

23 July 2026

Chief Executive Officer
Brisbane City Council
GPO Box 1434
BRISBANE QLD 4001

Via Email: dalodgement@brisbane.qld.gov.au

Council Reference: A006632675

Dear Sir/Madam,

RE: Request to make a 'Minor Change' under Section 81 of the Planning Act 2016 to a Development Approval – Material Change of Use for a Multiple Dwelling (5 Units) in the Traditional Building Character Overlay at 12 Abbott Street, New Farm

We write to Council (the responsible entity) on behalf of our client, Crowndale Properties Pty Ltd, with respect to the abovementioned approval issued over 12 Abbott Street, New Farm. The original approval was granted on 1 April 2025 and granted approval for a Material Change of Use for a Multiple Dwelling (5 Units) in the Traditional Building Character Overlay (vide: A006632675).

Since approval, the project has progressed to detailed design. As part of this design process, specialist fire engineering feedback and design development has led to changes to the approved development. The applicant now seeks to regularise the changes by requesting a 'Minor Change' to the approval pursuant to Section 81 of the Planning Act 2016 ("The Act"). The changed proposal complies with the relevant assessment benchmarks having regard to the existing approval. We therefore request the approved plans and conditions are altered in accordance with Section 83 of the Act.

This request for a Minor Change to a Development Approval is accompanied by:

- Revised Architectural Plans prepared by ELK Architects; and
- Planning Act Form 5 – Change Application Form.

Upon receipt of Council's fee quote, payment of the relevant application fee shall be made.

This letter now sets out the changes proposed.

Site Details

The subject site is located at 12 Abbott Street, New Farm, and is formally described as Lot 2 on RP55149. The subject site is afforded a total site area of approximately 847m² and is rectangular in shape. The site is afforded dual frontage to Abbott Street and Watson Street of approximately 18.675m along both frontages.

The subject site falls, by approximately 2m, from south west to north east. The highest point of the site is approximately 13m AHD at the south western corner of Abbott Street, and the lowest point is approximately 11m AHD at the north eastern corner of the site.



Figure 1: Subject Site Aerial (Source: NearMap, image dated 12 March 2026)

The subject site is located within the Low-Medium Density Residential (2 or 3 storey mix) Zone and within the bounds of the Low Medium Density Living Precinct (NPP-002) of the New Farm and Teneriffe Hill Neighbourhood Plan.

The site similarly adjoins other lots identified within the Low-Medium Density Residential (2 or 3 storey mix) Zone, with NC Neighbourhood Centre and MDR Medium density residential zoned land located south and west of the subject site, more closely established to the Brisbane River (see Figure 4).

It is noted that surrounding properties are identified within the 'Low Medium Density Living Precinct' and the 'Mixed Use Centre Precinct' of the New Farm and Teneriffe Hill Neighbourhood Plan. The character of the immediate locality involves predominantly mixed density residential development, from dwelling houses to large-scale residential apartments with varying scale, form and age.



Figure 2: Zoning Context Map (Source: BCC Interactive Mapping)

Application History

A Development Application seeking a Material Change of Use for a Development Permit for a Material Change of Use for a Multiple Dwelling (5 Units) in the Traditional Building Character Overlay was approved on 1 April 2025 (vide: A006632675). The application was assessed and approved under Version 30.00 of the Brisbane City Plan 2014 (effective 13 September 2024) and the Planning Act 2016. The change at hand relates to this Development Approval.

Proposed Changes

This section sets out the key changes to the approved plans. The architectural plans identify 14 changes, noted to be:

- Relocate egress stair in the basement from Watson Street to Abbott Street;
- Relocate booster assembly from Watson Street to Abbott Street;
- Loss of 1 car space in basement carpark;
- Paving over basement;
- Wall straightened and window updated to suit;
- Windows repositioned;
- Building line at private pool terrace extended towards Abbott Street;
- Building line at communal pool terrace extended towards Watson Street;
- Pool deck FFL increased;
- Roof height increased;
- Mechanical risers & exhaust to roof added;
- Balustrade changed to glass panels;
- Lift overrun reduced in height;
- Privacy screens at the side boundary updated to match screens on balconies; and
- Screen wall added to passage between pools.

With respect to town planning matters, the items of note are summaries as:

- Changes to the roof level external bathroom location to accommodate mechanical exhaust requirements;
- Relocation of booster assembly from Watson Street to Abbott Street and provide basement access via external fire egress stairs on Abbott Street;
- Minimal change to upper roof height to allow for installation of an insulation layer to improve thermal performance and maintain adequate floor to ceiling heights.

