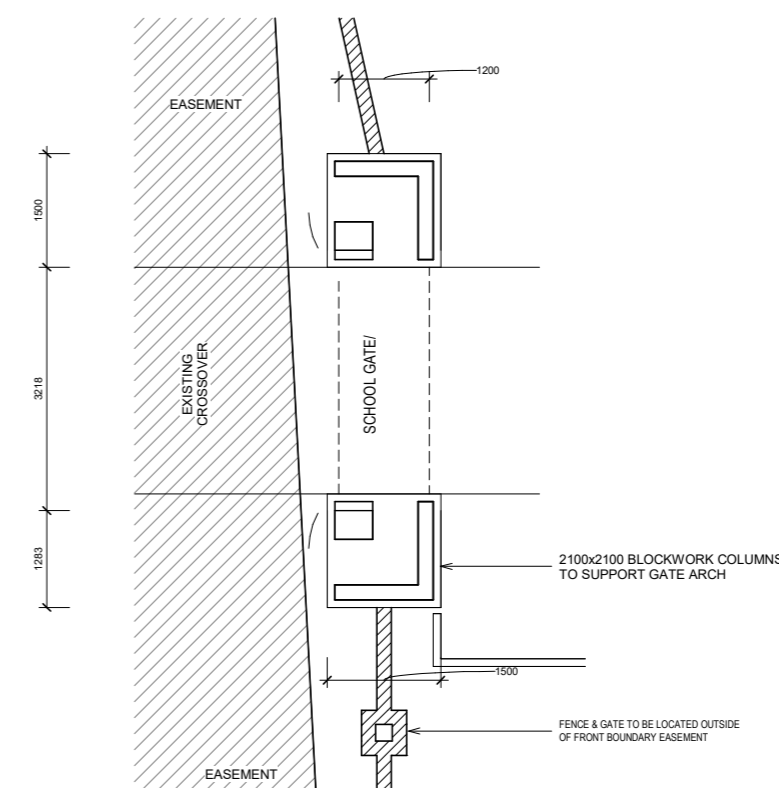
DRAWN: BZ, DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:31 AM

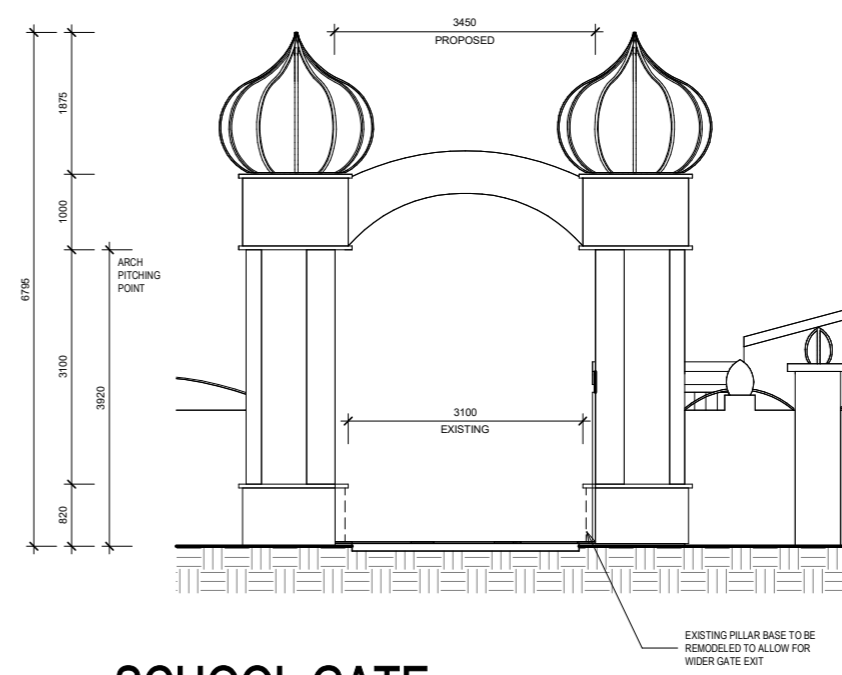
JOB NO : 3298-25



1 EXISTING/APPROVED SCHOOL GATE



2 EXISTING SCHOOL GATE DETAIL



3 SCHOOL GATE SECTION

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION ESTABLISHMENT

CLIENT:

SINGH SABHA BRISBANE

ADDRESS:

109-115 LEMKE ROAD, TAIGUM

DRAWING:

CARPARKING OVERALL

ISSUE DATE: 20-11-13

SHEET: 21 OF 27

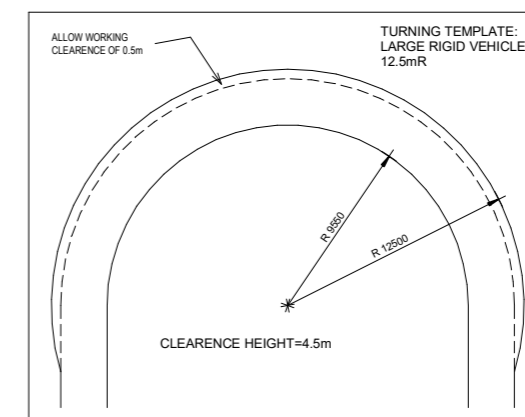
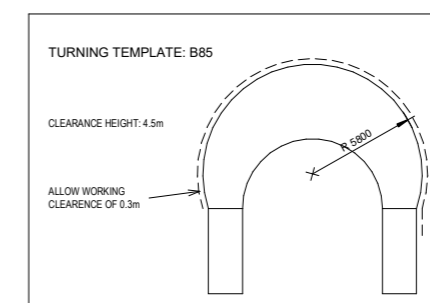
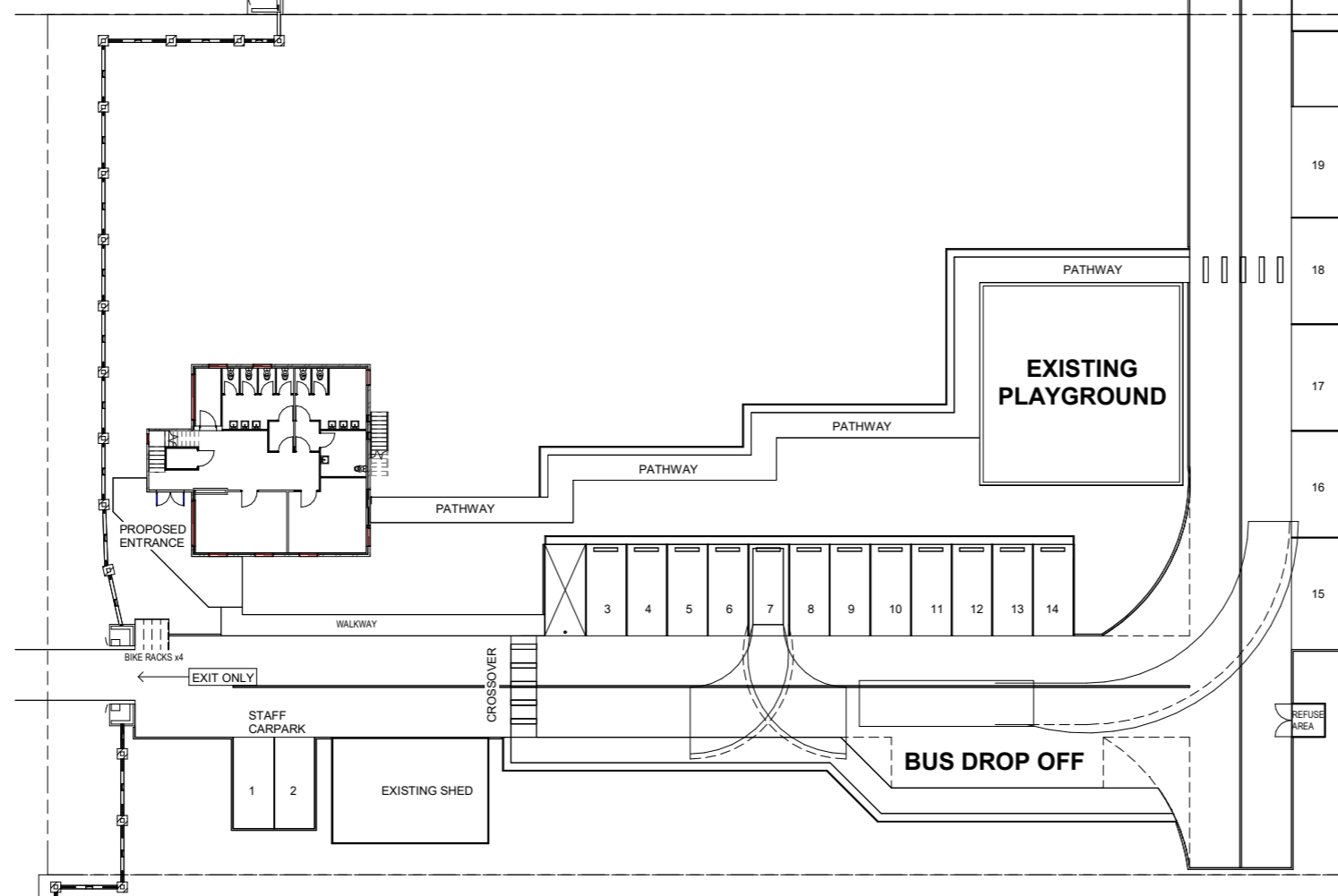
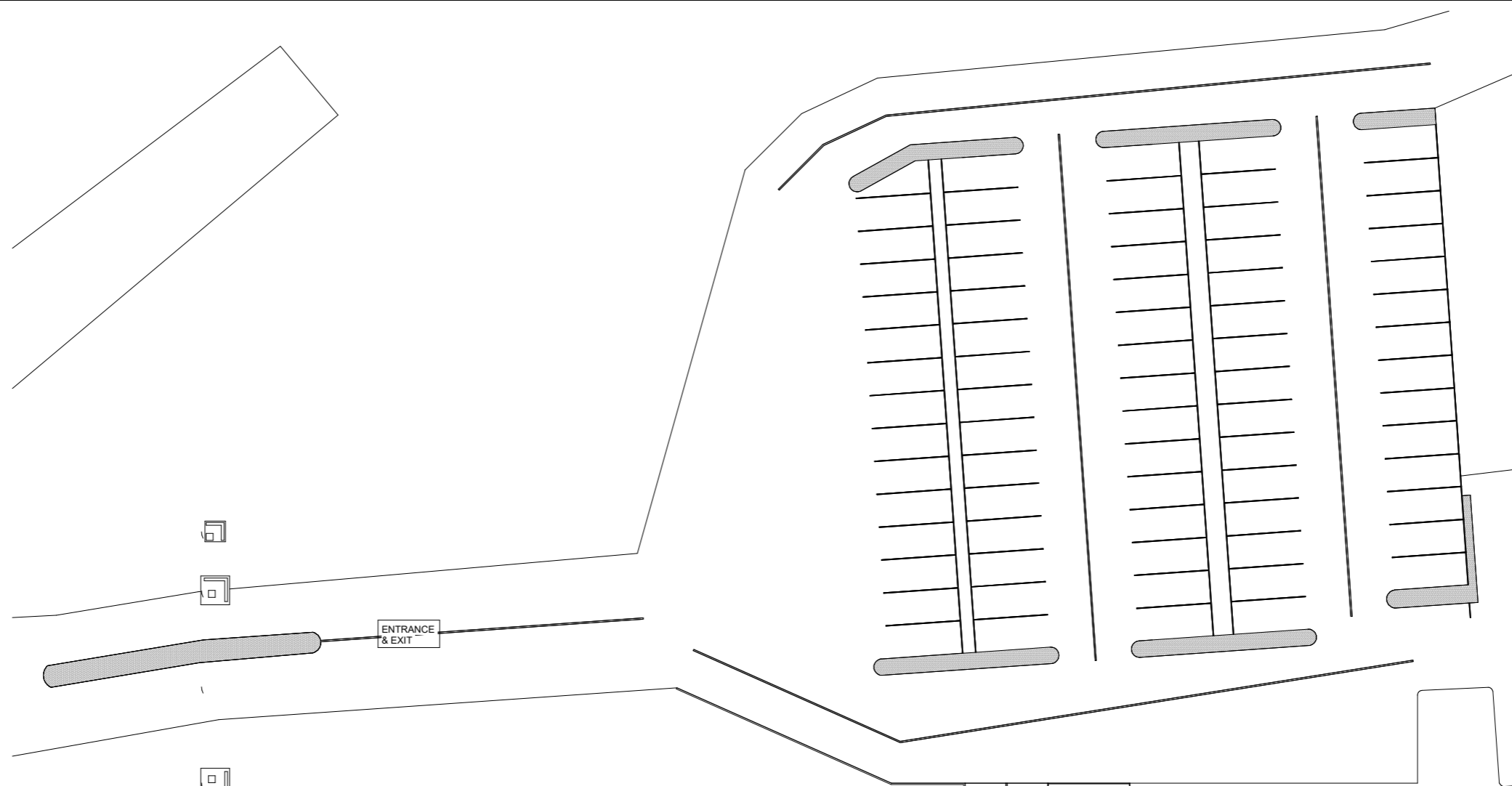
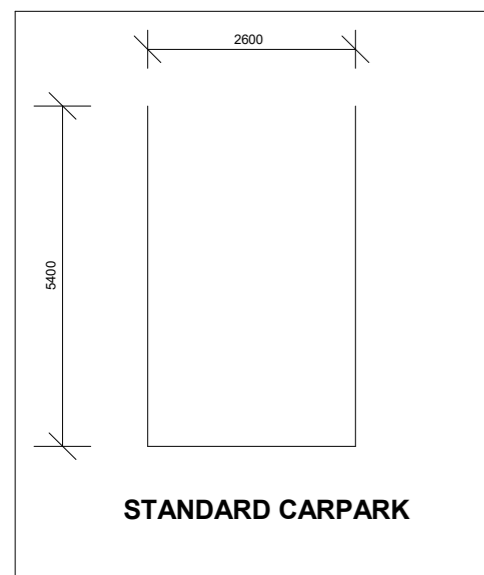
SCALE (AT A1 SIZE) 1 : 200

