

BCC DS
RECEIVED
19/05/2026
APPLICATION REF
A007025433

BCC DS
RECEIVED
30/05/2023
APPLICATION REF
A006128526

PLANS AND DOCUMENTS
referred to in the
DEVELOPMENT APPROVAL
Issued: 14/03/2012
Other change: 14/08/2023

Fire Ant Movement Controls
To prevent the spread of fire ants, the Queensland Government has implemented controls that apply to individuals and commercial operators, to restrict the movement of materials that could carry fire ants including soil, turf, potted plants, mulch, baled hay or straw, animal manures, mining or quarry products. Penalties apply for non-compliance with the movement controls. If you are unsure of your obligations under the Biosecurity Act 2014 contact the relevant Queensland State Government Department.

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RETAINING WALL ON TOWNHOUSE SIDE AND SET BACKED FROM C.C BOUNDARY
ACOUSTIC WALL ON BOUNDARY

MODIFICATION NOTE

- Add Storage area
- Rooftop Communal area & Private open space
- Service Vehicle Bay
- Biodetention Basin changes to Cartridge filter (3m landscape)
- Current Approved Ground Floor footprint
- Building height reduced at rear (approx reduce by 200mm)
- Upper Floor (new add on)
- Same Walkway & External Sitting (no change to current approval)
- Same Internal Road (no change to current approval) (Adjustment on level)
- Car Parking Space Rearranged (Update of PWD parking)
- Same Refuse Bin Location but larger
- Same landscape strip
- Access ramp for wheelchair (Re-arrangement)
- Transformer (Added)

ACOUSTIC AND RETAINING WALLS ON C.C BOUNDARY

SITE AREA:
3276.0m²
SITE COVER:
1737.31m²
(53.0%)



SITE PLAN

CONTOUR LINE FOR LOT 2 SP22193: BITMAP 2002 NGL

GOLDFIELD PROJECTS PTY.LTD. A.C.N 081760830
Building Designers Association of Queensland Inc.
MBA, HIA Member, QBSA Reg. No. 81445

Unit 6, 121 Kerry Road
Archerfield Q 4108
P O Box 3132 Sunnybank South
Sunnybank Hills Q 4109
Tel: 06 3216 6628
Fax: 06 3216 6626

Client :
JOYFULLAND PTY. LTD.
Site Address :
82-88 Illaweena Street, Drewvale Proposed Lot 1 on
SP 242216 Brisbane City Council
On cancellation of Lot 2 SP 224183 and Lot 3 SP 224184
61 Doulton Street, Calamvale (Brisbane City Council)
Lot 2 SP224193

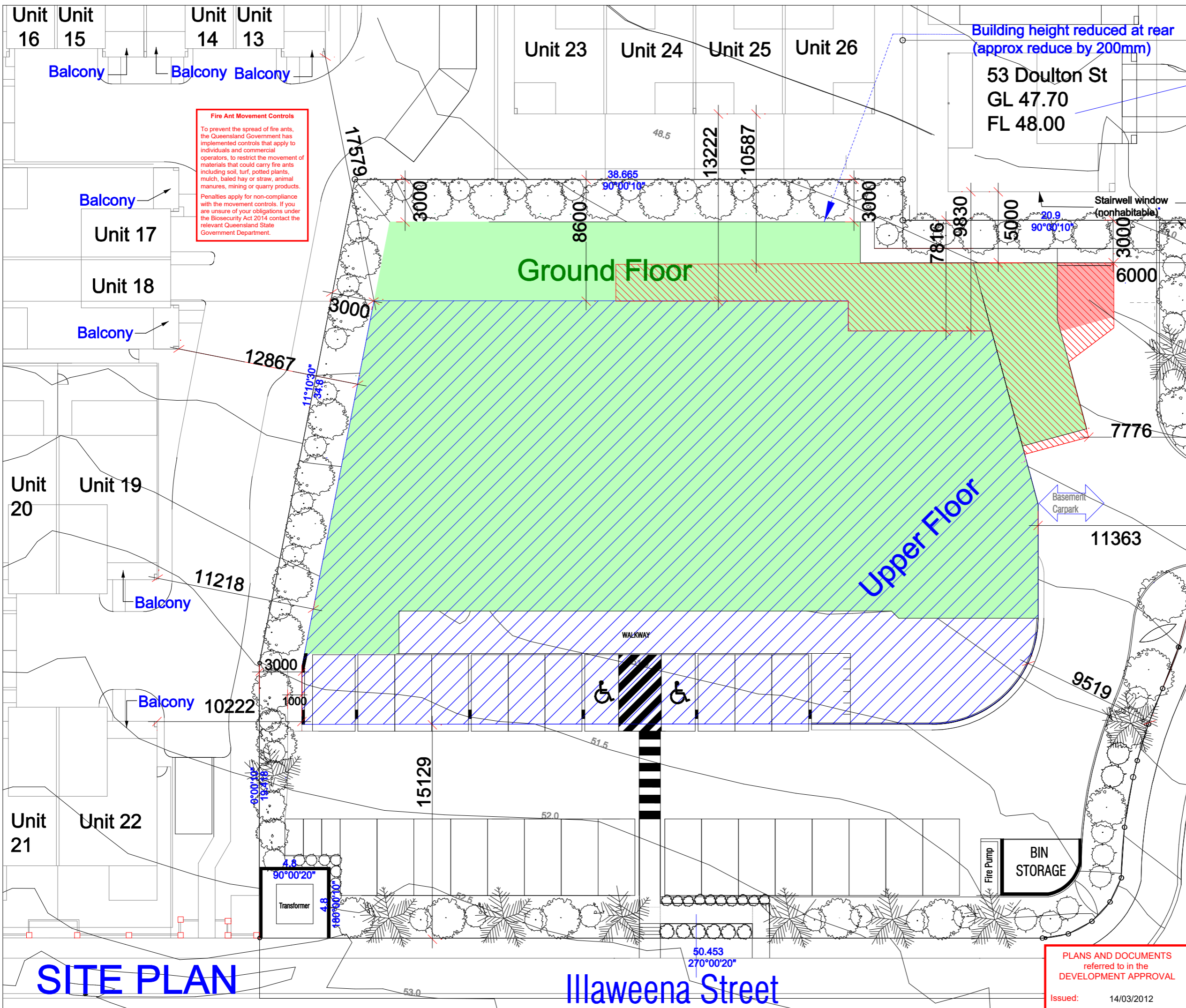
Project :
CONVENIENCE CENTRE
MIXED USE
CONVENIENCE CENTRE &
MULTI UNIT DWELLINGS
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SITE PLAN

Issue	Date	Description
H	23-04-2012	MODIFICATIONS FOR IR
K	05-09-2022	MODIFICATIONS FOR MIX USE
L	01-12-2022	IR AMENDMENT

Use figured dimensions in preference to scale.
All dimensions to be verified on site.

Wind Cat.	N3	Scale	1:500 (in A3)
Date	MAY 2010	Job No.	BC 05101
Drawing	DA-A3-CC 00	Issue	L



Fire Ant Movement Controls
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Building height reduced at rear (approx reduce by 200mm)

53 Doulton St
 GL 47.70
 FL 48.00



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MODIFICATION NOTE

- Current Approved Ground Floor footprint
- Rooftop Communal area (new add on)
 - Add Storage area
 - Upper Floor (new add on)

The approved center was designed as part of the development of the adjoining single unit dwelling and multi-unit dwelling. The addition storey is further offset from the boundaries and providing abundance building separations excess requirement of Multiple Dwelling Code. The building is all lower than 9.5m above NGL.