Roof Terrace Level

The proposed changes to the roof terrace level are as a result of engineering feedback and general architectural design development.

The changes involve a minor alteration to the existing external bathroom located on the roof terrace level. The approved communal bathroom adjoins the plant area located on the roof which houses a number of servicing components. Due to the location and capacity of the mechanical exhaust within this area it is proposed to move the bathroom wall 1500mm (or 864mm beyond the approved building line) to the north, increasing the plant area space to house the exhaust. To keep the plant room similar size as approved, the private bathroom on the roof terrace moved 600mm north, with an overall 900mm increase to the plant room and screen.

The proposed change is considered typical of the detailed design process and ensures the practicality, privacy and amenity of the roof space is maintained.

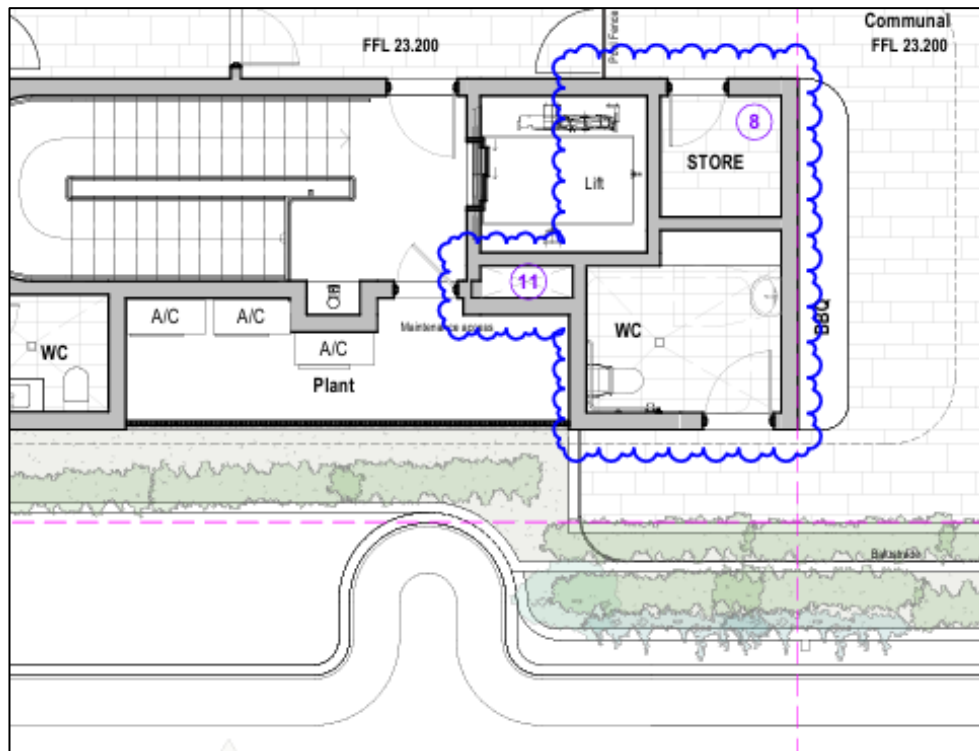


Figure 3: Proposed Plant screening and bathroom location - Extract (Source: ELK Architects)

The proposed changes to the roof involves a minor increase in height of 250mm. The proposed increase to the upper roof height is to accommodate an additional 200-250mm insulation layer required to achieve improved thermal performance, energy efficiency, and long-term building durability within the stair core and amenity spaces. The proposed 250mm increase to the roof height seeks to improve the functionality of the spaces and ensure they appropriately reflect the quality and design of the development in a cohesive manner.

The proposed 250mm increase does not result in any additional impact to the amenity and privacy of adjoining properties and does not involve a change to the developments bulk and scale when viewed from the street and in the context of the locality.

It is further noted that whilst there is a minor increase to the roof height, the height of the lift overrun has been reduced by 400mm through detailed engineering design. This decrease in lift overrun height ensures the increase on roof height maintains an expected level of amenity consistent with the existing approval.

Fire Hydrant Booster and Access

The proposed changes involve an alteration to the location of the fire hydrant booster assembly and pad to ensure requirements with respect to fire safety can be appropriately

met. The existing approval details the booster assembly located to Watson Street, however through detailed design it has become evident all fire servicing for the project need to occur from Abbott St and as such the booster needs to address this frontage.