STATUS: WORKING DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:32 AM

JOB NO : 3298-25



1 CARPARKING OVERALL

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
CARPARK DETAIL 01

ISSUE DATE: 20-11-13

SHEET: 22 OF 27

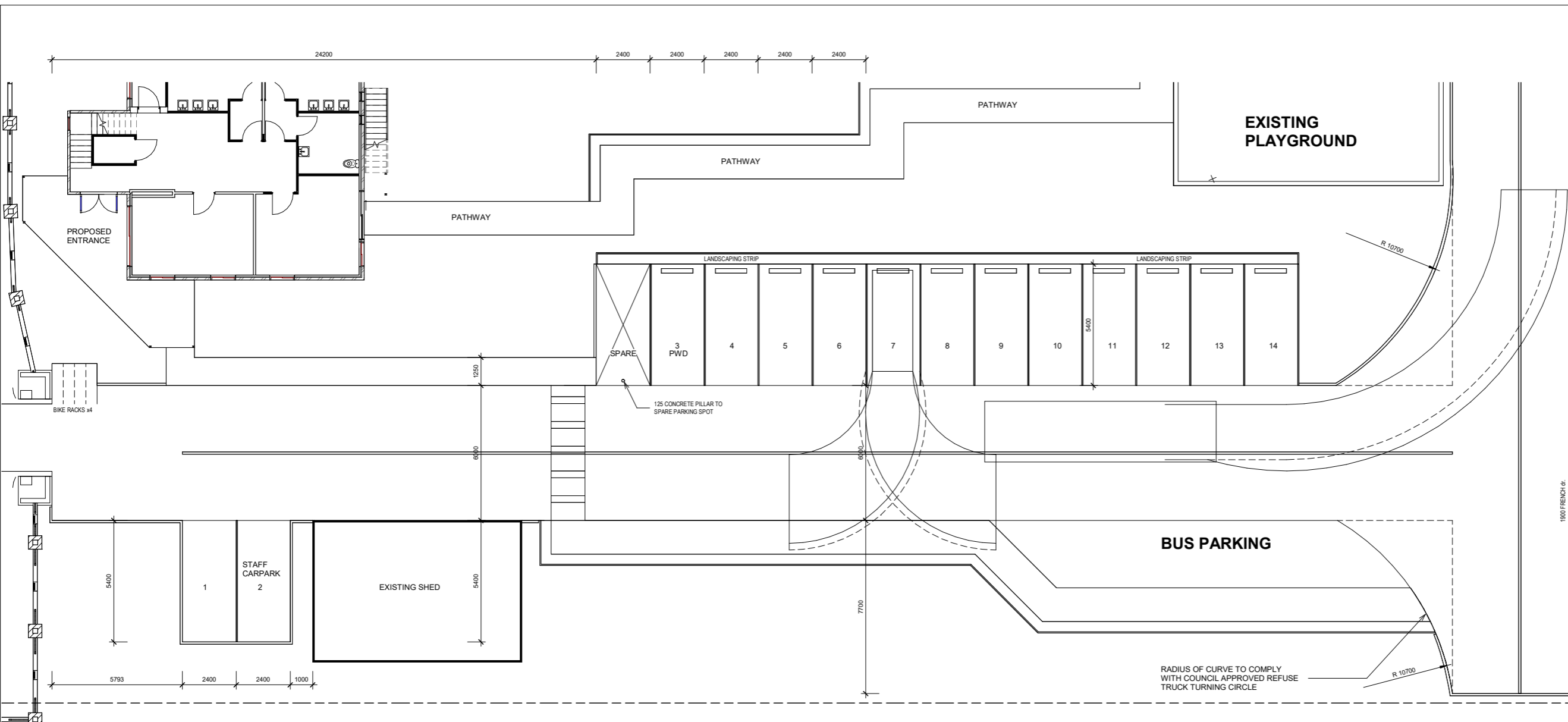
SCALE (AT A1 SIZAs indicated)

STATUS: WORKING DRAWINGS

DRAWN: BZ, DZ
CHECKED: BZ

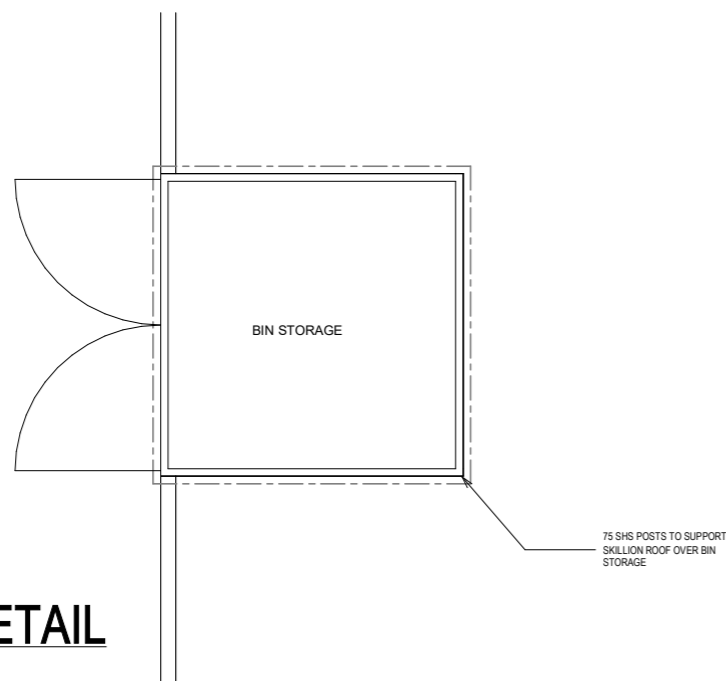
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JOB NO : 3298-25

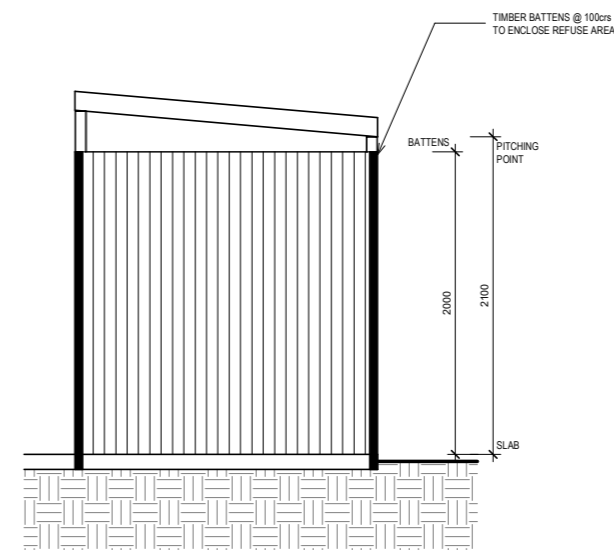


CARPARK DETAIL

1 01



3 **BIN DETAIL**
1:25



2 **BIN SECTION**
1:25

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

CARPARK DETAIL 02

ISSUE DATE: 20-11-13

SHEET: 23 OF 27

SCALE (AT A1 SIZE) 1 : 100

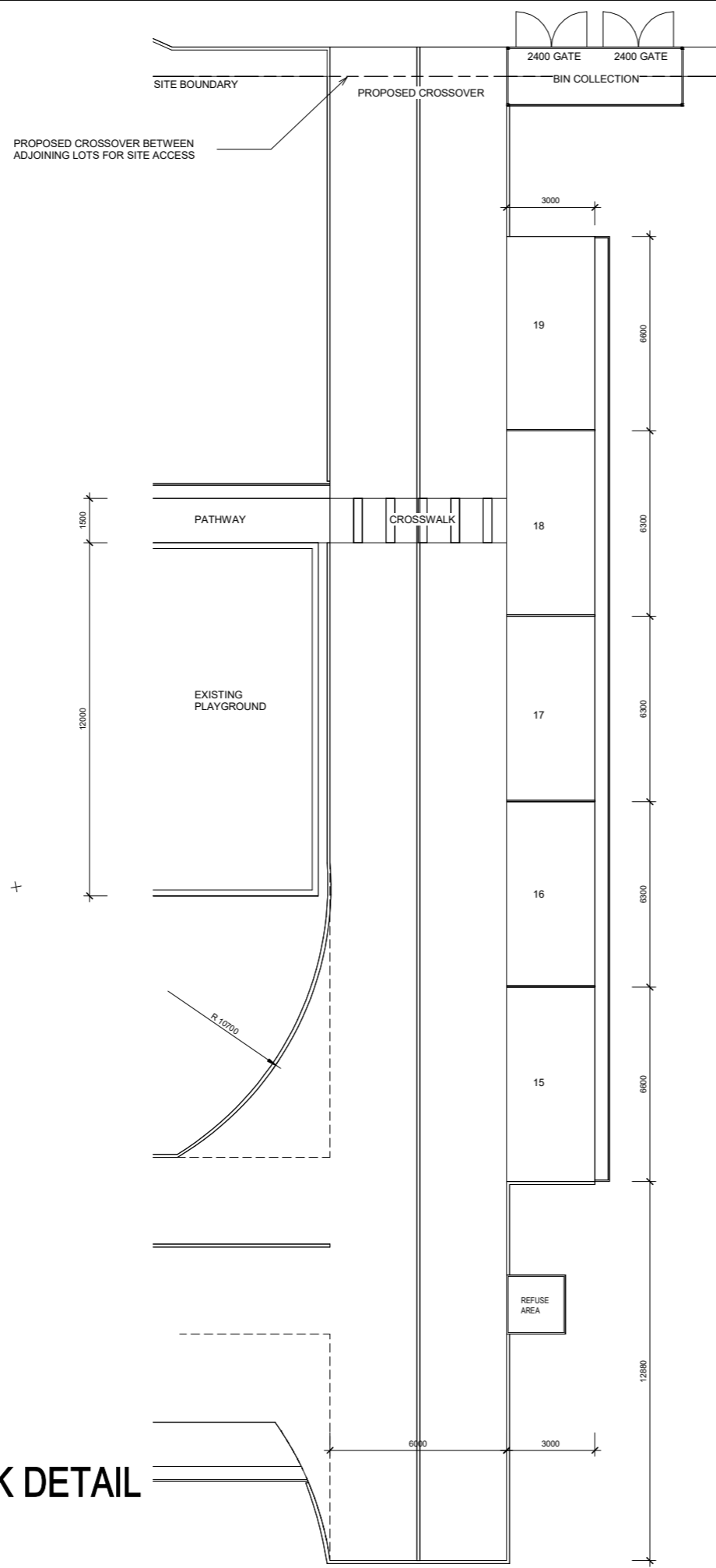
STATUS: WORKING DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:33 AM

JOB NO : 3298-25

SCOPE OF WORK:
-PROPOSED CARPARKING TO SERVICE EDUCATION ESTABLISHMENT
-NEW CROSSOVER BETWEEN EXISTING ADJOINING LOTS



CARPARK DETAIL

① 02

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

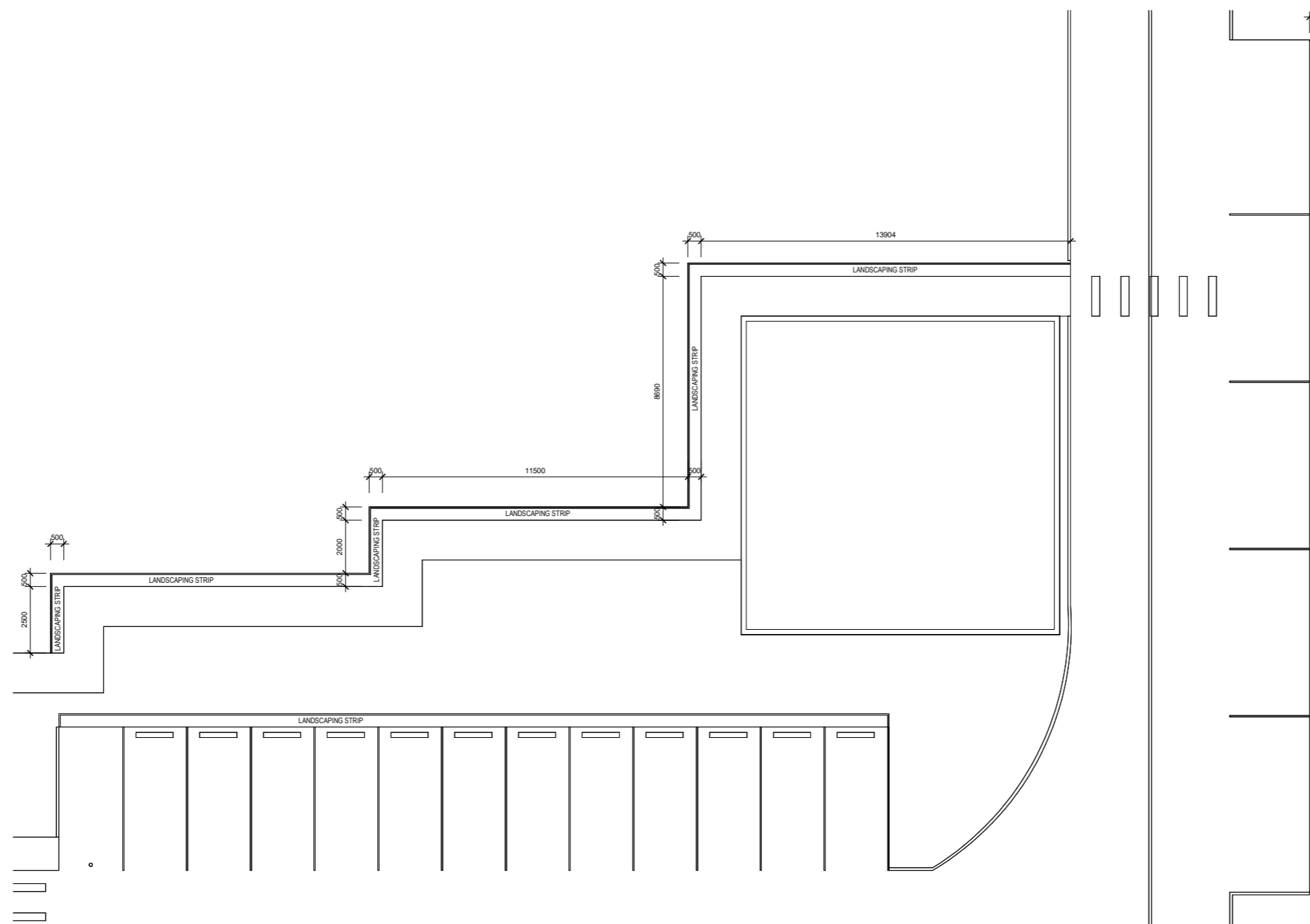
PROJECT:
EDUCATION ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
PLAYGROUND
DETAIL