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Client : JOYFULLAND PTY. LTD.
 61 Doulton Street, Calamvale (Brisbane City Council)
 Lot 2 SP224193

Project : MIXED USE CONVENIENCE CENTRE & MULTI UNIT DWELLINGS

SITE PLAN Supplymentary		Wind Cat. N3	Scale 1:250 (in A3)
Issue Date Description		Date	Job No. BC 05101
L 01-12-2022 IR AMENDMENT		MAY 2010	Drawing DA-A3-CC 09
Use figured dimensions in preference to scale. All dimensions to be verified on site.		Issue L	

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Issued: 14/03/2012
 Other change: 14/08/2023

SITE PLAN

Illaweena Street

Doulton Street



Unit 6, 121 Kerry Road
Archerfield Q 4108
P O Box 3132 Sunnybank South
Sunnybank Hills Q 4109

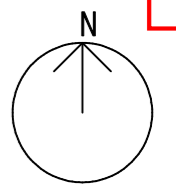
Tel: 3216 6628 Fax: 3216 6626

Client :
JOYFULLAND PTY. LTD

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Site Address :
92-96 Illawena Street, Drewvale
Lot 2 RP86394
Brisbane City Council
61Doulton St., Calamvale
Lot 2 SP 224193
Brisbane City Council



Project :
CONVENIENCE CENTRE

Issue	Date	Description
H	2012-01-25	MODIFICATION FOR IR
K	2022-09-05	MODIFICATION FOR MIX USE
L	2022-12-01	IR AMENDMENT
M	2023-03-28	FIR AMENDMENT
N	2023-05-18	Minor adjustment for access
O	2023-07-18	Minor adjustment for Structural

Use figured dimensions in preference to scale.
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Scale : 1:250 (in A3)
Wind Category : W33

Date: MAY2011
Job Number : BC 05101

Drawing: DA-A3-CC-02
Issue: 0

MODIFICATION NOTE

Additional Excavation as hatched in Red (approx 420m2)
Floor level low down approx 1.5m

Building Height by Number of Storey
RC10 - RC20 & Bin Room (in yellow) is considered as a storey with ceiling over 1m above NGL
Plant room, Lift & Stair and exterior are not considered as storey
All other areas with a ceiling not more than 1 m above NGL are considered as not a storey (basement)

The parking space for the multi-dwellings is seperated by a security roller shutter

Change of gradient of ramp not more than 5%

REARRANGEMENT of car parking space provides a total of 55 carspace (extra 16)

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Residential Parking

REQUIRED CARPARK	
DWELLING (2 per unit x 10 units)	20
VISITOR (25% x 10 units)	2.5
TOTAL	22.5

CARPARK PROVIDED	
UNDERCROFT PARKING (including 16 tandem)	22
VISITOR CARPARK	3
TOTAL	26
BICYCLE PARKING (1 per unit)	10

Current Approval: A005776955

Commerical Parking

REQUIRED CARPARK	
(3 per 50m ² x 980.8m ²)	59
CARPARK PROVIDED	
UNDERCROFT PARKING	35
GROUND PARKING	24
DISABLED PARKING	2
MOTORCYCLE	3
TOTAL	64
SERVICES PARKING	
LRV	1
VAN	1
TOTAL	66

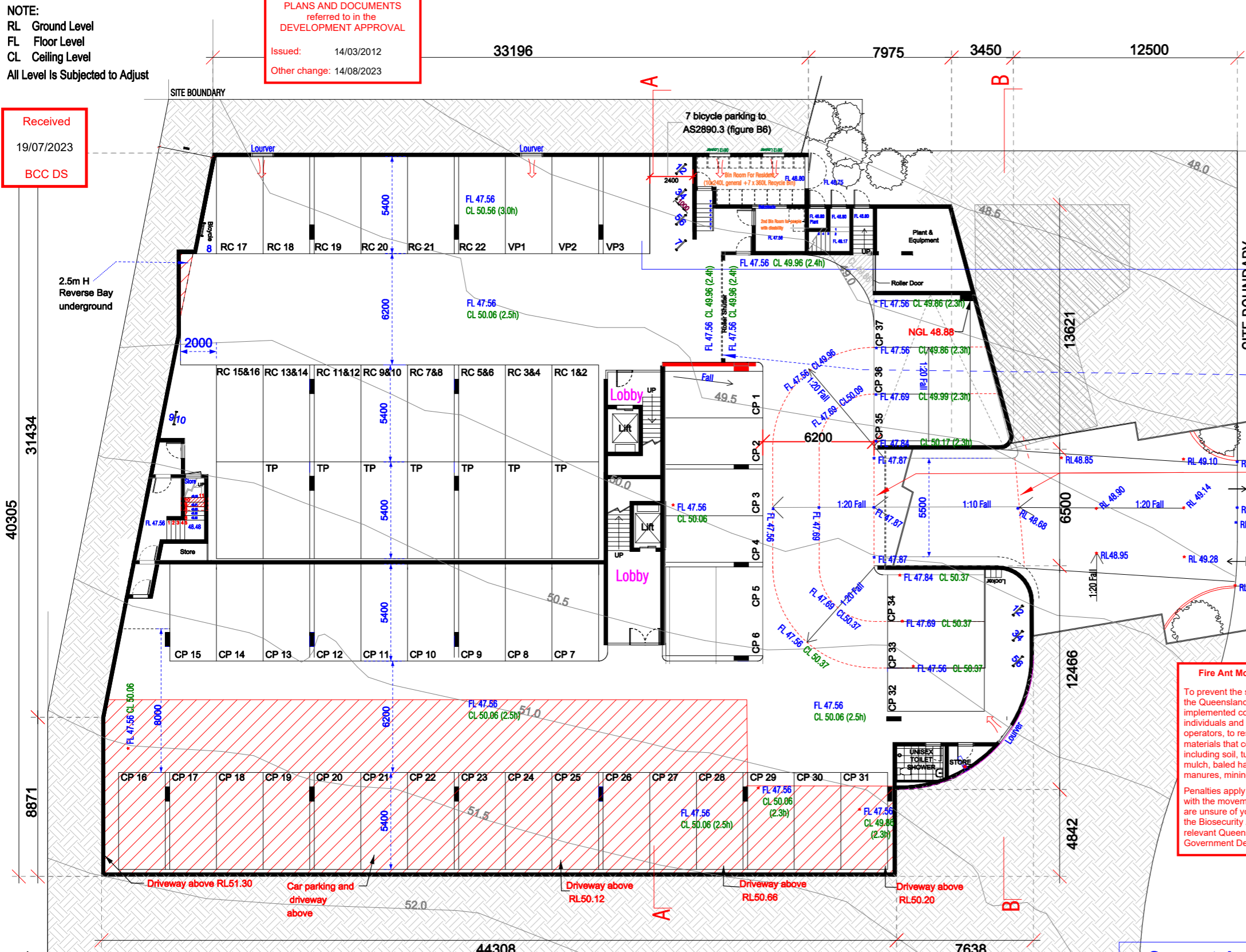
Commerical Parking

REQUIRED CARPARK	
(3 per 50m ² x 971m ²)	58
CARPARK PROVIDED	
UNDERCROFT PARKING	37
GROUND PARKING	25
DISABLED PARKING	2
MOTORCYCLE	3
TOTAL	67
SERVICES PARKING	
LRV	1
VAN	1
TOTAL	69
BICYCLE PARKING	10