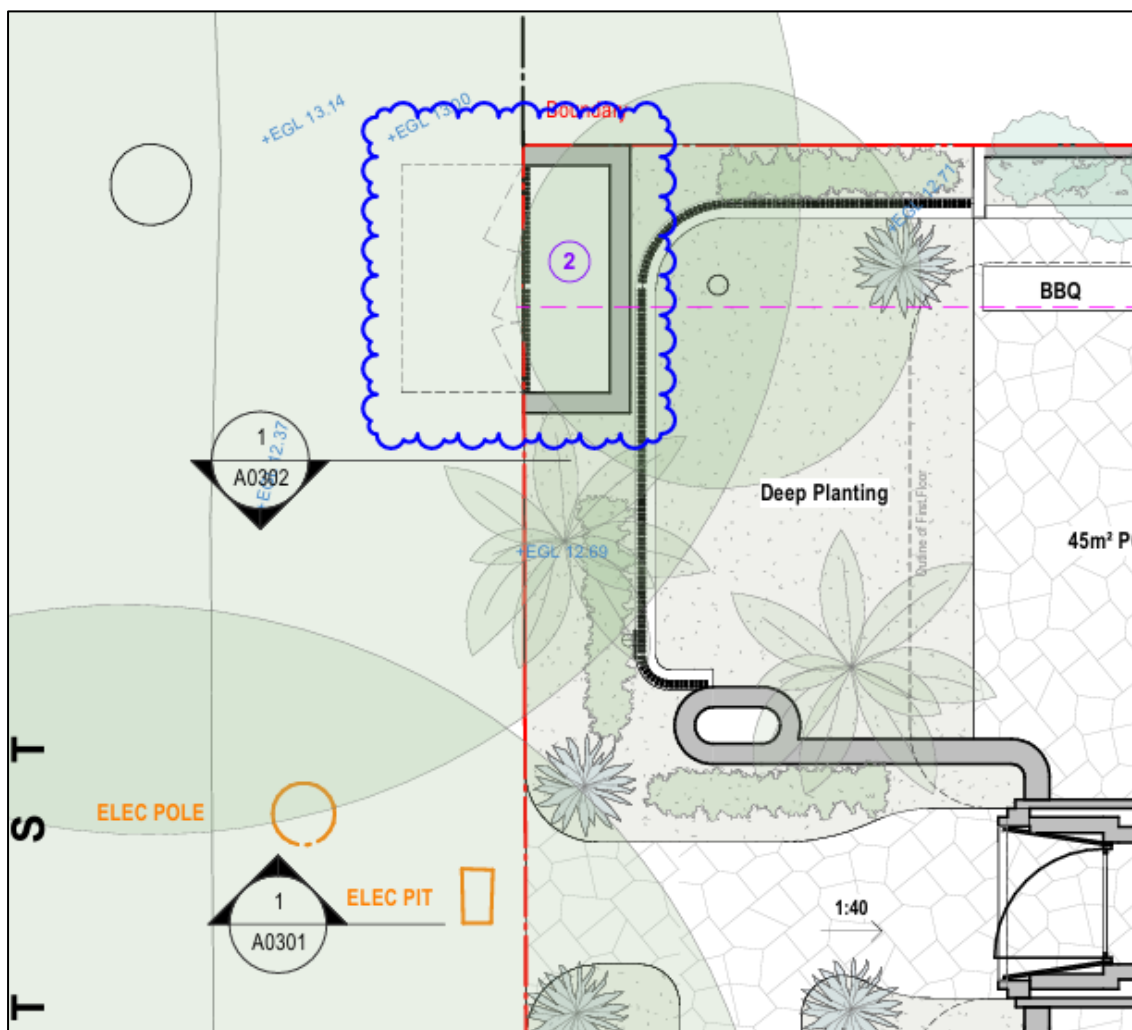


Figure 4: Proposed booster assembly location - Extract (Source: ELK Architects)

It was previously intended that emergency egress from the basement be from Watson St, however through detailed design and feedback from the fire engineer on the fire brigade access strategy, it has become evident this escape needs to address Abbott St and as such a set of stairs has been added. The proposed fire egress stairs are located in the south-eastern corner of the development. The proposed escape stairs are externally located so to not inhibit the function of the adjacent ground floor unit, whilst ensuring an appropriate outcome with respect to fire safety requirements.

The approved landscape outcome is intended to be maintained, and all works are appropriately separated from the street trees within Abbott St.