ISSUE DATE: 20-11-13



1 PLAYGROUND
DETAIL

SHEET: 24 OF 27

SCALE (AT A1 SIZE): 1 : 100

STATUS: WORKING DRAWINGS

DRAWN: BZ, DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:33 AM

JOB NO : 3298-25

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:
EDUCATION
ESTABLISHMENT

CLIENT:
SINGH SABHA
BRISBANE

ADDRESS:
109-115 LEMKE ROAD,
TAIGUM

DRAWING:
SCHOOL AREA

ISSUE DATE: 20-11-13

SHEET: 25 OF 27

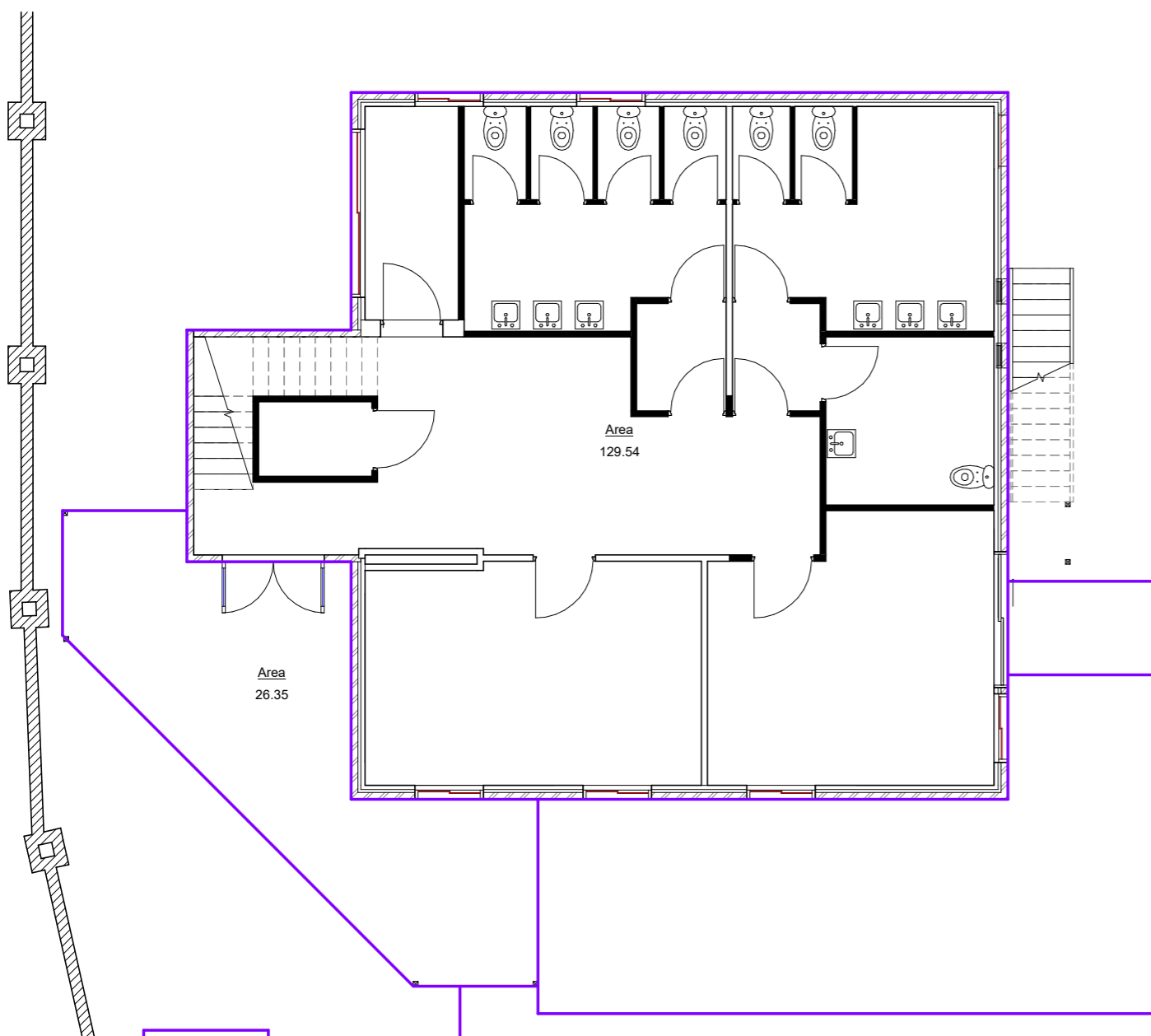
SCALE (AT A1 SIZE): 1 : 50

STATUS: WORKING
DRAWINGS

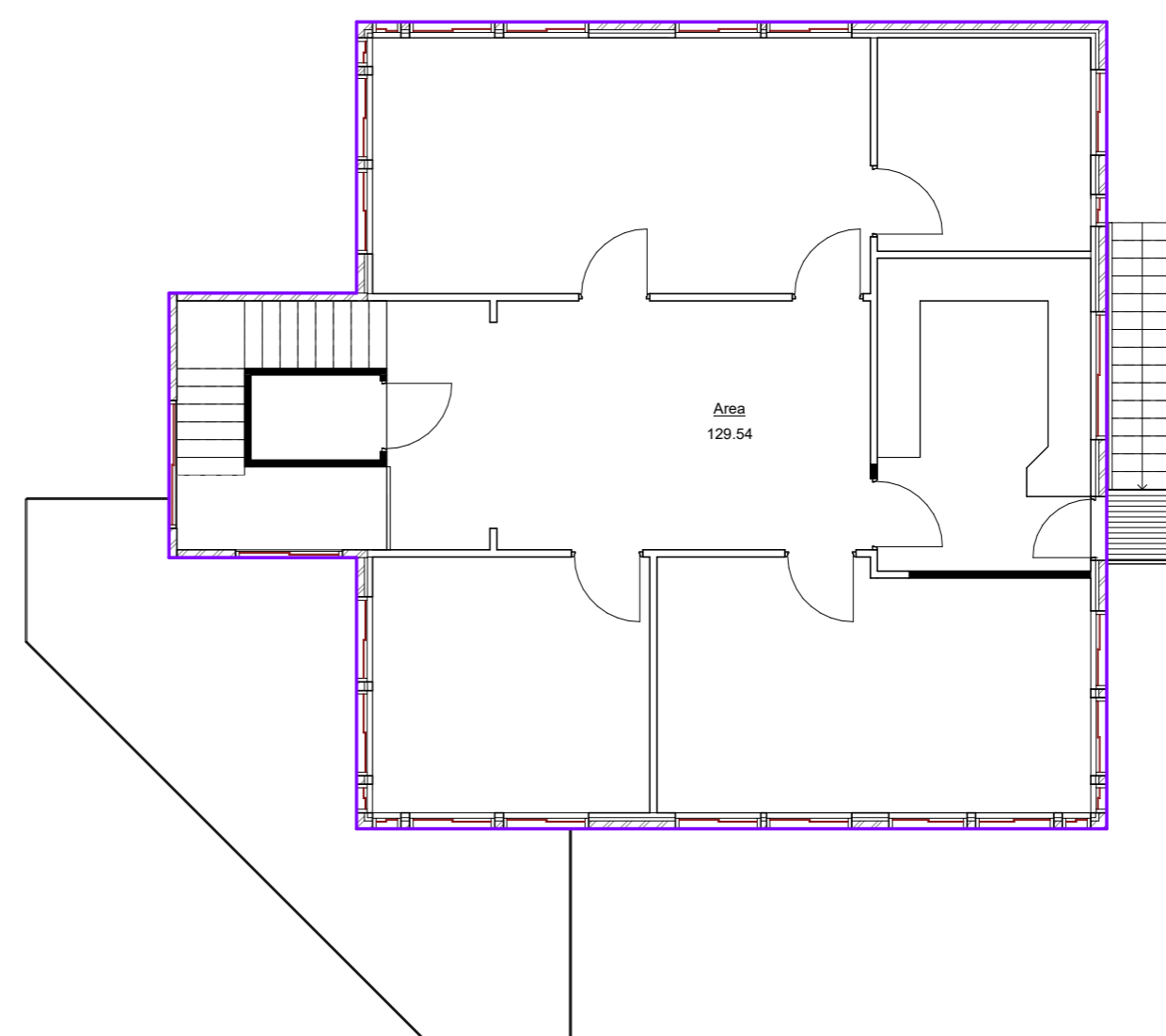
DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:33 AM

JOB NO : 3298-25



EXISTING HOUSE
① GF



EXISTING HOUSE
② FF

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

CARPARK AREA

ISSUE DATE: 20-11-13

SHEET: 26 OF 27

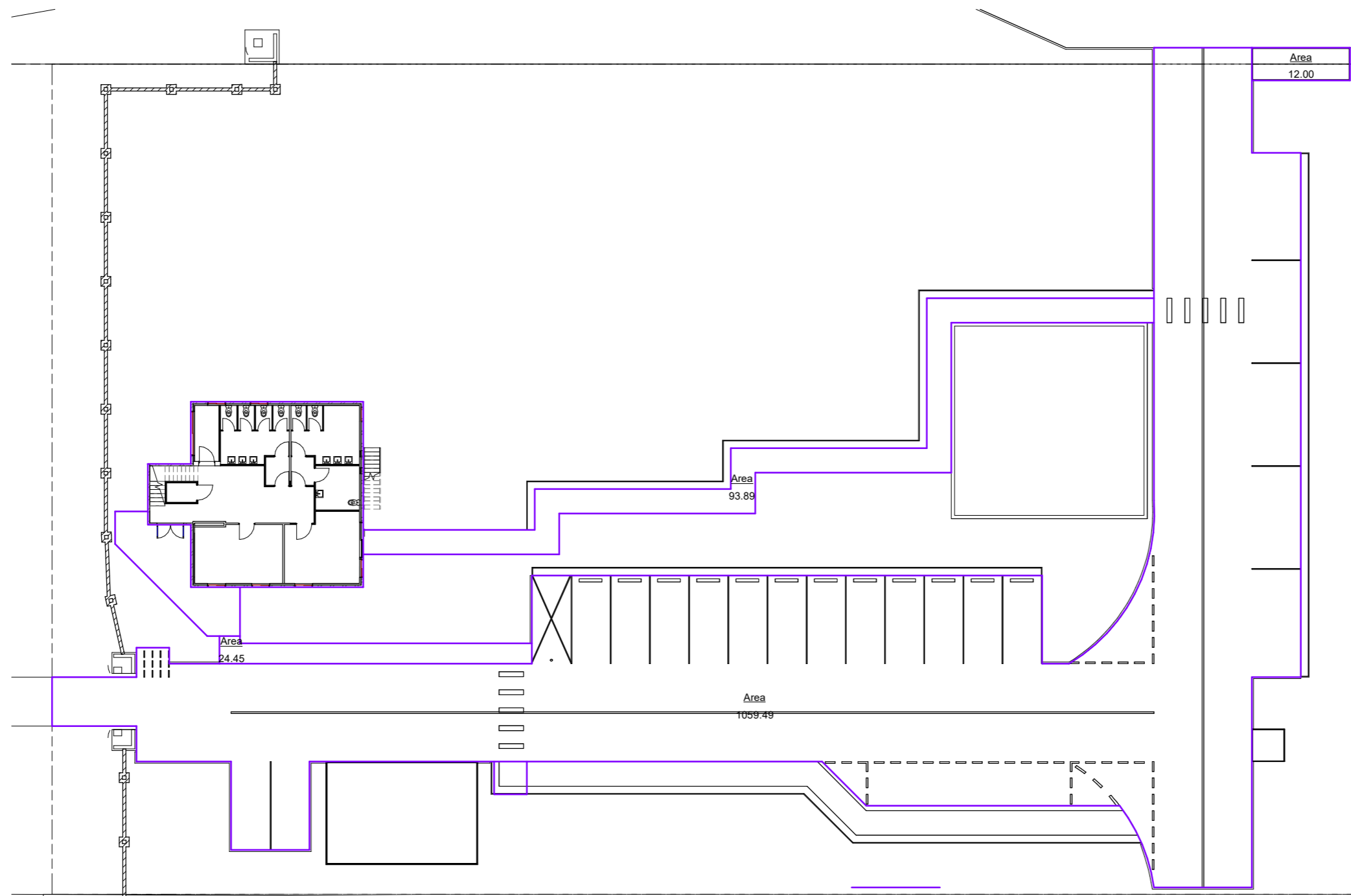
SCALE (AT A1 SIZE) 1 : 150

STATUS: WORKING DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:34 AM

JOB NO : 3298-25



1 CARPARK PLAN

1 : 150

REAL PROPERTY DESCRIPTION:

LOT 2 / LOT 1 / LOT 335

PARISH: NA
COUNTY: NA

PROJECT:

EDUCATION
ESTABLISHMENT

CLIENT:

SINGH SABHA
BRISBANE

ADDRESS:

109-115 LEMKE ROAD,
TAIGUM

DRAWING:

PRAYER ROOM
AREA

ISSUE DATE: 20-11-13

SHEET: 27 OF 27

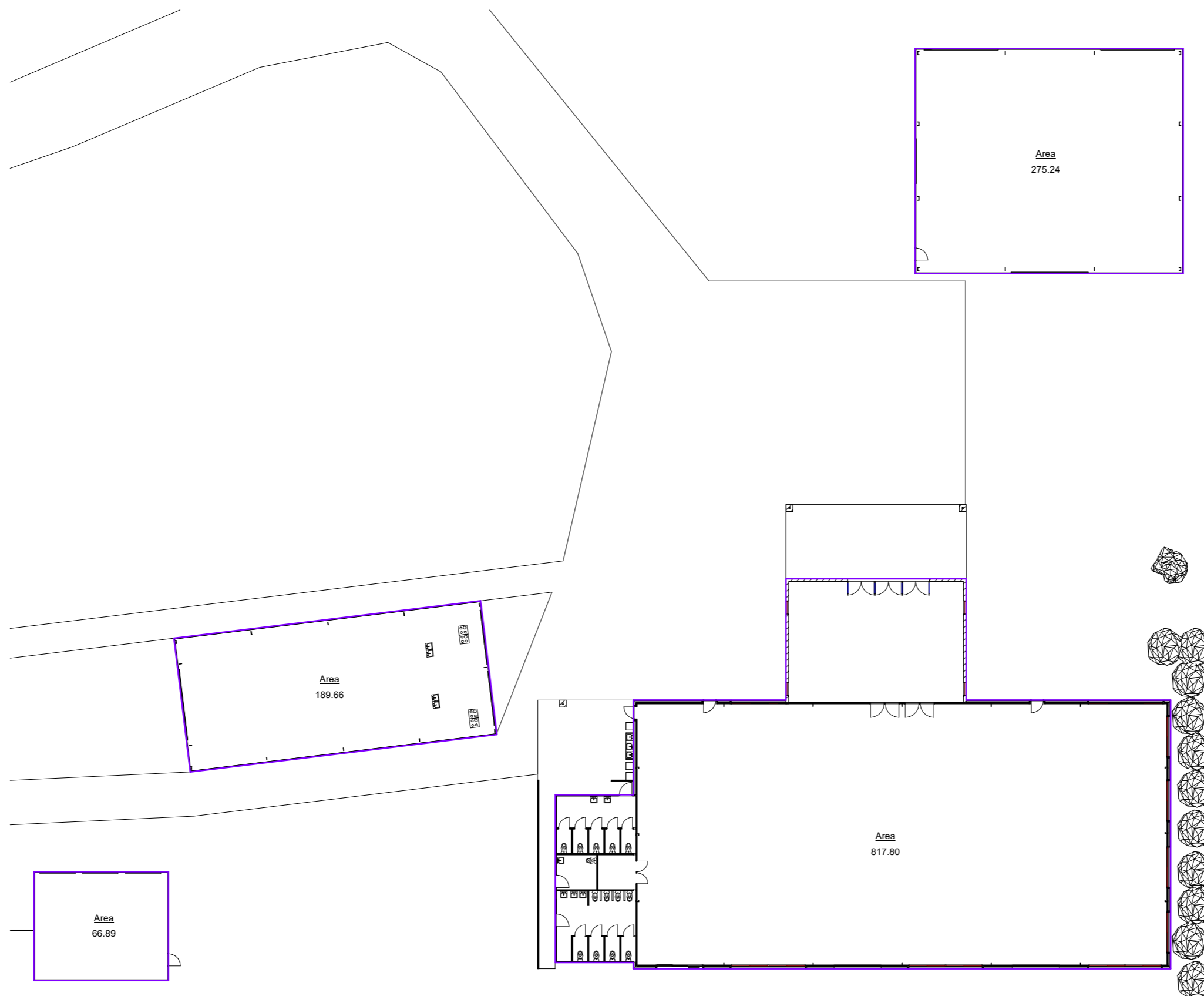
SCALE (AT A1 SIZE) 1 : 150

STATUS: WORKING
DRAWINGS

DRAWN: BZ,DZ
CHECKED: BZ

PLOT DATE: 19/12/2025 9:46:34 AM

JOB NO : 3298-25



1 PRAYER ROOM

1 : 150

APPENDIX B – APPROVED PLANS FOR 115 LEMKE ROAD

PROJECT & PHASE
PLACE OF WORSHIP
OPERATIONAL WORKS - CIVIL
CLIENT
SINGH SABHA
BRISBANE



ARCOS

SITE ADDRESS / PROPERTY ID
115 LEMKE ROAD
TAIGUM, QLD, 4018

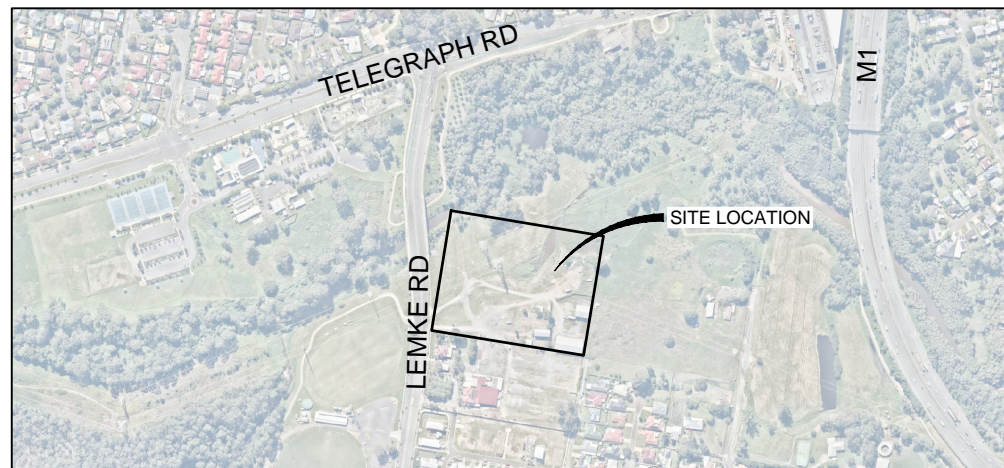


IMAGE (NEARMAP)
LOCALITY PLAN
 SCALE N.T.S

SURVEY DATA
 SURVEYED BY MINSTAFF DATED 22/11/24.
 PLAN REFERENCE B0322.3000.001

RP DESCRIPTION
 LOT 335 SP291627
 SITE AREA = 56 648m²

DEVELOPMENT APPROVAL: MCU A006291217
COUNCIL PERMIT No. OPW TBC

| Project No. | Status | Drawing No. | Rev No. |
|-------------|--------------|-------------|---------|
| 2500060 | FOR APPROVAL | OPW-C-001 | A |

DRAWING INDEX

| DRAWING No. | REV | DRAWING TITLE |
|------------------------------|--------------|--|
| 2500060-OPW-C-001 | A | COVER SHEET, LOCALITY & DRAWING INDEX |
| 2500060-OPW-C-011 | A | GENERAL NOTES & DETAILS |
| 2500060-OPW-C-101 | A | EXISTING FEATURES PLAN |
| 2500060-OPW-C-201 | A | EARTHWORKS PLAN |
| 2500060-OPW-C-211 | A | EARTHWORKS SECTIONS |
| 2500060-OPW-C-301 | A | DEVELOPMENT SITE & STORMWATER PLAN |
| 2500060-OPW-C-302 | A | PAVEMENT SETOUT PLAN |
| 2500060-OPW-C-321 | A | SITE SECTIONS & TYPICAL DETAILS |
| 2500060-OPW-C-322 | A | ROAD LONGITUDINAL SECTIONS |
| 2500060-OPW-C-371 | A | PAVEMENT JOINTING PLAN |
| 2500060-OPW-C-372 | A | PAVEMENT DETAILS |
| 2500060-OPW-C-411 | A | EXTERNAL STORMWATER CATCHMENT PLAN AND STRATEGY |
| 2500060-OPW-C-431 | A | STORMWATER LONGITUDINAL SECTIONS |
| 2500060-OPW-C-501 | A | SEWER & WATER NOTES & DETAILS |
| 2500060-OPW-C-502 | A | SEWER & WATER PLAN |
| 2500060-OPW-C-541 | A | SEWER LONGITUDINAL SECTIONS |

APPROVED PLAN
 Brisbane City Council
 28/10/2025

APPROVED PLAN ONLY REFERS TO:

- Earthworks
- Stormwater
- Roadworks
- Traffic Functional Layout
- Traffic Signals
- Construction Management Plan
- WSUD Device(s)
- Signs and Linemarking

Other: A006816896

AMENDED IN RED
 27/10/2025

BCC DS
LODGED
 16-JUL-2025
APPLICATION REF
 A006816896

User: minstaff, Project: 2500060, Drawing: 2500060-OPW-C-001, Date: 22/11/24, Time: 10:34 AM
 Location: C:\Users\minstaff\Documents\2500060-OPW-C-001\2500060-OPW-C-001.dwg

GENERAL NOTES:

- DRAWINGS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTATION, LOCAL AUTHORITY SPECIFICATIONS (OR ARCOS GROUP SPECIFICATIONS IF SUPPLIED), ANY POINT OF CONFLICT IS TO BE IDENTIFIED BY THE CONTRACTOR AND WILL BE RESOLVED BY THE SUPERINTENDENT.
- THE DEVELOPER IS TO NOMINATE THE SUPERINTENDENT AND/OR THE SUPERVISING RPEQ FOR THE WORKS AND NOTIFY ALL RELEVANT PARTIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DIMENSIONS IN METRES U.N.O. DO NOT SCALE FROM DRAWINGS. USE PRINTED DIMENSIONS ONLY AND IF IN DOUBT ASK SUPERINTENDENT FOR CLARIFICATION.
- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL APPROVAL CONDITIONS, DEVELOPMENT GUIDELINES, ASSOCIATED STANDARD DRAWINGS AND SPECIFICATIONS U.N.O.
- EXISTING SERVICES AND STRUCTURES HAVE BEEN PLOTTED FROM SUPPLIED DATA AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE CONTRACTORS RESPONSIBILITY TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY WORK. DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT.
- ON COMPLETION OF SERVICES INSTALLATION, ALL AREAS SHALL BE RESTORED TO ORIGINAL LEVEL, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AREAS, GRASSED AREAS AND ROAD PAVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO COUNCILS INFRASTRUCTURE. SUCH REPAIR OR REINSTATEMENT TO BE CARRIED OUT IMMEDIATELY TO THE SATISFACTION OF LOCAL COUNCIL.
- THE CONTRACTOR SHALL PROVIDE ALL MANAGEMENT PLANS, INCLUDING TRAFFIC MANAGEMENT PLAN, ENVIRONMENTAL MANAGEMENT PLAN AND WORKPLACE HEALTH AND SAFETY PLAN FOR REVIEW AND APPROVAL OF PRINCIPAL AND SUPERINTENDENT, PRIOR TO CONSTRUCTION.
- ALL MATERIALS SPECIFIED ARE TO BE UTILISED, UNLESS WRITTEN APPROVAL FROM THE SUPERINTENDENT, SUPERVISING RPEQ OR APPROVING AUTHORITY.
- THE CONTRACTOR IS TO UNDERTAKE ALL WORKS IN ACCORDANCE WITH ALL WORKPLACE HEALTH AND SAFETY REQUIREMENTS.
- WHERE ANY EXCAVATION OR CONSTRUCTION WORKS ARE IN CLOSE PROXIMITY TO NEIGHBOURING LOT BOUNDARIES OR INFRASTRUCTURE, THE CONTRACTOR IS TO ALLOW IN SCOPE OF WORKS TO PROVIDE ALL MEASURES NECESSARY TO ENSURE THE INTEGRITY OF EXISTING BOUNDARIES AND INFRASTRUCTURE. THIS MAY INCLUDE THE USE OF LOW VIBRATION EQUIPMENT, TRENCH SHORING ETC AS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY ALL RELEVANT AUTHORITIES AND ENSURE REQUIRED CONDITIONS HAVE BEEN MET PRIOR TO COMMENCEMENT. THE CONTRACTOR SHALL NOTIFY ARCOS GROUP PRIOR TO COMMENCING WORKS AND RECEIVE WRITTEN CONFIRMATION THAT THE WORKS CAN COMMENCE.
- CONTRACTOR SHALL PROVIDE AS CONSTRUCTED DRAWINGS FOR ALL CONSTRUCTED WORKS IN ACCORDANCE WITH COUNCIL REQUIREMENTS UNLESS OTHERWISE ADVISED BY ARCOS GROUP.
- THE CONSTRUCTION PRE-START MEETING IS AN OPPORTUNITY FOR ALL PARTIES TO DISCUSS CRITICAL ISSUES, SUCH AS:
 - KEY OBJECTIVES OF THE EROSION AND SEDIMENT CONTROL PLAN;
 - REQUIRED WATER QUALITY OBJECTIVES;
 - PERFORMANCE MONITORING AND INSPECTION PROCEDURES;
 - IDENTIFICATION OF THE RESPONSIBLE SITE OFFICERS;
 - IDENTIFICATION OF CRITICAL ENVIRONMENTAL CONCERNS;
 - REPORTING PROCEDURES FOR NON-COMPLIANCE ACTIVITIES AND EVENTS.

ENVIRONMENTAL MANAGEMENT NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL ENVIRONMENTAL PROTECTION MEASURES BEING IMPLEMENTED ON SITE PRIOR AND DURING CONSTRUCTION.
- NO VEGETATION BEYOND THE EXTENT OF EARTHWORKS OR THAT SHOWN ON THE PLANS IS TO BE UNDERTAKEN WITHOUT PRIOR CONSENT FROM THE SUPERINTENDENT.
- ALL VEGETATION BEING RETAINED ON SITE MUST BE IDENTIFIED AND PROTECTED FROM DAMAGE.
- EROSION AND SEDIMENT CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE IMPLEMENTED PRIOR TO CONSTRUCTION COMMENCING AND DURING CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE LEFT IN A STABLE CONDITION. THIS WILL INVOLVE SEEDING OR TURFING WITH APPROPRIATE GRASS SPECIES. ANY DISTURBED SLOPES SHALL BE COVERED WITH A SUITABLE FORM OF EROSION CONTROL.
- PIPELINES ADJACENT TO SIGNIFICANT TREES MUST BE INSTALLED BY BORING OR DIRECTIONAL DRILLING UNLESS OTHERWISE AGREED WITH THE SUPERINTENDENT.
- TOPSOIL AND SUBSOIL MUST BE STOCKPILED SEPARATELY AND NOT LOCATED UNDER TREE CANOPIES.
- ALL STOCKPILES MUST HAVE APPROPRIATE SEDIMENT CONTROLS IN ACCORDANCE WITH THE ENVIRONMENTAL MANAGEMENT PLAN.
- NO SOIL CAN BE STOCKPILED WITHIN 5M OF ANY CREEK OR WATER COURSE.
- ANY SOIL DISTURBED ON SITE IS TO BE REUSED ON SITE. ANY UNSUITABLE MATERIAL NOT REUSED MUST BE DISPOSED OF AT A REGULATED WASTE DISPOSAL FACILITY.

RETAINING WALL NOTES:

- RETAINING WALLS LESS THAN 1m IN HEIGHT TO BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. ALL WALLS OVER 1m IN HEIGHT, SUBJECT TO LOADING OR ADJACENT EXISTING STRUCTURES TO BE DESIGNED BY STRUCTURAL RPEQ AND REFERENCE IS MADE TO OTHERS.
- SUPPORTED MATERIAL IS TO BE NATURAL INSITU SOIL OR WELL COMPACTED FILL, CAPABLE OF STANDING UNSUPPORTED DURING CONSTRUCTION OF THE WALL
- FILL MATERIAL BEHIND WALL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 200mm DEPTH COMPACTED TO 95% MDD (AS1289) AND TO EXTEND A MINIMUM OF 2m BEYOND THE FRONT FACE OF WALL BEFORE BEING TRIMMED BACK ENSURING SOLID COMPACTION.
- 20mm SCREENINGS BACKFILL MATERIAL IS TO BE GRANULAR, FREE DRAINING AND IN A MEDIUM DENSE CONDITION.
- FOUNDATION TO BE CHECKED BY AN EXPERIENCED GEOTECHNICAL ENGINEER TO CONFIRM BEARING CAPACITY PRIOR TO PLACEMENT OF BLINDING LAYER/FIRST LAYER OF ROCK WALL.
- ALL ROCK TO BE SOUND AND NOT DISPOSED TO DETRIMENTAL WEATHERING.
- EROSION AND SEEPAGE SHALL BE CONTROLLED TO ELIMINATE CONCENTRATED FLOWS OVER OR THROUGH THE COMPLETED WORK.
- AG DRAIN TO DISCHARGE TO CONNECT TO STORMWATER AT MAX 30m CENTRES OR DIRECTED TO LAWFUL POINT OF DISCHARGE TO SATISFACTION OF COUNCIL ENGINEERS
- THE CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OFF ALL TEMPORARY WORKS INCLUDING PROPPING AND BRACING. WHERE NECESSARY THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A STRUCTURAL ENGINEER TO DESIGN AND CERTIFY TEMPORARY WORKS. TEMPORARY PROPPING DURING BACKFILLING PROCEDURES MAY BE REQUIRED.
- THIS DESIGN DOES NOT CONSIDER GLOBAL STABILITY AND IT IS THE RESPONSIBLE OF THE CONTRACTOR TO PROVIDE STABILITY REPORT AND MEASURES AGAINST SITE SLIPPAGE.

ROADWORKS & DRIVEWAY NOTES:

- COMPACT THE EXPOSED SUBGRADE OR LOOSE TOP LEVEL MATERIAL TO A MINIMUM 100% STANDARD MAXIMUM DRY DENSITY (MDD) TO AS1289. ANY 'SOFT SPOTS' IDENTIFIED BY THE PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH A COMPACTED IMPORTED GENERAL FILL MATERIAL TO THE ABOVE COMPACTION REQUIREMENTS.
- ALL EXPOSED SUBGRADE AREAS SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 150mm COMPACTED THICKNESS.
- GEOTECHNICAL INVESTIGATIONS REQUIRED IN ORDER TO DETERMINE SUBGRADE PROPERTIES & PREPARATION DETAILS. CONTRACTOR TO UNDERTAKE 4-DAY SOAKED CBR ON EXISTING SUBGRADE AND RESULTS TO BE A MINIMUM OF 5%. TESTING TO BE PROVIDED TO SUPERVISING ENGINEER PRIOR TO PROOF ROLL.
- LEVELS SHOWN ARE FINISHED SURFACE LEVELS INCLUSIVE OF TOPSOIL LAYER OR BUILDING SLAB THICKNESS.
- FINISHED SURFACES TO ALL DISTURBED AREAS ARE TO BE TREATED IN ACCORDANCE WITH LANDSCAPE DRAWINGS AND/OR TYPICAL SECTIONS.
- CONTRACTOR TO OBTAIN ROADWORKS AND FOOTPATH PERMITS FOR ANY PROPOSED WORKS EXTERNAL TO THE SITE BOUNDARY.
- SUBSOIL DRAINAGE UNDER KERBS TO BE IN ACCORDANCE WITH IPWEA STD DRG RS-140.
- ALL TEMPORARY AND FINAL BATTER SLOPES ARE TO BE INSPECTED BY AN APPROVED GEOTECHNICAL ENGINEER.