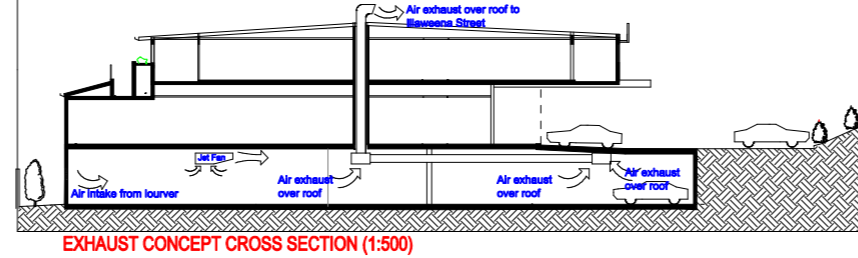
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NOTE:
RL Ground Level
FL Floor Level
CL Ceiling Level
All Level Is Subjected to Adjust

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Car Park Exhaust to AS1668.2
Automatic Mechanical ventilation with Carbon monoxide monitor
Louvers at semi-basement walls for air-intake
Exhaust duct out over roof with a minimum distance of 15m from adjoining houses.
Use of Jet fan if require



- NOTE:
VEHICULAR ACCOMMODATION
- CP Customer Parking - 2.6x5.4m
 - MP Motorcycle Parking - 1.3x2.6m
 - PWD PWD People with Disability Parking - 2.4x5.4m with 2.4x5.4 space adjoining
 - Van Van Service Bay - 3.0x5.4m
 - LRV Long Ridge Vehicle Service Bay - 3.5x11m
 - TP Tandem Parking - 2.6x10.8m
 - RP Resident Parking (for Dwelling Unit) - 2.6x5.4m
 - VP Visitor Parking (for Dwelling Unit) - 2.6x5.4m
 - Bicycle Bicycle Parking

Lower Level (Parking)

Building Height by Number of Storey
 Area (in yellow) is considered as 2nd storey with 1 storey directly below
 All other areas except lift & Stair are 1st Storey

MODIFICATION NOTE

Same Footprint for Ground Level (no change to current approval)
 Building height reduced at rear (54.45 approx - reduce by 200mm)
 Same LRV Service Bay

Kerb Collection 10x240L General & 7x360L recycle bins for 10 Residential Units (0.9mx0.9m each)

Biodetention Basin changes to Cartridge filter (3m landscape)
 3m Landscaping Strip

Roof garden above 4m clearance min
 CHANGE OF INTERNAL LAYOUT
 Change of loading bay (change from ramp to use of hoist)
 Add in isolated fire stairs

Floor level lowered down to RL 51.40 (by 200mm)

Same Internal Road (no change to current approval) (Adjustment on level) (LRV Swept path unchange)

Same Crossover
 Driveway to low level parking

Same Walkway & External Sitting (no change to current approval)

Ground floor under cover area (including awning, loading bay): 1871m²

SITE AREA: 3276.0m²
 G/F SITE COVER: 1342.1m² (40.97%)
 OVERALL SITE COVER: 1740.55m² (53%)

CHANGE OF INTERNAL LAYOUT
 NET LEASABLE AREA (NLA)

TENANCY 1 58.5m²
 TENANCY 2 74.0m²
 TENANCY 3 192.7m²
 TENANCY 4 44.3m²
 TENANCY 5 40.5m²
 TENANCY 6 262.7m²
 TENANCY 7 59.1m²
 TENANCY 8 65.0m²
 TENANCY 9 79.7m²
 TENANCY 10 92.2m²

TOTAL 968.7m²
 Tenancy layout is subjected to change

REDUCTION IN NLA (from 980.8m² to 971.2m²)

PARKING - See basement plan



Unit 6, 121 Kerry Road
 Archerfield Q 4108
 P O Box 3132 Sunnybank South
 Sunnybank Hills Q 4109

Tel: 3216 6628 Fax: 3216 6626

Client:
 JOYFULLAND PTY. LTD

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Issued: 14/03/2012
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Project:
 CONVENIENCE CENTRE

BCC DS RECEIVED 19/05/2026 APPLICATION REF A007025433

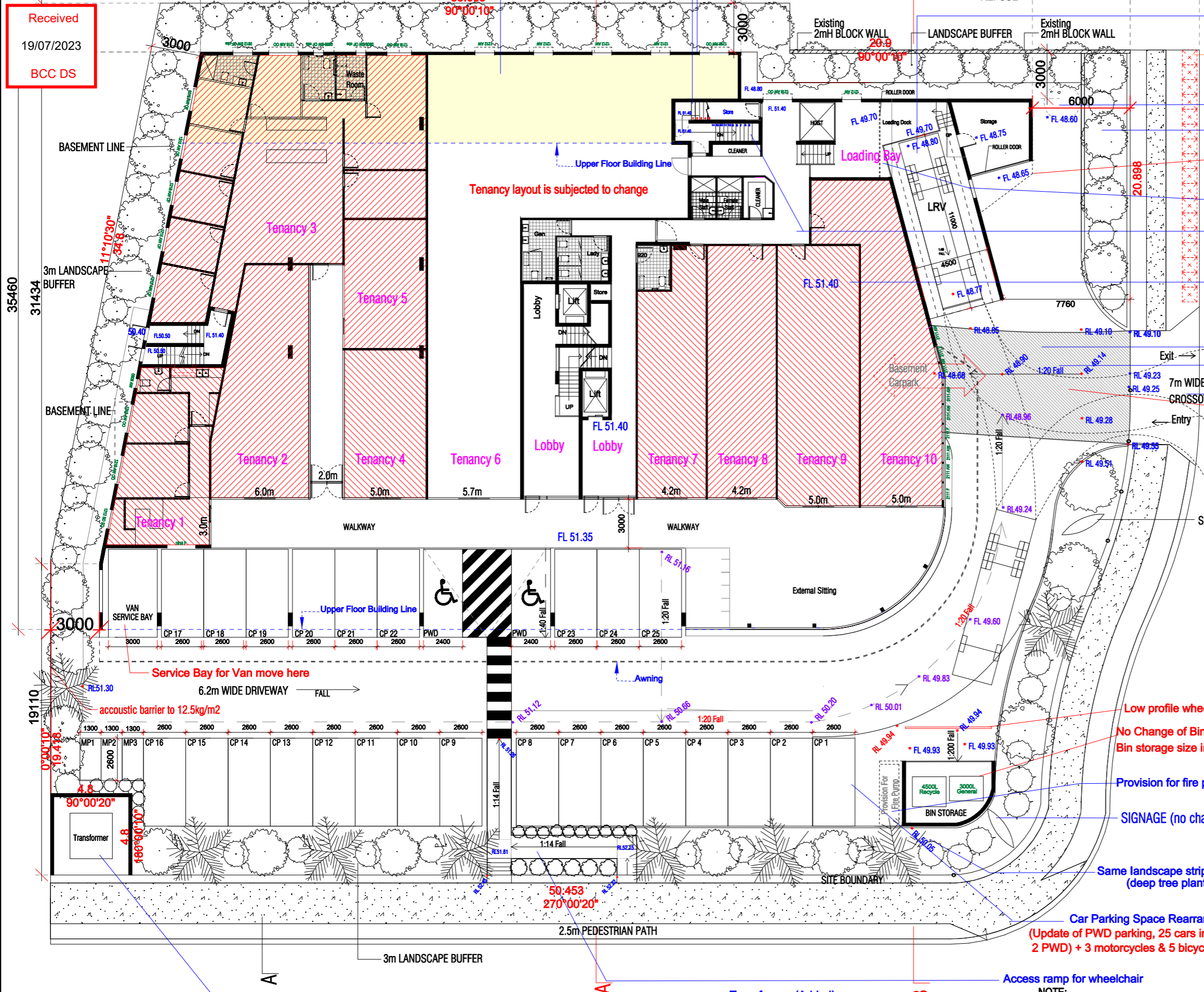
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Use figured dimensions in preference to scale. All dimensions to be verified on site.