The proposed changes in relation to fire safety measures do not adversely impact the approved outcome, but ensure the ability of the project to operate as intended and maintain an appropriate safety measures.

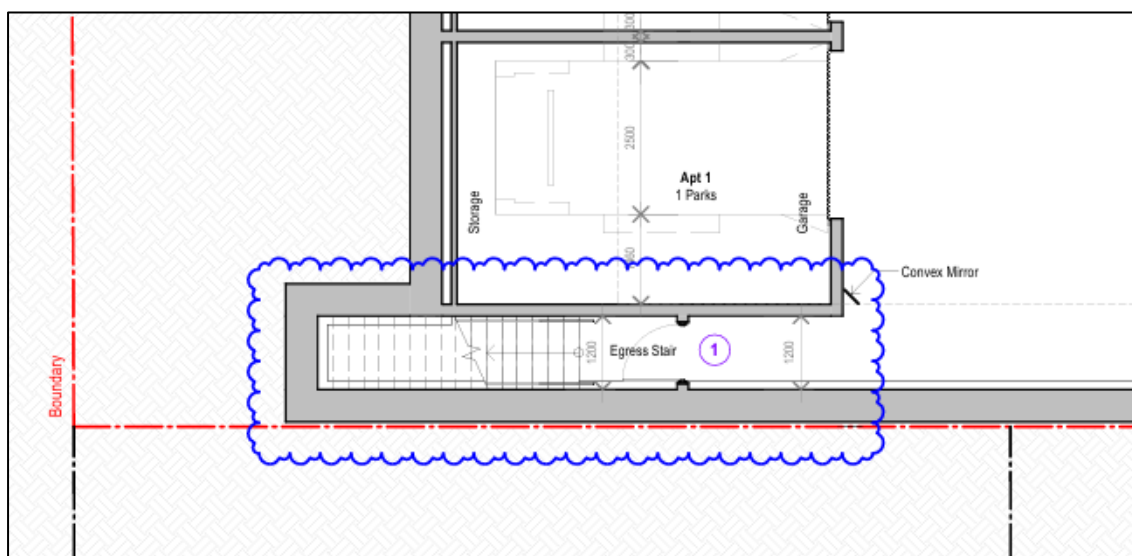


Figure 5: Proposed fire egress stair location – Basement Extract (Source: ELK Architects)

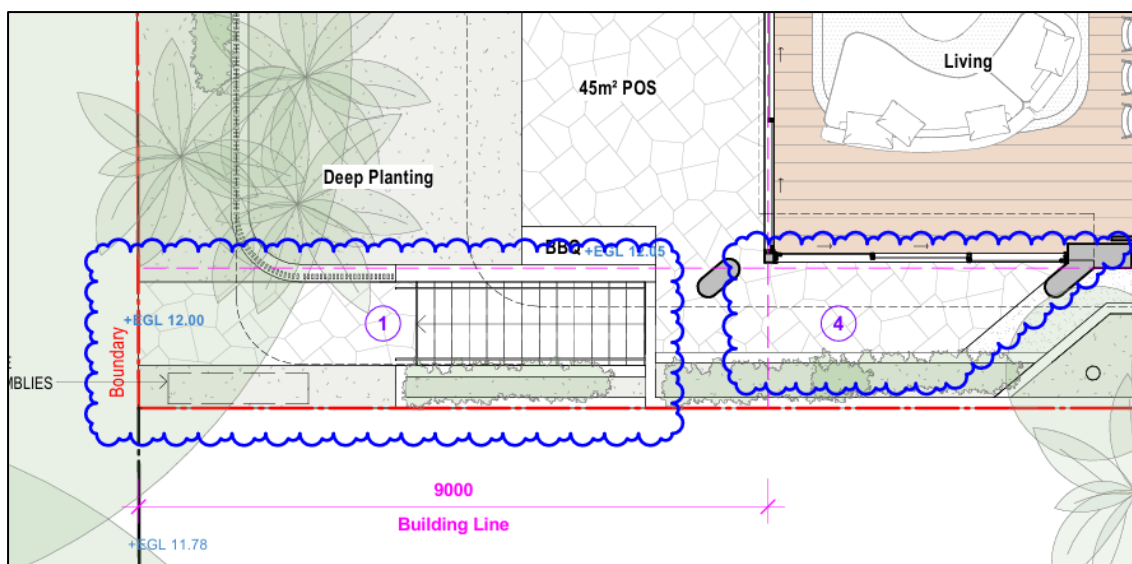


Figure 6: Proposed fire egress stair location – Ground Floor Extract (Source: ELK Architects)

Changes to Approved Drawings and Documents List

It is requested that the Drawings and Documents table and relevant conditions be updated as follows. For ease of reference the original relevant portion of conditions and Drawings and Documents table to be altered are 'struck through' with the replacement table provided beneath it in red.