EARTHWORKS NOTES:

- ALL EXCAVATION AND FILLING SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS3798 AND IN ACCORDANCE WITH THE CURRENT LOCAL AUTHORITY AND ARCOS SPECIFICATIONS.
- ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND FULLY OPERATIONAL BEFORE COMMENCING UP-SLOPE EARTHWORKS.
- THE CONTRACTOR SHALL REMOVE ALL STRUCTURES, DEBRIS AND FENCES FROM THE SITE TO THE SATISFACTION OF THE SUPERINTENDENT.
- EXISTING SURFACE IS TO BE CLEAR OF ORGANIC MATERIAL PRIOR TO THE START OF FILLING.
- FILL IS TO BE OF GOOD QUALITY AND FREE OF UNSUITABLE MATERIAL.
- FILL TO BE PLACED IN MAXIMUM 200mm LIFTS, UNLESS APPROVED OTHERWISE BY A SUITABLY QUALIFIED CONSULTANT, AND COMPACTED TO SPECIFICATION.
- NOTWITHSTANDING THE LIMITS OF CUTTING AND FILLING SHOWN ON THE DRAWINGS, THE ACTUAL LIMITS SHALL BE DETERMINED ON SITE BY THE SUPERINTENDENT DURING CONSTRUCTION. SIMILARLY, THE FINISHED SURFACE LEVELS MAY BE ADJUSTED BY THE WRITTEN DIRECTION OF THE SUPERINTENDENT DURING CONSTRUCTION AFTER AMENDED DRAWINGS HAVE BEEN APPROVED BY COUNCIL.
- ALL AREAS SUBJECT TO EARTHWORKS ARE TO BE FREE DRAINING WITH A MINIMUM SLOPE OF 1:100 (1%).
- ALL DRAINAGE STRUCTURES ARE TO BE PRESERVED FROM THE EFFECTS OF STRUCTURAL LOADING GENERATED BY THE EARTHWORKS.
- ANY AREA DISTURBED OUTSIDE OF THE WORKS AREA SHOWN SHALL BE REHABILITATED TO A MINIMUM OF THE PRE-CONSTRUCTION CONDITIONS, AT THE CONTRACTORS EXPENSE.
- EARTHWORKS BATTERS ARE TO BE TREATED AS FOLLOWS:
 - 1:4 OR FLATTER TO BE GRASS SEEDED U.N.O
 - STEEPER THAN 1:4 TO BE MULCHED & PLANTED IN ACCORDANCE WITH THE LANDSCAPE PLANS
- TREE REMOVAL WORKS TO BE UNDERTAKEN BY A SUITABLY QUALIFIED AND INSURED CONTRACTOR. TIMBER IS TO BE REMOVED, REUSED OR RECYCLES IN AN APPROPRIATE AND A SUSTAINABLE MANNER WHERE POSSIBLE.

STORMWATER DRAINAGE NOTES:

- ALL STORMWATER DRAINAGE HAS BEEN DESIGNED AND IS TO BE CONSTRUCTED IN ACCORDANCE WITH AS3500, LOCAL COUNCIL AUTHORITY REQUIREMENTS, IPWEA AND QUDM.
- EXCAVATION, BEDDING AND BACKFILLING OF STORMWATER DRAINAGE PIPES TO BE IN ACCORDANCE WITH IPWEA STD DRG DS-030.
- ALL MANHOLES TO BE MIN 1050mm DIAMETER IN ACCORDANCE WITH IPWEA STD DRG DS-010.
- ALL GRATES & MANHOLE COVERS LOCATED WITHIN ROADWAY TO BE SOLID DUCTILE CAST IRON CLASS 'D', AND WHERE NOT LOCATED WITHIN ROADWAY TO BE CLASS 'B' U.N.O. IN ACCORDANCE WITH IPWEA STD DRG DS-019 & DS-020.
- ALL GULLY PITS TO BE LIP IN LIL (L.L.I) U.N.O IN ACCORDANCE WITH IPWEA STD DRG DS-063.
- ALL FIELD INLETS TO BE IN ACCORDANCE WITH IPWEA STD DRG DS-050.
- ALL REINFORCED CONCRETE PIPES ARE TO BE INSTALLED USING TYPE 'HS2' SUPPORT U.N.O AS DEFINED IN AS3725 - LOADS ON BURIED CONCRETE PIPES. IF ALTERNATIVE BEDDING METHODS ARE TO BE USED THE PIPE CLASS MUST BE REVIEWED.
- ALL PIPES ABOVE 3000 RCP TO BE RRJ CLASS 3 U.N.O. PIPES 3000 AND BELOW TO BE UPVC U.N.O. HDPE/PP MAY BE USED AS AN RCP ALTERNATIVE FOR INTERNAL AND COUNCIL STORMWATER WHERE APPROVED BY THE SUPERVISING ENGINEER AND COUNCIL WHERE REQUIRED.
- STORMWATER PIPE CLASSES HAVE BEEN DESIGNED FOR SERVICE LOADS ONLY. THE CONTRACTOR SHALL ASSESS ANTICIPATED CONSTRUCTION LOADS AND UPGRADE THE PIPE CLASSES, IF NECESSARY, IN ACCORDANCE WITH AS3725, AT THE CONTRACTORS COST.
- UNLESS DIRECTED OTHERWISE STORMWATER STRUCTURES INCLUDING HEADWALLS ARE TO HAVE AG-PIPE DRAINAGE STUBS (WITH END CAP) TO DEWATER DRAINAGE TRENCH.
- THE CONTRACTOR IS TO CONSIDER CONSTRUCTION LOADING ON EXISTING AND NEW STORMWATER PIPES AND STRUCTURES.
- ALL PIPE PENETRATIONS WILL BE NEATLY MORTARED ON THE INSIDE FACE OF MANHOLES/PITS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL TRENCH EXCAVATION AND CONSTRUCTION IS IN ACCORDANCE WITH CURRENT CONSTRUCTION SAFETY ACT AND WORKPLACE HEALTH AND SAFETY LEGISLATION.
- THE CONTRACTOR IS TO TAKE ALL POSSIBLE MEASURES TO ENSURE PROPER COMPACTION TO BACKFILLING OF TRENCHES AND STRUCTURES.
- THE CONTRACTOR SHALL DEMONSTRATE NO DAMAGE TO EXISTING STORMWATER INFRASTRUCTURE HAS OCCURRED DURING THE CONSTRUCTION OF THESE WORKS.
- UPON COMPLETION, ALL STORMWATER DRAINAGE INFRASTRUCTURE WILL BE CLEAR OF DEBRIS AND OTHER BLOCKAGES. THE CONTRACTOR IS TO PROVIDE A CCTV SURVEY OF ALL NEWLY CONSTRUCTED STORMWATER ASSETS FOR APPROVAL BY THE ENGINEER AND/OR LOCAL AUTHORITY.
- ALL DEFECTS IDENTIFIED BY THE CCTV SURVEY WILL BE REPAIRED TO A SATISFACTORY STANDARD BY THE CONTRACTOR. PAYMENT FOR THESE REPAIRS WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, UNLESS IT CAN BE DEMONSTRATED THAT THE IDENTIFIED DAMAGE WAS PRE-EXISTING AND THE RESPONSIBILITY OF OTHER PARTIES.
- INTERNAL DRAINAGE CONNECTIONS TO KERB AND CHANNEL IN ACCORDANCE WITH IPWEA STD DRG RS-081.

SIGNAGE & LINEMARKING NOTES:

- ALL LINEMARKING, SIGNAGE AND R.P.P.M.'s SHALL BE IN ACCORDANCE WITH AS1742 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES' (MUTCD).
- ALL CARPARK LINEMARKING TO BE IN ACCORDANCE WITH THE DIMENSIONAL/SPECIFICATION REQUIREMENTS OF AS2890. PEOPLE WITH DISABILITY (PWD) CARPARK LINEMARKING TO AS2890.6 (YELLOW CHEVRON AND OUTLINE, YELLOW BOLLARD, BLUE SYMBOL)
- ALL LINEMARKING ON AC PAVEMENTS SHALL BE WHITE, TYPE 1 ROAD MARKING PAINT 80-100mm WIDE U.N.O, REFER MRTS45.
- ALL LINEMARKING ON CONCRETE PAVEMENTS SHALL BE GOLDEN YELLOW COLOUR NO. Y14 AS 2700 AND 80-100mm WIDE U.N.O.
- ALL REDUNDANT PAVEMENT MARKING SHALL BE REMOVED VIA ABRASIVE BLASTING IN ACCORDANCE WITH THE REQUIREMENTS REFER MRTS45.
- ALL WHEEL STOP SETOUT TO BE IN ACCORDANCE WITH AS2890.1
- ALL SIGNS TO BE REFLECTORISED AND CLASS 1 TO AS1743 U.N.O
- SIGNS ARE TO BE INSTALLED WITH THE FOLLOWING CLEARANCES TO EDGE SIGN:
 - NO KERB = 600mm BEHIND GUIDE POSTS
 - BARRIER KERB = 300mm FROM FACE OF KERB
 - MOUNTABLE KERB = 500mm FROM FACE OF KERB
- A FLEXIBLE STRIKER BAR SHALL BE PROVIDED IN CONJUNCTION WITH SIGNAGE WHERE CLEARANCE LESS THAN 2.3m OCCURS.

REINFORCED CONCRETE NOTES:

- GENERAL**
- CONCRETE SHALL BE IN ACCORDANCE WITH AUSTRALIAN STANDARD SPECIFICATIONS
- AS 3600 - 'SAA CONCRETE STRUCTURES CODE'.
- IN ADDITION TO THE ABOVE CODE THE FOLLOWING AUSTRALIAN STANDARD SPECIFICATIONS AND CODES OR THEIR LATEST REVISION SHALL APPLY:
- AS1012 PARTS 1-19 - METHODS FOR THE TESTING OF CONCRETE (METRIC UNITS)
 - AS3583.1,2,3,8 - METHODS OF TEST FOR SUPPLEMENTARY CEMENTITIOUS MATERIALS FOR USE WITH PORTLAND CEMENT
 - AS3582.1 - SUPPLEMENTARY CEMENTITIOUS MATERIALS FOR USE WITH PORTLAND CEMENT- FLY ASH
 - AS1141 - METHODS FOR SAMPLING AND TESTING AGGREGATES
 - AS1302 - STEEL REINFORCING BARS FOR CONCRETE
 - AS1303 - HARD DRAWN STEEL REINFORCING WIRE FOR CONCRETE
 - AS1304 - HARD DRAWN STEEL WIRE REINFORCING FABRIC FOR CONCRETE
 - AS3972 - PORTLAND AND BLENDED CEMENTS
 - AS1379 - READY-MIXED CONCRETE (METRIC UNITS)
 - AS2758 - CONCRETE AGGREGATES
 - AS1478, AS1479 - CODE OF PRACTICE FOR USE OF CHEMICAL ADMIXTURES IN CONCRETE
 - AS3610 - FORMWORK FOR CONCRETE

SUPPLY

- ALL CONCRETE IS TO BE SUPPLIED BY A LICENSED READY MIXED CONCRETE MANUFACTURER. NO ON SITE BATCHING IS ACCEPTABLE.
- MANUFACTURERS MUST HAVE AN APPROVED AND CERTIFIED QUALITY ASSURANCE PROGRAM IN PLACE AND BE APPROVED BY THE ENGINEER PRIOR TO SUPPLY OF ANY CONCRETE.
- ALL MATERIALS, STORAGE, BATCHING, ETC TO CONFORM TO THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARDS.
- ALL CONCRETE TO BE NORMAL-CLASS IN ACCORDANCE WITH AS3600 UNLESS NOTED OTHERWISE.
- ALL CONCRETE SHALL HAVE A SHRINKAGE STRAIN NOT EXCEEDING 600 MICROSTRAIN.
- ALL CONCRETE IS SPECIFIED BY 28 DAY COMPRESSIVE STRENGTH U.N.O.
- ALL REINFORCEMENT TO BE SUPPLIED BY A REGISTERED MANUFACTURER WITH AN APPROVED AND CERTIFIED QUALITY
- ASSURANCE PROGRAM IN PLACE. ALL REINFORCEMENT IS TO COMPLY WITH THE REQUIREMENTS OF AS1302, AS1303 AND AS1304 AS APPLICABLE.
- ALL REINFORCEMENT IS TO BE DELIVERED TO SITE FREE FROM OIL, GREASE OR OTHER SURFACE COATINGS WHICH MAY IMPAIR BOND TO CONCRETE.
- ALL REINFORCEMENT TO BE 500 MPA MINIMUM YIELD U.N.O.

FORMWORK

- ALL CONCRETE OTHER THAN CAST AGAINST GROUND, SHALL BE PLACED AGAINST TIMBER, PLYWOOD OR STEEL FORMS.
- ALL FORMWORK SHALL COMPLY WITH THE REQUIREMENTS OF AS1509 AND AS1510.
- REFER ARCHITECT'S DRAWINGS FOR REQUIRED FORMWORK CLASS WHERE APPLICABLE. CLASS B FORMWORK SHALL BE ADOPTED U.N.O.
- ALL TEMPORARY FORMWORK, FALSEWORK, PROPPING, BRACING, TO BE DESIGNED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER (RPEQ) PRIOR TO ERECTION.
- ALL REINFORCEMENT TO BE SUPPORTED OFF FORMS WITH PLASTIC OR PLASTIC TIPPED WIRE CHAIRS TO PROVIDE THE SPECIFIED COVER. ALL CONCRETE CAST AGAINST GROUND TO BE UNDERLAIN BY WATERPROOF MEMBRANE.