Scale: 1:250 (in A3) Wind Category: W33

Date: MAY2011 Job Number: BC 05101

Drawing: DA-A3-CC-01 Issue: 0

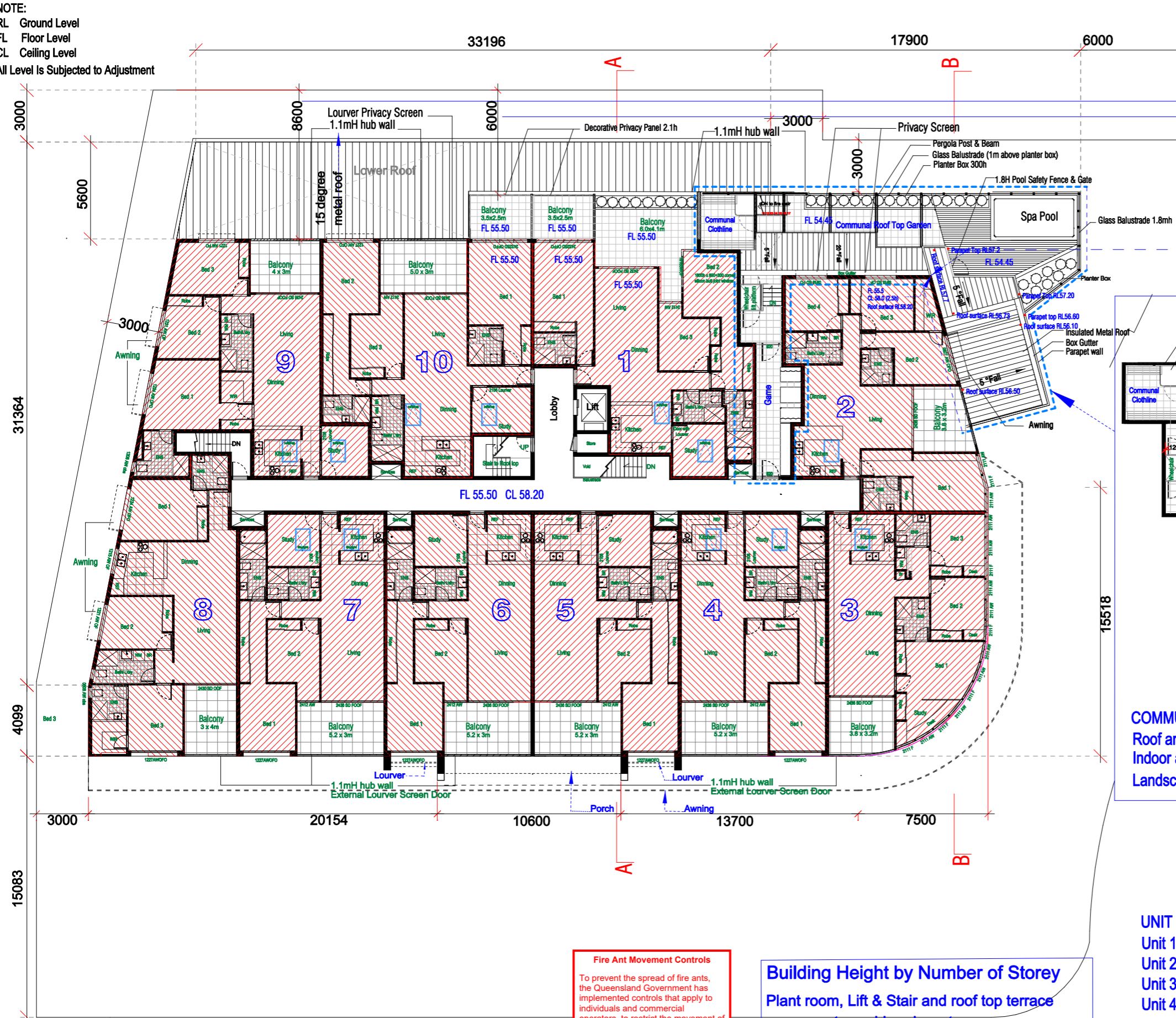


GROUND LEVEL (Convenience Center)

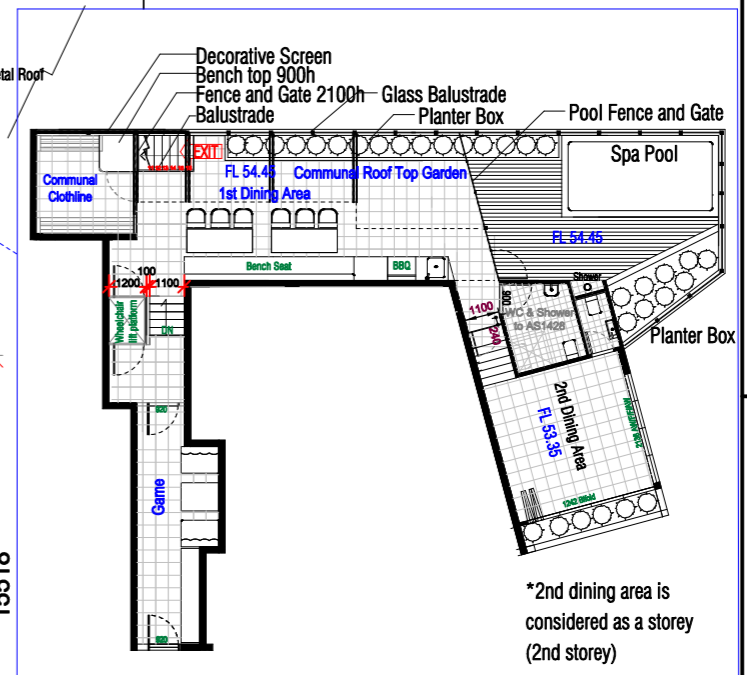
Contour Plan: Bitmap 2002 NGL

NOTE:
 RL Ground Level
 FL Floor Level
 CL Ceiling Level
 All Level is Subjected to Adjust

NOTE:
 RL Ground Level
 FL Floor Level
 CL Ceiling Level
 All Level Is Subjected to Adjustment



MODIFICATION NOTE
 Additional Storey above Convenience Center
 Building Wall Set back from boundary over 8m
 Open Gallery Set back from boundary 6m
 Isolated Fire Stairway Exit
 Communal area step down 1.05m (2.1m below the window sills and Balcony Hub Wall)
 Building Height less than 9.5m above NGL



Communal area (1:250)
 COMMUNAL OPEN SPACE FOR MUD: 170.58m²
 Roof area: 81.01m² (47.49%)
 Indoor area (WC, Shower & 2nd Dining): 31.94m² (18.72%)
 Landscape area: 25.42m² (15.09%)

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Building Height by Number of Storey
 Plant room, Lift & Stair and roof top terrace are not considered as storey
 Area under patio roof of communal area is considered as a storey (2nd storey)
 All other areas are 2nd Storey
 Hence Building is 2 Storey in height

UNIT	DESCRIPTION	BALCONY	GFA
Unit 1	3 B/R + Study	36.05m ²	126.73m ²
Unit 2	4 B/R	12.16m ²	126.09m ²
Unit 3	3 B/R	12.33m ²	116.68m ²
Unit 4	2 B/R + Study	15.00m ²	102.08m ²
Unit 5	2 B/R + Study	15.00m ²	102.05m ²
Unit 6	2 B/R + Study	15.00m ²	102.05m ²
Unit 7	3 B/R + Study	15.00m ²	113.19m ²
Unit 8	3 B/R + Study	12.00m ²	119.33m ²
Unit 9	3 B/R + Study	23.75m ²	141.00m ²
Unit 10	3 B/R + Study		
		168.29m ²	1151.35m ²