Approved drawings:

Drawing or Document	Drawing/Plan No.	Plan Date
Site Plan	A0009 Rev D	14-MAR-2025 (Received)
Floor Plan – Basement	A0101 Rev D	14-MAR-2025 (Received)
Floor Plan – Ground	A0102 Rev D	14-MAR-2025 (Received)
Floor Plan – First Floor	A0103 Rev D	14-MAR-2025 (Received)
Floor Plan – Second Floor	A0104 Rev D	14-MAR-2025 (Received)
Roof Terrace	A0105 Rev D	14-MAR-2025 (Received)
Roof Plan	A0106 Rev D	14-MAR-2025 (Received)
Elevation – South Elevation	A0201 Rev D	14-MAR-2025 (Received)
Elevation – East Elevation	A0202 Rev D (Amended In Red 31-MAR-2025)	14-MAR-2025 (Received)
Elevation – West Elevation	A0203 Rev D (Amended In Red 31-MAR-2025)	14-MAR-2025 (Received)
Elevation – North Elevation	A0204 Rev D	14-MAR-2025 (Received)
Section 01	A0301 Rev D	14-MAR-2025 (Received)
Section 02	A0302 Rev D	14-MAR-2025 (Received)
Section 03	A0303 Rev D	14-MAR-2025 (Received)
Section 04	A0304 Rev D	14-MAR-2025 (Received)
Preliminary Services Layout Plan	C5989 – SK21 Rev A	14-MAR-2025 (Received)
Driveway Plan and Section	A0110 Rev C	14-MAR-2025 (Received)
Ground & First Floor Landscape Plans	L100 Rev D	14-MAR-2025 (Received)
Second Floor and Roof Landscape Plans	L101 Rev D	14-MAR-2025 (Received)
Irrigation Requirements	L102 Rev D	14-MAR-2025 (Received)

As amended by:

Drawing or Document	Drawing/Plan No.	Plan Date
Site Plan	A0009 Rev E	17 July 2026
Floor Plan – Basement	A0101 Rev E	17 July 2026
Floor Plan – Ground	A0102 Rev E	17 July 2026
Floor Plan – First Floor	A0103 Rev E	17 July 2026
Floor Plan – Second Floor	A0104 Rev E	17 July 2026
Roof Terrace	A0105 Rev E	17 July 2026
Roof Plan	A0106 Rev E	17 July 2026
Elevation – South Elevation	A0201 Rev E	17 July 2026
Elevation – East Elevation	A0202 Rev E	17 July 2026
Elevation – West Elevation	A0203 Rev E	17 July 2026
Elevation – North Elevation	A0204 Rev E	17 July 2026
Section 01	A0301 Rev E	17 July 2026
Section 02	A0302 Rev E	17 July 2026
Section 03	A0303 Rev E	17 July 2026
Section 04	A0304 Rev E	17 July 2026
Preliminary Services Layout Plan	C5989 – SK21 Rev A	14-MAR-2025 (Received)
Driveway Plan and Section	A0110 Rev C	14-MAR-2025 (Received)
Ground & First Floor Landscape Plans	L100 Rev D	14-MAR-2025 (Received)

Drawing or Document	Drawing/Plan No.	Plan Date
Second Floor and Roof Landscape Plans	L101 Rev D	14-MAR-2025 (Received)
Irrigation Requirements	L102 Rev D	14-MAR-2025 (Received)

Conditions to be Altered

We request that any conditions referencing the old approved plans are updated to reflect the plans submitted with this Minor Change Request.

Changes to Infrastructure Charges

No change is proposed to the unit breakdown and as such a revised infrastructure charge notice is not required.