TRANSPORT

- ALL CONCRETE IS TO BE TRANSPORTED TO SITE IN AGITATOR TRUCKS. CONCRETE NOT PLACED WITHIN ONE HOUR AFTER BATCHING MAY BE REJECTED AT THE ENGINEER'S DISCRETION

PLACEMENT, COMPACTION AND FINISHING

- CONCRETE TO BE PLACED IN FORMS BY HORIZONTAL 'CHUTING' NO MORE THAN 3m³. CONCRETE PUMPING OR KIBBLING, UNDER NO CIRCUMSTANCES SHALL CONCRETE BE INDUCED TO FLOW HORIZONTALLY BY USE OF VIBRATORS.
- ALL CONCRETE SHALL BE PLACED CONTINUOUSLY BETWEEN CONSTRUCTION JOINTS AS DETAILED, IN SUCH A MANNER AS TO AVOID 'COLD JOINTS'. CONSTRUCTION JOINTS SHALL BE LOCATED AS DETAILED ON DRAWINGS OR AS INSTRUCTED IN WRITING BY THE ENGINEER.
- ALL CONCRETE IS TO BE COMPACTED UPON PLACEMENT USING 50MM DIAMETER VIBRATORS.
- SLABS AND BEAMS ARE TO HAVE A FILM OF APPROVED ALIPHATIC ALCOHOL APPLIED TO THE SURFACE, DIRECTLY AFTER SCREEDING, PRIOR TO FLOATING, REGARDLESS OF WEATHER CONDITIONS.
- ADDITIONAL PROTECTIVE MEASURES SUCH AS CHILLED MIX WATER, SHADING PLACEMENT AREAS, WIND BREAKS, ETC MAY BE REQUIRED BY THE ENGINEER IF PLACING CONCRETE DURING UNUSUALLY HOT, DRY OR WINDY CONDITIONS.
- ALL CONCRETE SLABS SHALL BE STEEL TROWEL FINISHED U.N.O.
- BROOM FINISHING, WHERE SPECIFIED, SHALL BE CARRIED OUT AFTER STEEL TROWEL FINISHING.
- ALL CONCRETE TO BE ORDERED AND PLACED AT 80MM SLUMP U.N.O.
- NO WATER TO BE ADDED ON SITE UNLESS APPROVED BY THE ENGINEER.

TESTING

- ALL CONCRETE TESTING IS TO BE CARRIED OUT BY A NATA REGISTERED LABORATORY, IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF AS1012.
- THE FOLLOWING TESTING SCHEDULE IS TO BE ADOPTED IN ADDITION TO THE REQUIREMENTS OF THE MANUFACTURER'S QUALITY ASSURANCE PROGRAM:
 - A MINIMUM OF ONE TEST (3 CYLINDERS) TO BE TAKEN FROM EACH ELEMENT CAST ON ANY GIVEN DAY (EG. COLUMNS, FOOTINGS, ETC)
 - A MINIMUM OF ONE TEST (3 CYLINDERS) TO BE TAKEN FROM EACH CONCRETE STRENGTH GRADE CAST ON ANY GIVEN DAY.
 - A MINIMUM OF ONE TEST (3 CYLINDERS) TO BE TAKEN FROM EACH 50M³ OR PART THEREOF CAST ON A GIVEN DAY FOR EACH STRENGTH GRADE.
- ALL SAMPLES ARE TO BE TAKEN FROM THE AGITATOR, ON SITE. IF WATER IS ADDED ON SITE, WITH THE ENGINEER'S PERMISSION, SAMPLES FOR TESTING SHALL BE TAKEN AFTER THE ADDITION OF WATER.

CURING

- ALL CONCRETE IS TO BE CURED BY AN APPROVED METHOD FOR A MINIMUM OF 28 DAYS AFTER FINISHING. CURING METHOD IS TO BE APPROVED BY THE ENGINEER PRIOR TO CONCRETE PLACEMENT AND SHALL GENERALLY CONSIST OF ONE OR A COMBINATION OF THE FOLLOWING METHODS:
 - CONTINUOUS WATER PONDING.
 - COMPLETE ENCASEMENT IN A WATERPROOF FILM (EG. POLYTHENE).
 - APPLICATION OF AN APPROVED CURING COMPOUND.



WARNING
BEWARE OF UNDERGROUND SERVICES

POSITION OF EXISTING UNDERGROUND SERVICES SHOWN IS APPROXIMATE ONLY. EXACT POSITION SHALL BE PROVEN ON SITE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION

LOCATION OF SERVICES

PRIOR TO COMMENCEMENT OF NEW WORK THE CONTRACTOR SHALL CONFIRM LOCATIONS, LEVELS AND DETAILS OF EXISTING CONNECTION POINTS AND SERVICE CROSSINGS BY POT HOLLING. IF A VARIATION OCCURS CONTACT THE ENGINEER PRIOR TO CONSTRUCTION.

PROTECTION OF SERVICES

THE CONTRACTOR SHALL CONTACT THE RELEVANT AUTHORITIES AND ARRANGE FOR RELOCATION AND / OR PROTECTION OF EXISTING SERVICES AS REQUIRED TO SUIT SURROUNDING NEW WORK, CONSTRUCTION LOADINGS AND TO SUIT FINAL FINISHED SURFACE LEVELS AND GRADES.

SETTING OUT

DESIGN FINISHED SURFACE LEVELS OF STRUCTURES ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. ACTUAL FINISHED LEVELS SHALL BE SET OUT AS DIRECTED ON-SITE IN KEEPING WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL AUTHORITY AND ACTUAL FINISHED GROUND LEVELS.

INSPECTIONS & HOLD POINTS

THE FOLLOWING INSPECTIONS AND HOLD POINTS ARE REQUIRED FOR THESE WORKS:

- CONSTRUCTION PRE-START MEETING (AS REQUIRED)
- SET OUT (AS REQUIRED)
- SUBGRADE PROOF-ROLLS
- CONCRETE PRE-POURS
- STORMWATER
- PRE SEAL
- FINAL INSPECTION
- ON MAINTENANCE (AS REQUIRED)

THE CONTRACTOR IS TO PROVIDE ARCOS WITH MINIMUM 48hrs NOTICE PRIOR TO ALL INSPECTIONS

APPROVED PLAN
Brisbane City Council
28/10/2025

APPROVED PLAN ONLY REFERS TO:

- Earthworks
- Stormwater
- Roadworks
- Traffic Functional Layout
- Traffic Signals
- Construction Management Plan
- WSUD Device(s)
- Signs and Linemarking

Other: A006816896

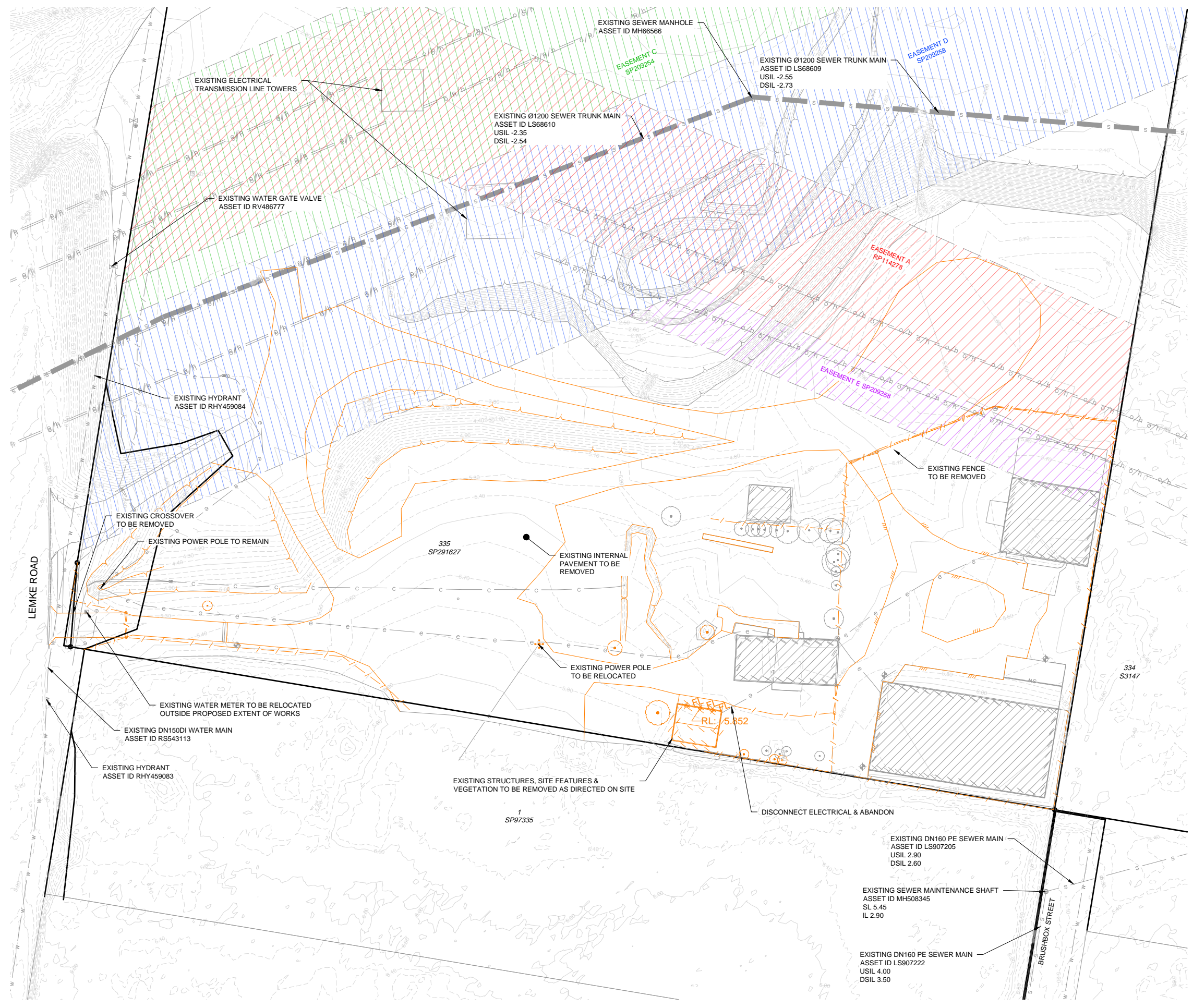
BCC DS
LODGED

16-JUL-2025

APPLICATION REF
A006816896

| | | | | | | | | | | | | | | | |
|----------------------|------|----------|----|-------------|-------|--------------------|----------------------|------------|---|----------|---------------|-------------------------|--------------|-------------|---------|
| | | | | North Point | Scale | Horiz. Datum LOCAL | Client | Consultant | Project | Drawn | JCL | Drawing | Project No. | Drawing No. | Rev No. |
| | | | | | | Vert. Datum AHD | SINGH SABHA BRISBANE | | PLACE OF WORSHIP OPERATIONAL WORKS - CIVIL 115 LEMKE ROAD TAIGUM, QLD, 4018 | Design | JCL | GENERAL NOTES & DETAILS | 2500060 | OPW-C-011 | A |
| | | | | | | RL Datum | | | | Check | AK | | | | |
| A FOR APPROVAL | | 9.07.25 | AK | | | | | | | Approved | ANDREW KEEGAN | Approved Date | 09.07.26 | Signed | |
| Revision Description | Date | Approved | | | | | | | | RPEQ | 29489 | Status | FOR APPROVAL | Sheet Size | A1 |

Last saved by: ANDREW KEEGAN (20250709 10:51:00 AM) - User: Andrew Keegan (20250709 10:51:00 AM)
 Filename: C:\Users\andrew.kee\Documents\ARCOS\2500060\OPW-C-011\Drawings\GENERAL NOTES & DETAILS.dwg



EXISTING LEGEND

| | |
|---------------|---------------------------|
| --- | SUBJECT PROPERTY BOUNDARY |
| --- | 4.00 MAJOR CONTOUR |
| --- | MINOR CONTOUR |
| s | SEWER MAIN |
| w | WATER MAIN |
| t | UG TELECOMMS |
| o/h | O/H ELECTRICITY |
| sw | STORMWATER |
| --- | FENCE |
| --- | TO BE REMOVED |
| [Hatched Box] | BUILDING |

NOTES:
 1. FOR GENERAL NOTES REFER DRG C-011.

APPROVED PLAN
 Brisbane City Council
 28/10/2025

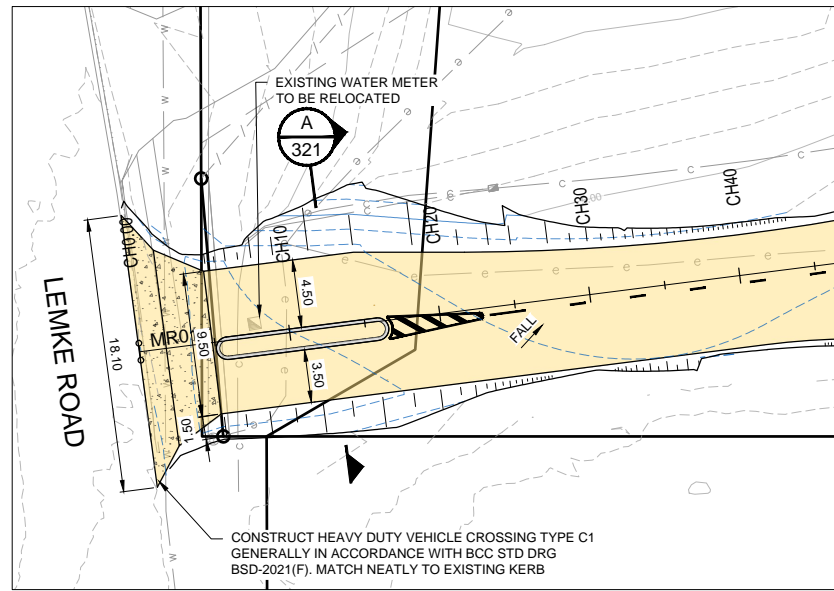
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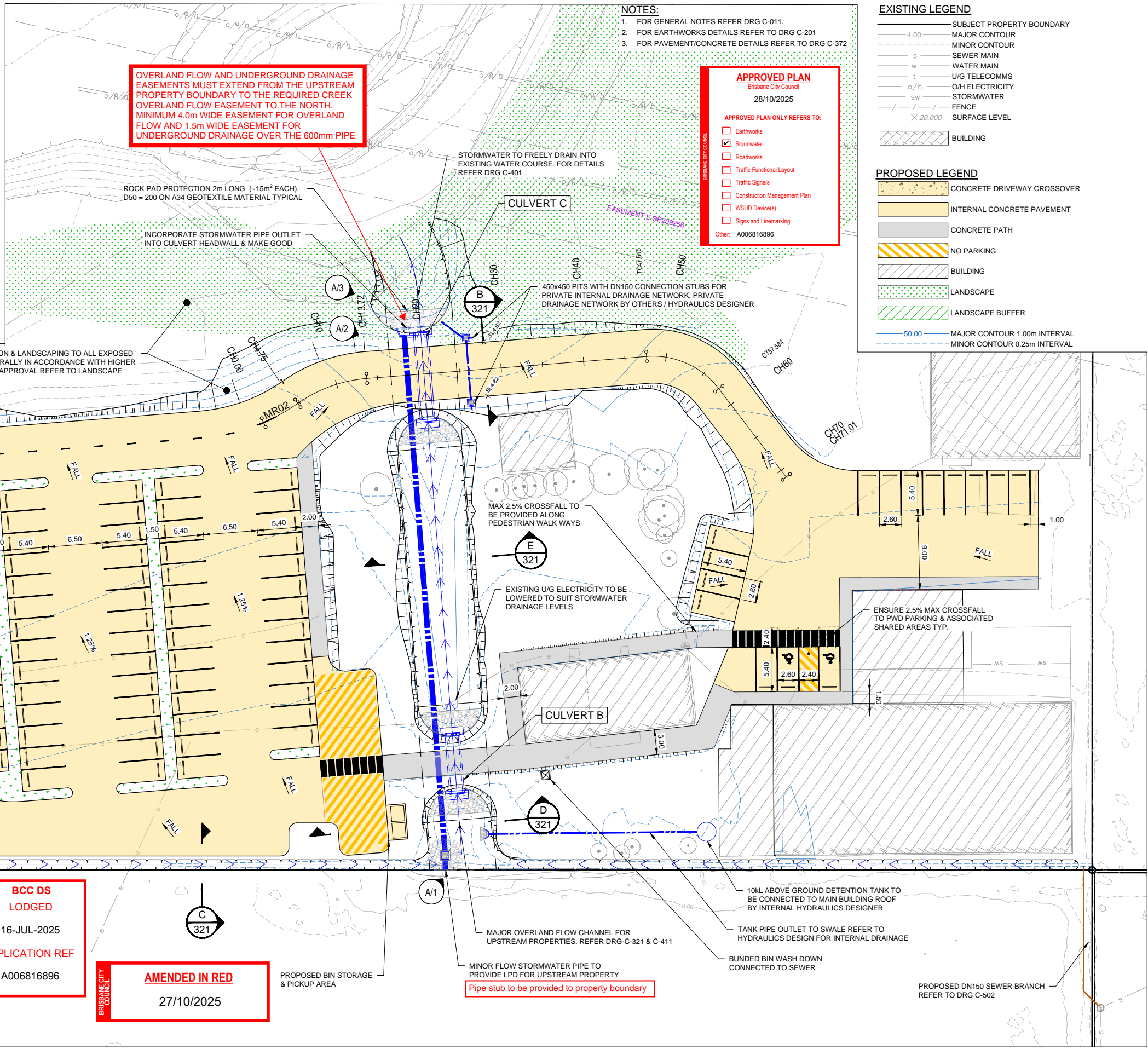
Other: A006816896