INDOOR PUBLIC AREA: 128.58m²



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 Sunnybank Hills Q 4109

Tel: 3216 6628 Fax: 3216 6626

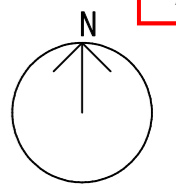
Client :
 JOYFULLAND PTY. LTD

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 Brisbane City Council
 61 Doulton St., Calamvale
 Lot 2 SP 224193
 Brisbane City Council

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Project :
 CONVENIENCE CENTRE

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Scale : 1:250 (in A3)
 Wind Category : W33

Date: MAY2011
 Job Number : BC 05101

Drawing: DA-A3-CC-01B
 Issue: N

UPPER LEVEL (10 Multi-unit Dwellings and Roof top Communal Area) Contour Plan: Bitmap 2002 NGL

60.60. Top of building

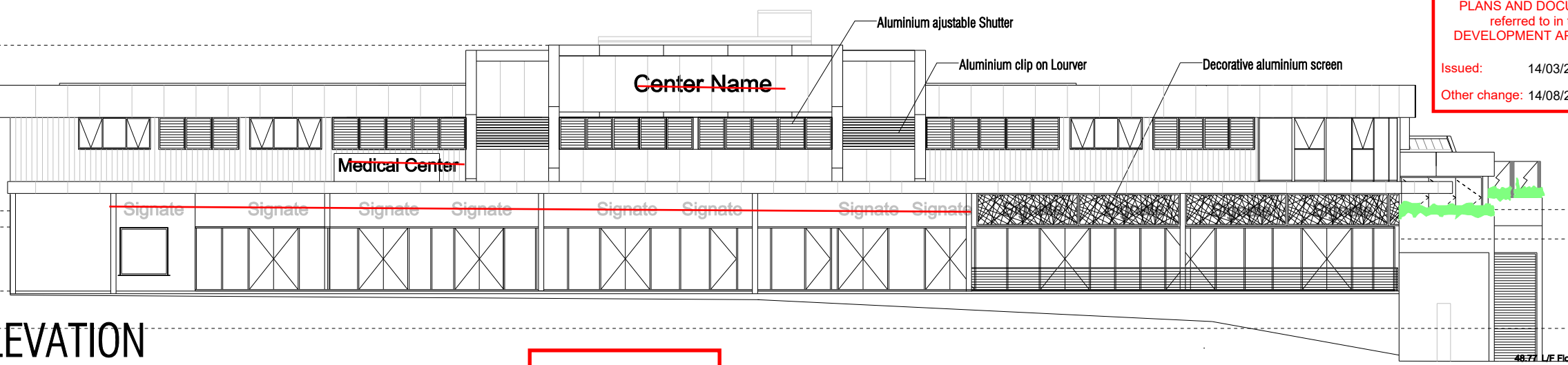
59.10. Top of parapet wall

58.20 Ceiling for U/F
57.90 Joinery

55.50. U/F Floor

54.40 L/F Ceiling
53.80 L/F Joinery

51.40 L/F Floor



SOUTH ELEVATION

Signage not part of approval

AMENDED IN RED
25/07/2023

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Top of building 60.60

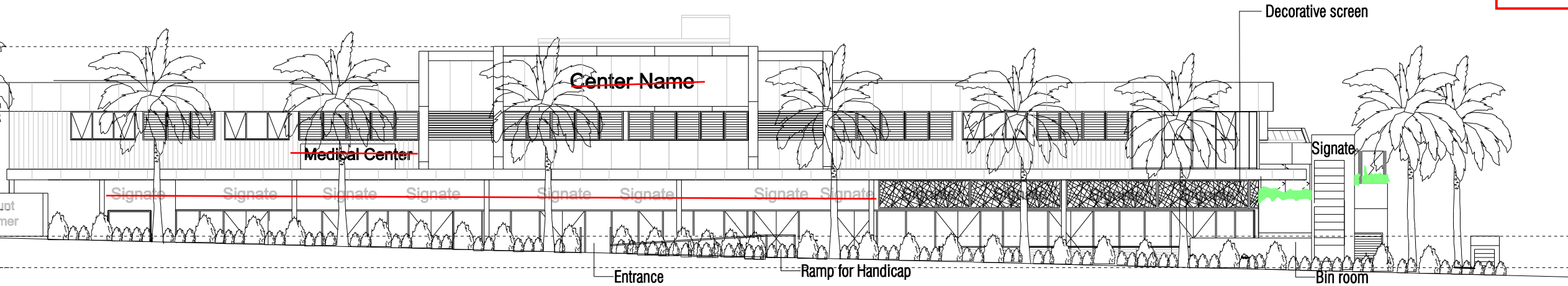
Top of parapet wall 59.10

Ceiling for U/F 58.20
Joinery 57.90

U/F Floor 55.50

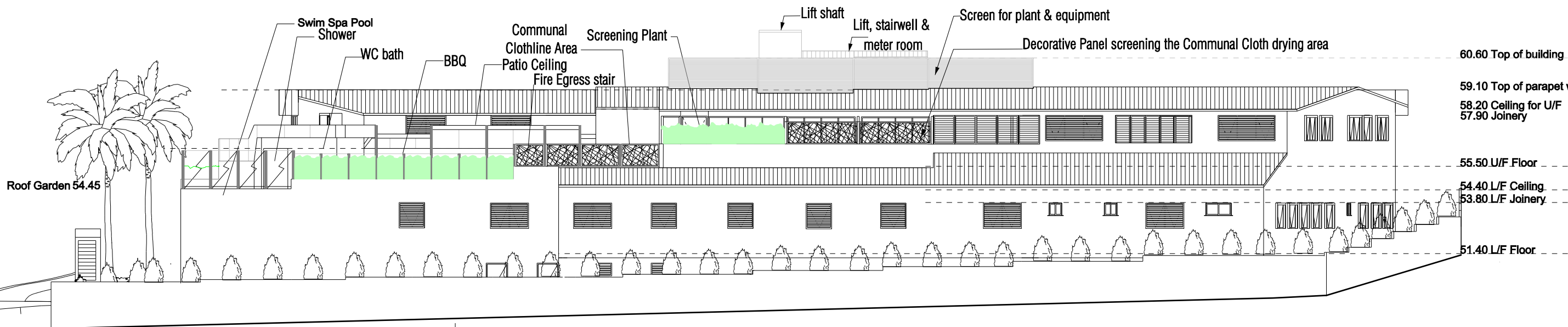
54.40 L/F Ceiling
53.80 L/F Joinery

51.40 L/F Floor



SOUTH ELEVATION- ILLAWEENA STREETSCAPE

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60.60 Top of building

59.10 Top of parapet wall

58.20 Ceiling for U/F
57.90 Joinery

55.50 U/F Floor

54.40 L/F Ceiling
53.80 L/F Joinery

51.40 L/F Floor

NORTH ELEVATION

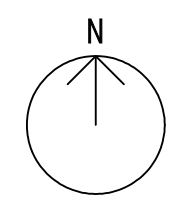


Unit 6, 121 Kerry Road
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Sunnybank Hills Q 4109
Tel: 3216 6628 Fax: 3216 6626

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Scale : 1:250 (in A3)	Wind Category : W33
Date: MAY 2011	Job Number : BC 05101
Drawing: DA-A3-06	Issue: N