Statutory Requirements

Minor Change

In accordance with Section 81(2) of the Planning Act 2016, Council must decide upon a request for a Minor Change to a development approval having regard to:

- (a) *the information the applicant included with the application; and*
- (b) *if the responsible entity is the assessment manager – any properly made submissions about the development application or another change application that was approved; and*
- (c) *any pre-request response notice or response notice given in relation to the change application; and*
- (d) *if the responsible entity is, under section 78A(3), the Minister—all matters the Minister would or may assess against or have regard to, if the change application were a development application called in by the Minister; and*
- (da) *if paragraph (d) does not apply— all matters the responsible entity would or may assess against or have regard to, if the change application were a development application; and*
- (e) *another matter that the responsible entity considers relevant.*

Further in accordance with Section 81(3) of the Planning Act, 2016, Council must in assessing the change application consider:

- (a) *a statutory instrument; or*
- (b) *another document applied, adopted or incorporated (with or without changes) in a statutory instrument.*

In accordance with the definitions in Schedule 2 of the Planning Act 2016, a Minor Change to a Development Approval is a change that:

“(b)

- i. *Would not result in substantially different development; and*
- ii. *If a development application for the development, including the change, were made when the change application is made would not cause—*
 - (A) *The inclusion of prohibited development in the application; or*
 - (B) *Referral to a referral agency, other than to the chief executive, if there were no referral agencies for the development application; or*
 - (C) *Referral to extra referral agencies, other than to the chief executive; or*
 - (D) *A Referral agency, in assessing the application under section 55(2), to assess the application against, or have regard to, a matter, other than matters the referral agency must have assessed the application against, or have had regard to, when the application was made; or*
 - (E) *Public notification if public notification was not required for the development application.”*

The proposal meets each aspect of the Minor Change definition as described below.

Substantially Different Development

The following is an assessment of the proposed change against the relevant components of Schedule 1 – Substantially Different Development of the Development Assessment Rules.

Element from the Guideline	Changed Proposal
Does not involve a new use.	The proposed minor change does not include a new use.
Does not result in the approval applying to a new parcel of land.	The proposal remains relevant to the same parcel of land as originally approved.
Does not dramatically change the built form in terms of scale, bulk and appearance.	The bulk and scale of the proposal does not substantially differ from what was originally approved.
Does not change the ability of the proposal to operate as intended.	The proposed changes do not compromise the ability for the site to operate as approved.
Does not remove a component that is integral to the operation of the development.	A component integral to the operation of the development is not removed as part of this change, rather the proposal makes changes to ensure the proposal is fit for purpose.
Does not significantly impact traffic flow and the transport network.	The proposed changes do not relate to traffic or the transport network.
Does not introduce new impacts or increase the severity of known impacts.	The proposed changes do not result in any new impacts or increased severity of known impacts.
Does not remove an incentive or offset component that would have balanced a negative impact of the development.	The proposed changes to the approved design do not remove an element which would be considered an offset component or one that balances a negative impact of the development.
Does not impact on the infrastructure provisions.	Infrastructure provisions are not affected as a result of the proposed changes.

Prohibited Development

The proposed development is not identified as being prohibited development.

Referral Agencies

The original approval did not trigger referral to any state agencies and the change proposed would not trigger any referral agencies.

Level of Assessment

When initially approved, the development was subject to Impact Assessment. The proposed changes would not alter the formal level of assessment for this application.

Public Notification

The original development application was subject to Impact Assessment and would continue to be subject to Impact Assessment.

Submissions

Section 81(2)(b) of the Planning Act states that the responsible entity must consider '... any properly made submissions about the development application... that was approved'.

Council's Response Decision Notice confirms submissions were received during the statutory notification period. We are of the opinion that the proposed change does not bring about new issues or impact on issues raised in the original submissions.

Changes to Planning Instruments

Pursuant to Section 81(4) of the Planning Act 2016, the Council 'must consider the statutory instrument, or other document, as in effect when the development application for the development approval was properly made.'

The development was approved under Version 30.00/2024 of the Brisbane City Plan 2014 (effective 13 September 2024) and as demonstrated remains consistent with the relevant planning instruments.

Conclusion

We write in relation to proposed alterations to the approved Material Change of Use for a Multiple Dwelling (5 Units) in the Traditional Building Character Overlay at 12 Abbott Street, New Farm. We are of the opinion that the proposed alterations meet the criteria to constitute a Minor Change within the meaning of Schedule 2 of the Planning Act 2016. We therefore request that the change is assessed and decided pursuant to Section 83 of the Act.

Thank you for your consideration of this request. Should you require any further clarification or information, please don't hesitate to contact our office on (07) 3360 4200.

Yours faithfully

URBAN STRATEGIES PTY LTD



Herbert Murphy
TOWN PLANNER