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LODGED
 16-JUL-2025
APPLICATION REF
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| | North Point | Scale 0m 10 20 At 1:400 | Horiz. Datum LOCAL Vert. Datum AHD RL Datum | Client SINGH SABHA BRISBANE | CONSULTANT ARCOS <small>CIVIL STRUCTURAL GEOTECHNICAL SUNSHINE COAST BRISBANE GOLD COAST www.arcosgroup.com.au ABN 51 640 311 842</small> | Project PLACE OF WORSHIP OPERATIONAL WORKS - CIVIL 115 LEMKE ROAD TAIGUM, QLD, 4018 | Drawn JCL Design JCL Check AK Approved ANDREW KEEGAN <small>RPEQ 29469</small> | Drawing EXISTING FEATURES PLAN Approved Date 09.07.27 Signed | Project No. 2500060 Drawing No. OPW-C-101 Status FOR APPROVAL | Rev No. A Sheet Size A1 | | | | | | | | | |
|---|-----------------|-----------------------------------|---|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 80%;">Rev</th> <th style="width: 10%;">Description</th> <th style="width: 5%;">Date</th> <th style="width: 5%;">Approved</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>FOR APPROVAL</td> <td>9.07.25</td> <td>AK</td> </tr> </tbody> </table> | Rev | Description | Date | Approved | A | FOR APPROVAL | 9.07.25 | AK | | | | | | | | | | | |
| Rev | Description | Date | Approved | | | | | | | | | | | | | | | | |
| A | FOR APPROVAL | 9.07.25 | AK | | | | | | | | | | | | | | | | |



INSET



NOTES:
 1. FOR GENERAL NOTES REFER DRG C-011.
 2. FOR EARTHWORKS DETAILS REFER TO DRG C-201
 3. FOR PAVEMENT/CONCRETE DETAILS REFER TO DRG C-372

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 Signs and Linemarking
 Other: A006816896

EXISTING LEGEND

- 4.00 — SUBJECT PROPERTY BOUNDARY
- MAJOR CONTOUR
- - - MINOR CONTOUR
- s SEWER MAIN
- w WATER MAIN
- t U/G TELECOMMS
- o/h O/H ELECTRICITY
- sw STORMWATER
- - - FENCE
- × 20.000 SURFACE LEVEL

PROPOSED LEGEND

- CONCRETE DRIVEWAY CROSSOVER
- INTERNAL CONCRETE PAVEMENT
- CONCRETE PATH
- NO PARKING
- BUILDING
- LANDSCAPE
- LANDSCAPE BUFFER
- 50.00 MAJOR CONTOUR 1.00m INTERVAL
- MINOR CONTOUR 0.25m INTERVAL

REPAIR DAMAGE TO COUNCIL INFRASTRUCTURE
 If at any time during the construction phase of the approved development, damage to the existing kerb and channel, footpath or roadway creates unsafe, unreasonable and/or not fit for purpose conditions as assessed by Council, the contractor is to carry out repairs as directed by Asset Services.

ADDITIONAL BCC PERMITS
 This approval does not include road and footpath permits.
 Obtain all required BCC permits and certificates, including those for development permit conditions, temporary lane/road closures, road occupancy, work zones, footpath diversions and working on council property.

NEIGHBOURING PROPERTY CONSENT
 This approval does not authorise or give permission to enter onto, under or over any neighbouring private properties to survey or carry out any works without any prior consultation or without the prior consent of the relevant land or property owner(s).
 (This includes but is not limited to any works for: built to boundary walls; any construction (eg. retaining walls) within neighbouring buildings structural zones, boundary fences, temporary rock anchoring; or crane over-sail.)

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 16-JUL-2025
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AMENDED IN RED
 27/10/2025

PROPOSED BIN STORAGE & PICKUP AREA

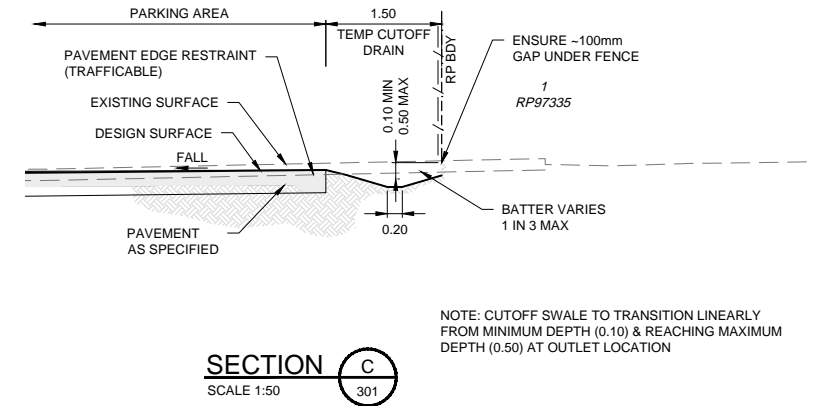
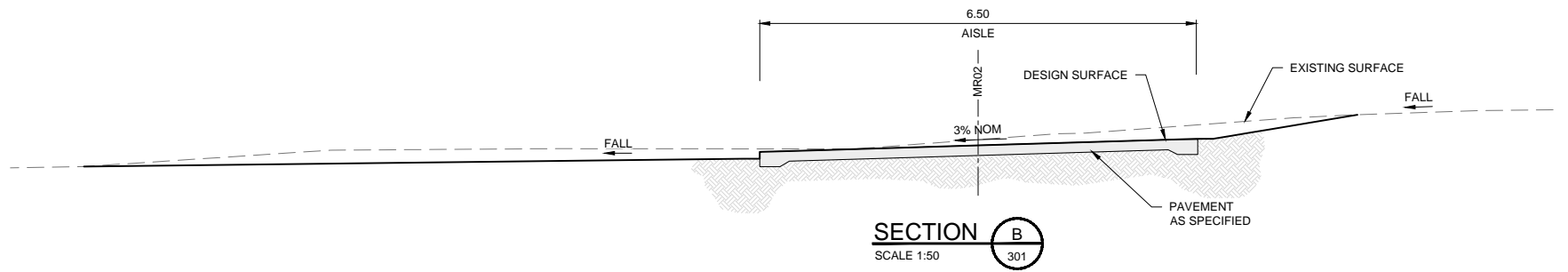
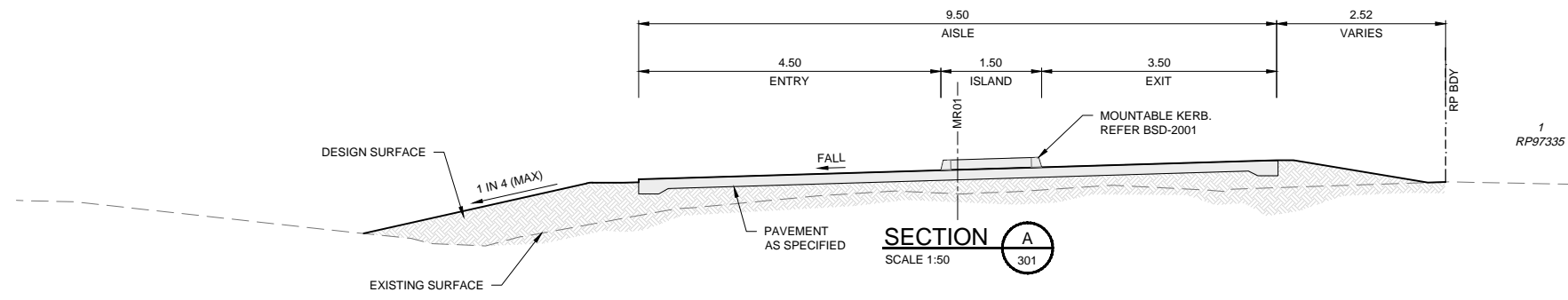
MAJOR OVERLAND FLOW CHANNEL FOR UPSTREAM PROPERTIES. REFER DRG-C-321 & C-411
 MINOR FLOW STORMWATER PIPE TO PROVIDE LPD FOR UPSTREAM PROPERTY
 Pipe stub to be provided to property boundary

10kL ABOVE GROUND DETENTION TANK TO BE CONNECTED TO MAIN BUILDING ROOF BY INTERNAL HYDRAULICS DESIGNER
 TANK PIPE OUTLET TO SWALE REFER TO HYDRAULICS DESIGN FOR INTERNAL DRAINAGE

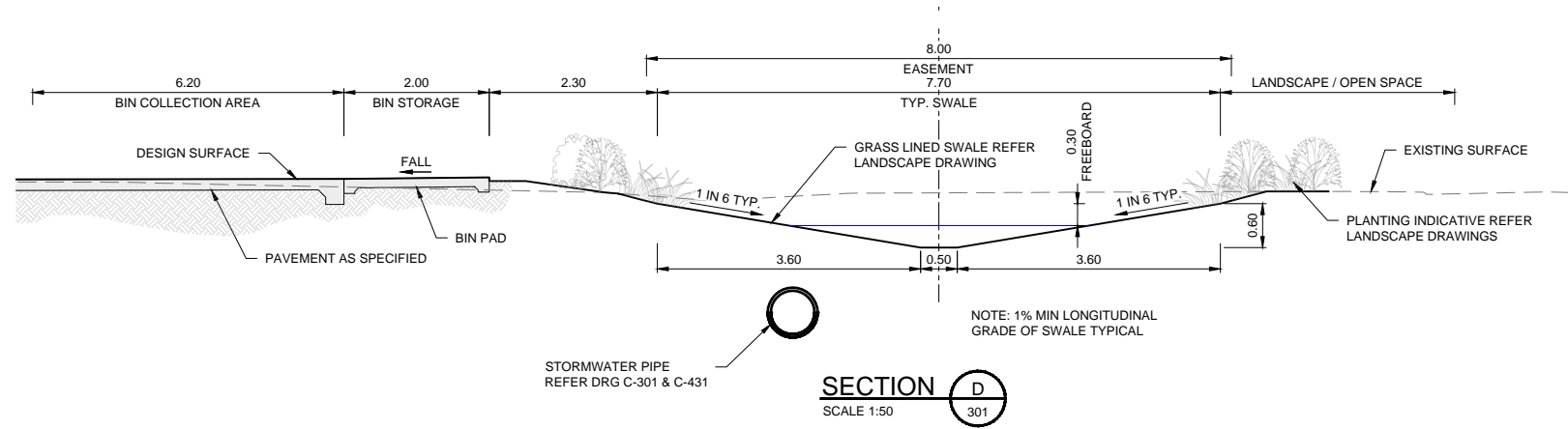
BUNDED BIN WASH DOWN CONNECTED TO SEWER

PROPOSED DN150 SEWER BRANCH REFER TO DRG C-502

| | | | | | | | | | | | | | |
|----------------|--|---------|--------------------|----------------------|------------|---|-------|--------|-------|---------------|--------------|-------------|---------|
| North Point | | Scale | Horiz. Datum LOCAL | Client | Consultant | Project | Drawn | Design | Check | Approved | Project No. | Drawing No. | Rev No. |
| | | | LOCAL | SINGH SABHA BRISBANE | ARCOS | PLACE OF WORSHIP OPERATIONAL WORKS - CIVIL 115 LEMKE ROAD TAIGUM, QLD, 4018 | JCL | JCL | AK | ANDREW KEEGAN | 2500060 | OPW-C-301 | A |
| A FOR APPROVAL | | 9.07.25 | AK | | | | | | | 09.07.30 | FOR APPROVAL | | A1 |



NOTE: CUTOFF SWALE TO TRANSITION LINEARLY FROM MINIMUM DEPTH (0.10) & REACHING MAXIMUM DEPTH (0.50) AT OUTLET LOCATION



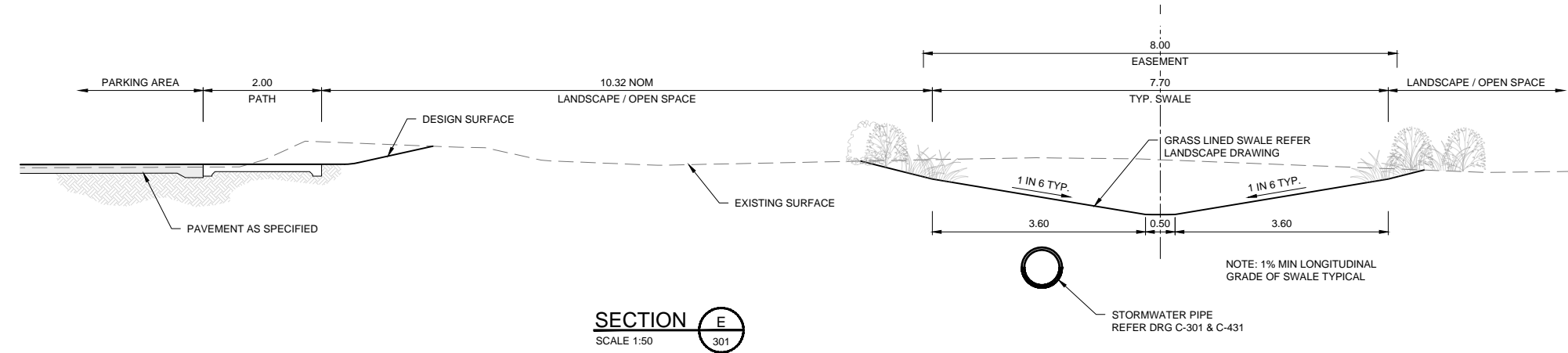
| SWALE A SUMMARY TABLE | | |
|----------------------------------|-------|-------------------|
| SWALE DETAILS | | |
| LONGITUDINAL GRADE | 1.000 | % |
| MANNING'S ROUGHNESS | 0.035 | - |
| MAJOR OVERLAND FLOW CHECK | | |
| MAJOR OVERLAND FLOW | 0.635 | m ³ /s |
| DEPTH OF FLOW | 0.310 | m |
| VELOCITY OF FLOW | 0.881 | m/s |
| DEPTH x VELOCITY | 0.273 | m ² /s |
| FREEBOARD | 0.300 | m |
| SEVERE STORM CHECK | | |
| SEVERE STORM FLOW | 1.244 | m ³ /s |
| DEPTH OF FLOW | 0.410 | m/s |
| VELOCITY OF FLOW | 1.045 | m |
| DEPTH x VELOCITY | 0.428 | m |