GOLDFIELD PROJECTS PTY.LTD. A.C.N 081760830
Building Designers Association of Queensland Inc.
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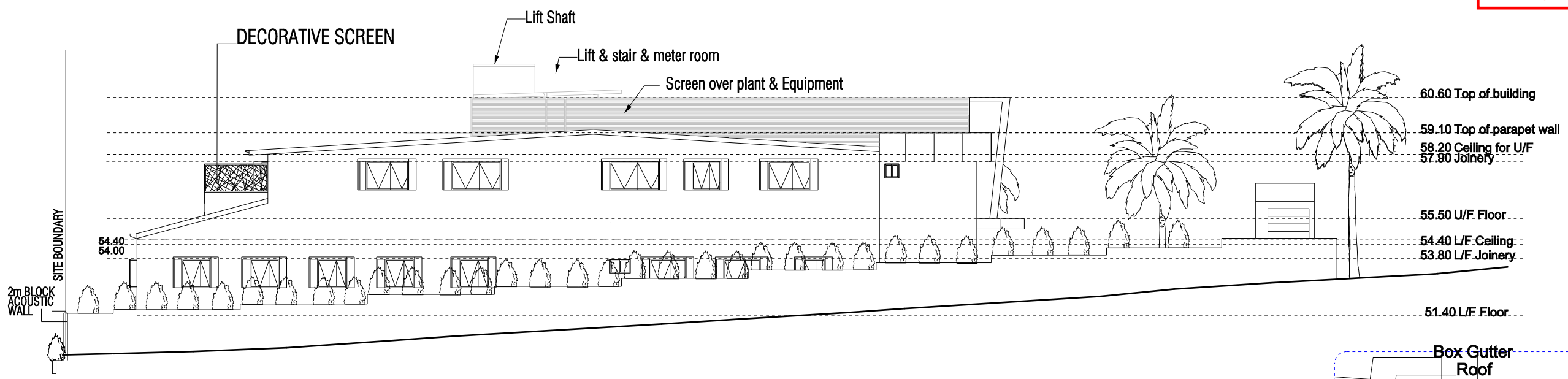
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Fire Ant Movement Controls

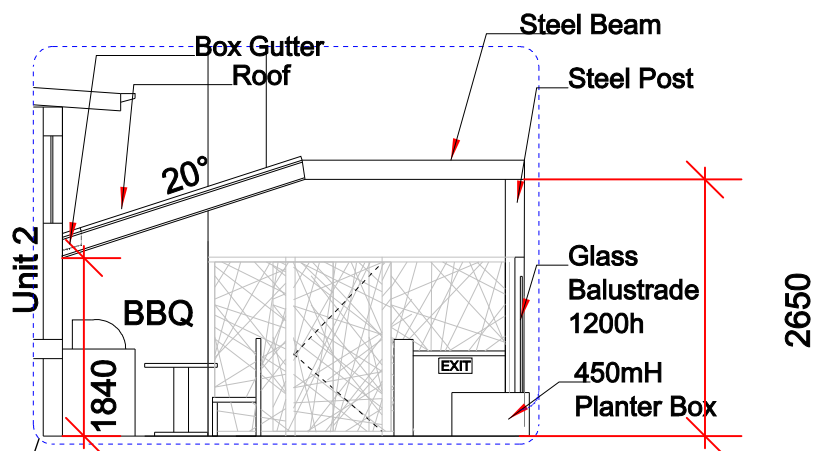
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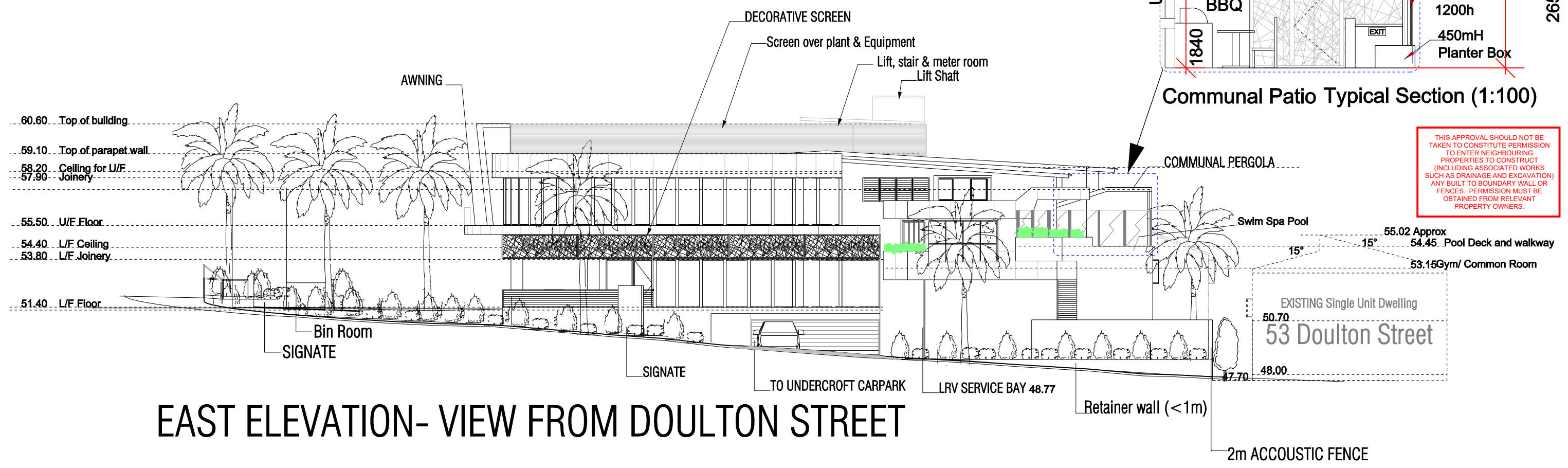


WEST ELEVATION



Communal Patio Typical Section (1:100)

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EAST ELEVATION- VIEW FROM DOULTON STREET



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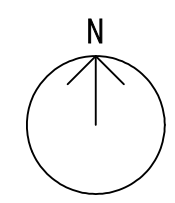
Client :
JOYFULLAND PTY. LTD
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 92-96 Illaweena Street, Drewvale
 Lot 2 RP86394
 Brisbane City Council
 61 Doulton Street, Calamvale
 Lot 2 SP224193

Project : **CONVENIENCE CENTRE + MUD**

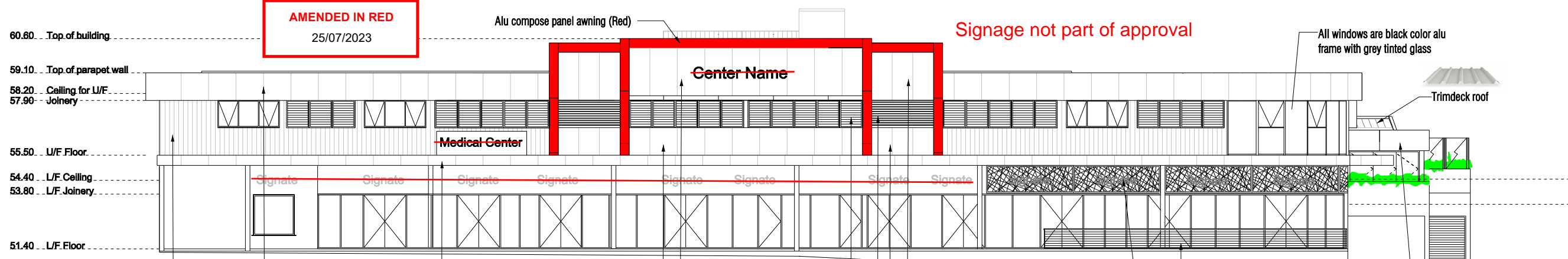
Issue	Date	Description
H	2012-01-25	MODIFICATIONS FOR IR
K	2022-09-05	MODIFICATIONS FOR MIXED USE
L	2022-12-01	IR Amendment
M	2023-03-28	FIR Amendment
N	2023-05-18	Minor adjustment for access

Use figured dimensions in preference to scale. All dimensions to be verified on site.



Scale :
1:250 (in A3)
 Date:
MAY2011
 Drawing:
DA-A3-07

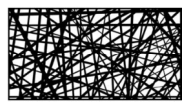
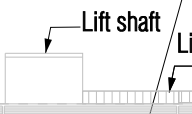
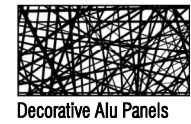
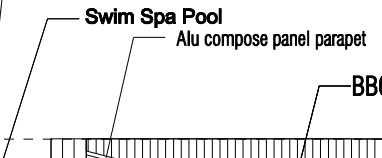
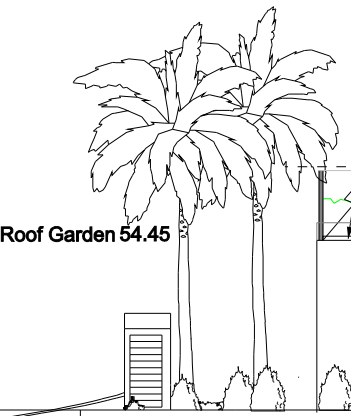
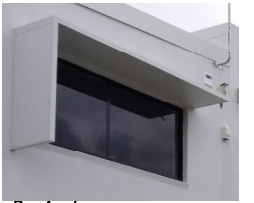
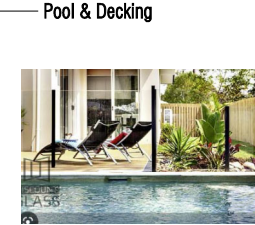
Wind Category :
W33
 Job Number :
BC 05101
 Issue:
N



SOUTH ELEVATION



PLANS AND DOCUMENTS referred to in the **DEVELOPMENT APPROVAL**
 Issued: 14/03/2012
 Other change: 14/08/2023



NORTH ELEVATION

2m HIGH ACCUSTICS FENCING



Unit 6, 121 Kerry Road
 Archerfield Q 4108
 P O Box 3132 Sunnybank South
 Sunnybank Hills Q 4109
 Tel: 3216 6628 Fax: 3216 6626

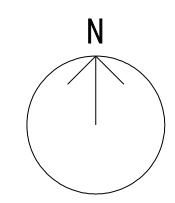
Client : JOYFULLAND PTY. LTD
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M	2022-11-18	IR Amendment
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Scale : 1:250 (in A3)
 Date: MAY 2011
 Drawing: DA-A3-12
 Wind Category : W33
 Job Number : BC 05101
 Issue: N

THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.

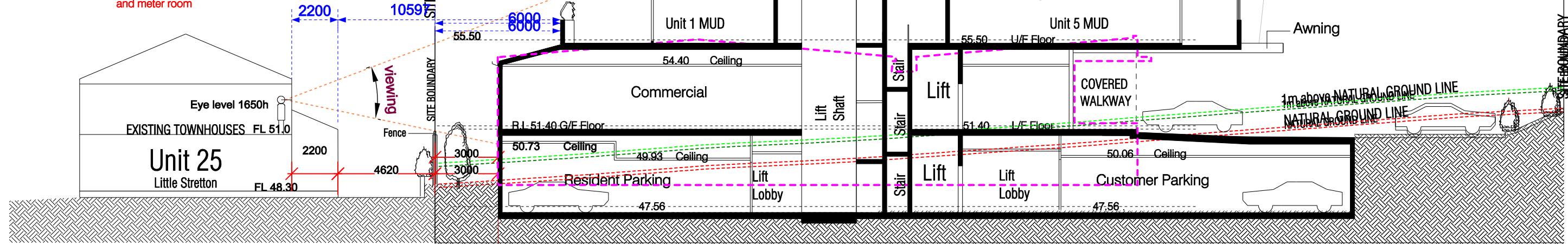
Fire Ant Movement Controls
 To prevent the spread of fire ants, the Queensland Government has implemented controls that apply to individuals and commercial operators, to restrict the movement of materials that could carry fire ants including soil, turf, potted plants, mulch, baled hay or straw, animal manures, mining or quarry products. Penalties apply for non-compliance with the movement controls. If you are unsure of your obligations under the Biosecurity Act 2014 contact the relevant Queensland State Government Department.

BCC DS RECEIVED 30/05/2023 APPLICATION REF A006128526

BCC DS RECEIVED 19/05/2026 APPLICATION REF A007025433

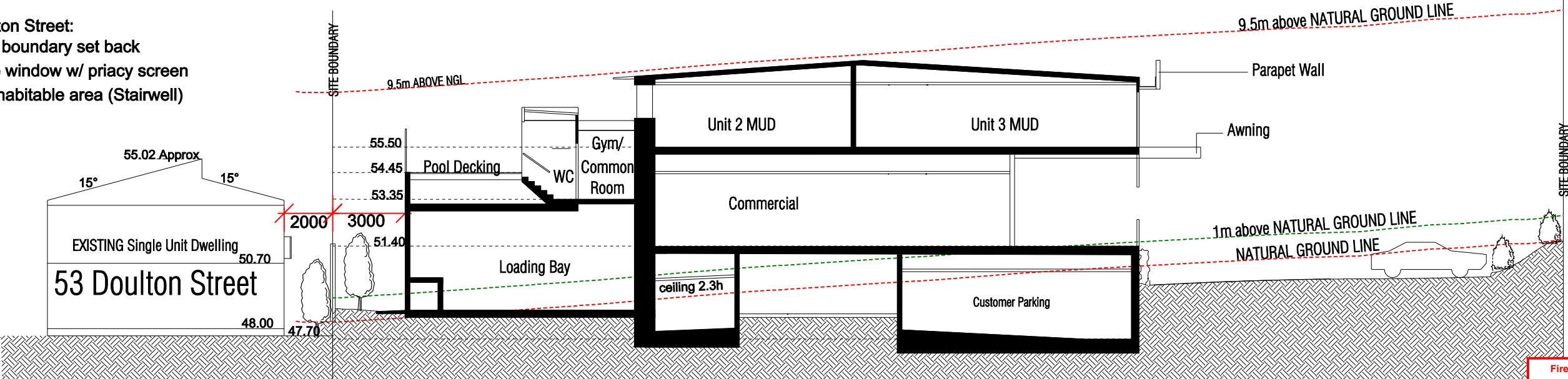
CURRENT APPROVAL BUILDING LINE
(Modification: Ground floor is having the same 3m offset to the boundary but 200 lower than current approval)

Note: The viewing from eye level (1650mmH) at the Upper Floor of unit 25 will not see the roof top plant and equipment area as well as the lift shaft, stairwell and meter room



SECTION A-A (X30000)

53 Doulton Street:
2m side boundary set back
with one window w/ privacy screen
for non-habitable area (Stairwell)



SECTION B-B (X50000)

Fire Ant Movement Controls
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PLANS AND DOCUMENTS
referred to in the
DEVELOPMENT APPROVAL
Issued: 14/03/2012
Other change: 14/08/2023

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GOLDFIELD PROJECTS PTY.LTD. A.C.N 081760830
Building Designers Association of Queensland Inc.
MBA, HIA Member, QBSA Reg. No. 81445

Unit 6, 121 Kerry Road
Archerfield Q 4108
P O Box 3132 Sunnybank South
Sunnybank Hills Q 4109
Tel: 3216 6628 Fax: 3216 6626