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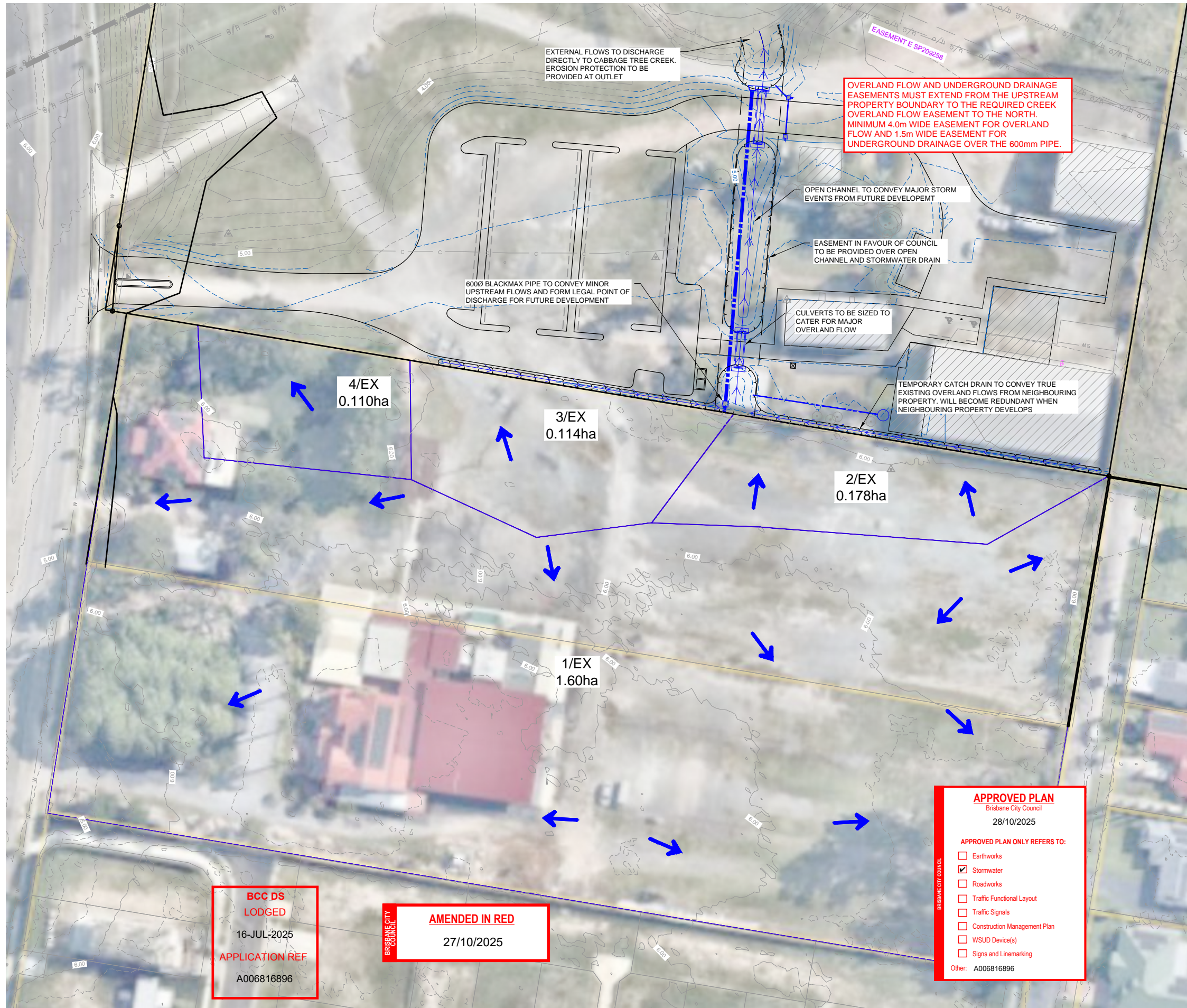
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| | | | | | | | | | | | |
|----------------|----------------------|------------------------|--------------------|----------------------|---|---|-------|---------------------------------|-------------|--------------|------------|
| North Point | | Scale | Horiz. Datum LOCAL | Client | Consultant | Project | Drawn | Drawing | Project No. | Drawing No. | Rev No. |
| | | 0m 1.25 2.5 At 1:50 | Vert. Datum AHD | SINGH SABHA BRISBANE | ARCOS | PLACE OF WORSHIP OPERATIONAL WORKS - CIVIL 115 LEMKE ROAD TAIGUM, QLD, 4018 | JCL | SITE SECTIONS & TYPICAL DETAILS | 2500060 | OPW-C-321 | A |
| A FOR APPROVAL | | 9.07.25 | RL Datum | | CIVIL STRUCTURAL GEOTECHNICAL SUNSHIRE COAST BRISBANE GOLD COAST www.arcosgroup.com.au ABN 51 640 311 842 | | JCL | | | | |
| Rev | Revision Description | Date | Approved | | | | Check | Approved Date | Status | FOR APPROVAL | Sheet Size |
| | | | AK | | | | AK | 09.07.25 | | | A1 |



PROPOSED LEGEND

- CONCRETE DRIVEWAY CROSSOVER
- INTERNAL CONCRETE DRIVEWAY
- CONCRETE PATH
- BUILDING
- STORMWATER
- MAJOR CONTOUR 1.00m INTERVAL
- MINOR CONTOUR 0.25m INTERVAL

NOTES:

- FOR GENERAL & STORMWATER NOTES REFER DRG C-011.

| TRUE EXISTING CASE SUMMARY | | | |
|----------------------------|--------|-------|-------------------|
| DESCRIPTION | SYMBOL | VALUE | UNIT |
| CATCHMENT AREA | A | 0.40 | ha |
| FRACTION IMPERVIOUS | f | 30% | - |
| TIME OF CONCENTRATION | TC | 10.00 | min |
| MINOR STORM EVENT | AEP | 10% | - |
| COEFFICIENT OF RUNOFF | C10% | 0.73 | - |
| MINOR STORM INTENSITY | I | 203 | mm/hr |
| MINOR STORM PEAK DISCHARGE | QMIN | 0.166 | m ³ /s |
| MAJOR STORM EVENT | AEP | 2% | - |
| COEFFICIENT OF RUNOFF | C2% | 0.84 | - |
| MAJOR STORM INTENSITY | I | 270 | mm/hr |
| MAJOR STORM PEAK DISCHARGE | QMAJ | 0.254 | m ³ /s |

| DA EXISTING CASE SUMMARY | | | |
|----------------------------|--------|-------|-------------------|
| DESCRIPTION | SYMBOL | VALUE | UNIT |
| CATCHMENT AREA | A | 2.00 | ha |
| FRACTION IMPERVIOUS | f | 30% | - |
| TIME OF CONCENTRATION | TC | 20.00 | min |
| MINOR STORM EVENT | AEP | 10% | - |
| COEFFICIENT OF RUNOFF | C10% | 0.73 | - |
| MINOR STORM INTENSITY | I | 150 | mm/hr |
| MINOR STORM PEAK DISCHARGE | QMIN | 0.610 | m ³ /s |
| MAJOR STORM EVENT | AEP | 2% | - |
| COEFFICIENT OF RUNOFF | C2% | 0.84 | - |
| MAJOR STORM INTENSITY | I | 199 | mm/hr |
| MAJOR STORM PEAK DISCHARGE | QMAJ | 0.934 | m ³ /s |

| DEVELOPED CASE SUMMARY | | | |
|----------------------------|--------|-------|-------------------|
| DESCRIPTION | SYMBOL | VALUE | UNIT |
| CATCHMENT AREA | A | 2.00 | ha |
| FRACTION IMPERVIOUS | f | 80% | - |
| TIME OF CONCENTRATION | TC | 15.00 | min |
| MINOR STORM EVENT | AEP | 10% | - |
| COEFFICIENT OF RUNOFF | C10% | 0.85 | - |
| MINOR STORM INTENSITY | I | 172 | mm/hr |
| MINOR STORM PEAK DISCHARGE | QMIN | 0.814 | m ³ /s |
| MAJOR STORM EVENT | AEP | 2% | - |
| COEFFICIENT OF RUNOFF | C2% | 0.98 | - |
| MAJOR STORM INTENSITY | I | 228 | mm/hr |
| MAJOR STORM PEAK DISCHARGE | QMAJ | 1.244 | m ³ /s |

NOTE:

- 'TRUE EXISTING CASE' CALCULATES THE TRUE STORMWATER RUNOFF FROM THE NEIGHBOURING PROPERTIES TO THE SOUTH, BASED ON EXISTING CONTOURS.
- 'DA EXISTING CASE' CALCULATES THE TOTAL THEORETICAL STORMWATER RUNOFF FROM AN UNDEVELOPED 2HA CATCHMENT TO THE SOUTH, AS IF IT WERE TO NATURALLY DRAIN THROUGH THE SUBJECT SITE.
- 'DEVELOPED CASE' CALCULATES THE TOTAL RUNOFF FROM A FUTURE 2HA DEVELOPMENT TO THE SOUTH, THAT OUTLETS THROUGH THE SUBJECT SITE

MINOR STORM STRATEGY

THE PROPOSED DEVELOPMENT WILL PROVIDE A LEGAL POINT OF DISCHARGE TO THE FUTURE DEVELOPMENT TO THE SOUTH. THIS PIPE IS SIZED BASED ON THE 'DA EXISTING CASE'

MAJOR STORM STRATEGY

THE PROPOSED DEVELOPMENT WILL PROVIDE AN OVERLAND FLOW PATH FOR MAJOR STORM EVENTS FROM THE FUTURE DEVELOPMENT TO THE SOUTH, BASED ON THE GAP FLOW BETWEEN THE 'DA EXISTING CASE' MINOR STORM, AND THE 'DEVELOPED CASE' MAJOR STORM

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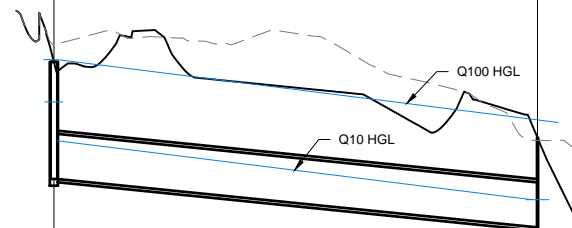
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Other: A006816896

NOTES:
1. FOR GENERAL & STORMWATER NOTES REFER DRG C-011.

| PIT SIZE | |
|-----------------------|---------------------------------|
| REFER TO IPWEA DS-050 | |
| 0-1.0 DEPTH | 600mm x 600mm |
| 1-1.5 DEPTH | 600mm x 900mm |
| 0-2.0 DEPTH | 900mm x 900mm |
| 2.0 GREATER | STANDARD MH WITH APPROVED INLET |

| | | |
|-----------------------|-------------------------------|-------------------------------|
| STRUCTURE NAME | A-1 | A-2 |
| STRUCTURE DESCRIPTION | STD FIELD INLET 900x900 | HEADWALL |
| SETOUT COORDINATES | E 504680.216 N 6976841.915 | E 504685.674 N 6976845.660 |



| | |
|--------------------------------|--------------|
| PIPE SIZE (mm) | 600 |
| PIPE TYPE | PP SN8 |
| PIPE GRADE (%) | 1.00% |
| PIPE SLOPE (1 in X) | 100.0 |
| PIPE FLOW (l/s) | 610 |
| CAPACITY FLOW (l/s) | 872 |
| FULL PIPE VELOCITY (m/s) | 2.19 |
| NORMAL DEPTH VELOCITY (m/s) | 3.38 |
| DATUM RL | -3.0 |
| HGL IN PIPE & WSE IN STRUCTURE | 4.860 4.346 |
| EXISTING SURFACE LEVEL | 5.614 4.351 |
| INVERT LEVEL | 3.840 3.200 |
| DEPTH TO INVERT | 1.549 1.185 |
| DESIGN SURFACE LEVEL | 5.389 4.385 |
| CHAINAGE | 0.000 63.968 |

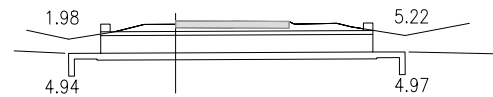
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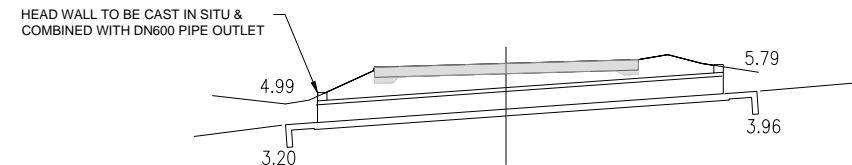
Other: A006816896

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PW01
8.137
1200x450 RCBC (3/2.40) (7.20 outside of walls)
Reinforced Conc. Base 2.4m³, Headwall 0.7m³, Apron 0.6m³, C/O Wall 0.4m³
Backfill Material 8.0m³
Standard Drawings - 1260, 1359
Basis for dimensions:
External Box Wd. 1384mm, Internal Ht. 457mm, Deck Thick. 102mm
Leg Thick. 79mm, Headwall Ht. 200mm, Base Thick. 180mm
Exposure Classification: B2

CULVERT B



MR02
22.627
1200x450 RCBC (1/1.20 4/2.40) (10.76 outside of walls)
Reinforced Conc. Base 3.5m³?, Headwall 0.7m³?, Apron 0.6m³?, C/O Wall 0.4m³?
Backfill Material 12.1m³?
Standard Drawings - 1260, 1359
Basis for dimensions:
External Box Wd. 1384mm, Internal Ht. 457mm, Deck Thick. 102mm
Leg Thick. 79mm, Headwall Ht. 200mm, Base Thick. 180mm
Exposure Classification: B2

CULVERT C

ABN 37 861 271 663

Website www.jivy.com.au

Email admin@jivy.com.au

Phone 0435 668 881

Address 105 Featherstone Road, Logan
Reserve, QLD 4133