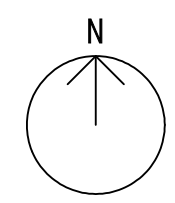
Client :
JOYFULLAND PTY. LTD
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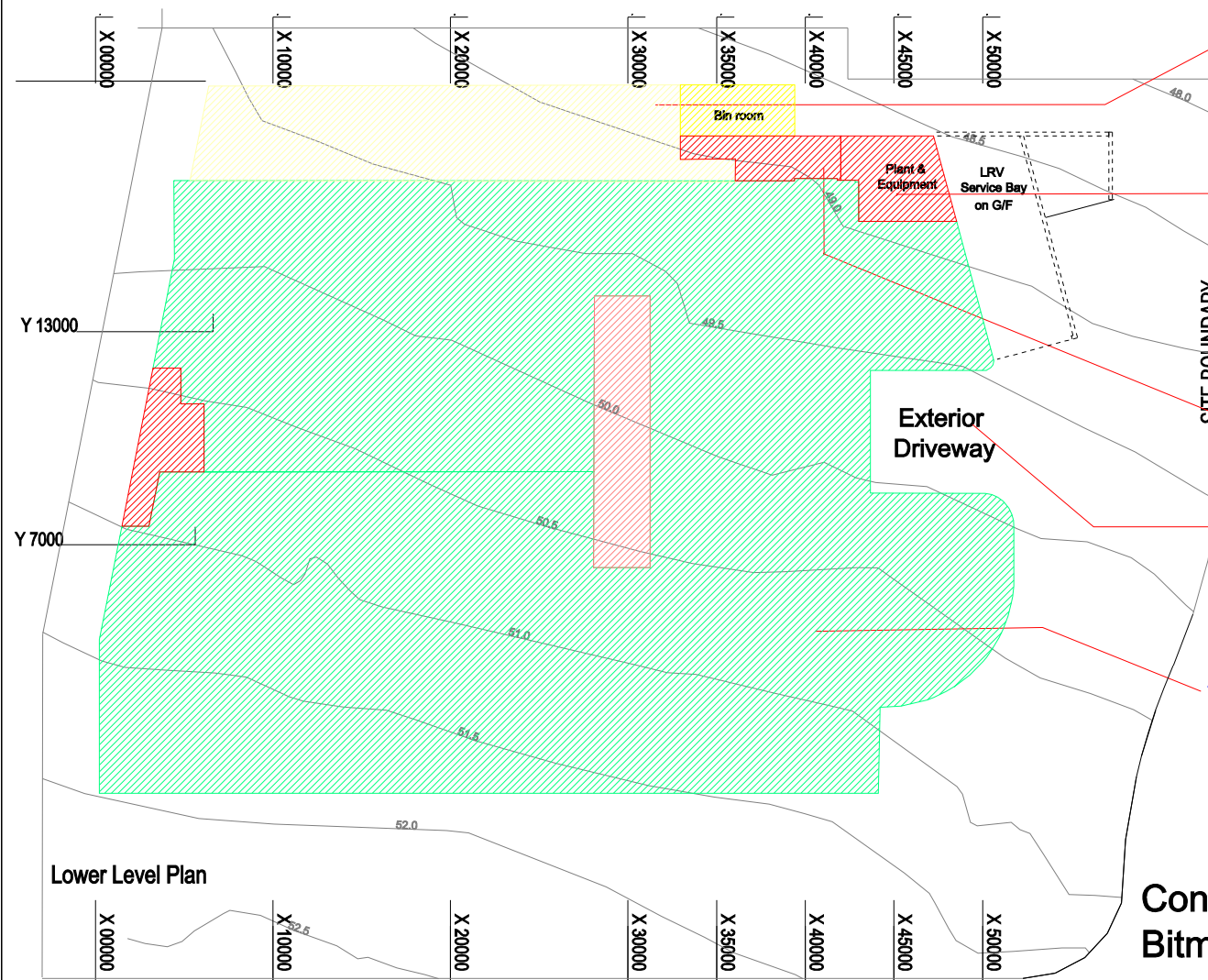
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Scale : 1:250 (in A3)	Wind Category : W33
Date: MAY2011	Job Number : BC 05101
Drawing: DA-A3-08	Issue: N

Building Height by Number of Storey



considered as a storey with ceiling over 1m above NGL



Plant & Equipment Room is not considered as storey



Lift & Stair are not considered as storey



Exterior Driveway is not within a building and is not considered as a storey

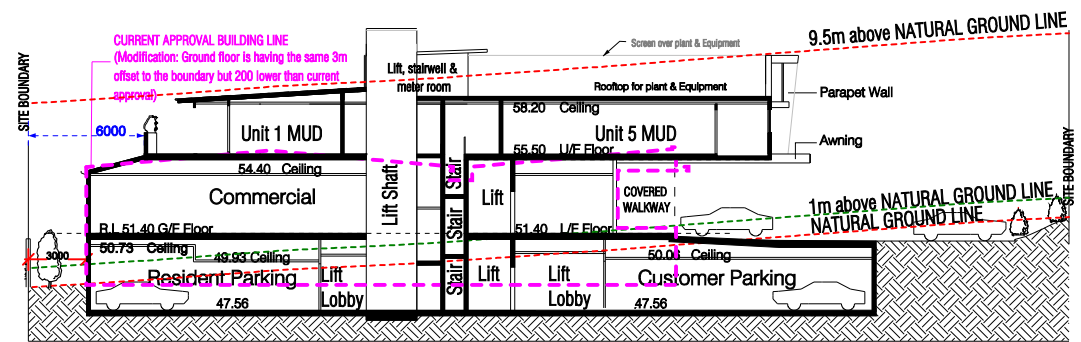
All other areas with a ceiling not more than 1 m above NGL are considered as not a storey



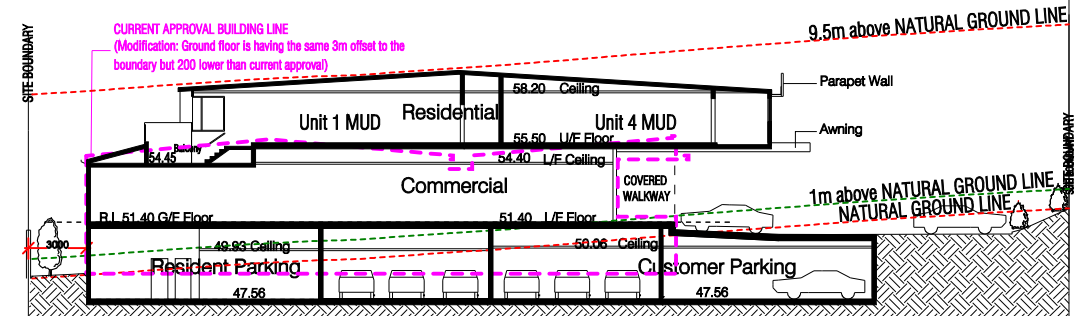
Contour Plan:
Bitmap 2022 NGL

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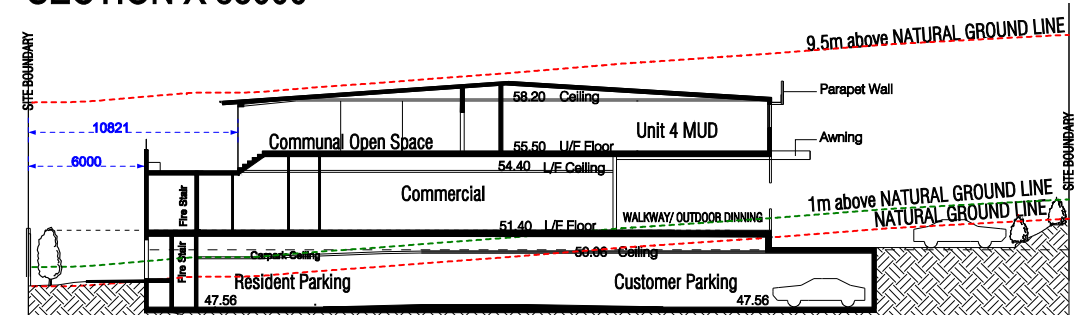
BCC DS RECEIVED 19/05/2026 APPLICATION REF A007025433



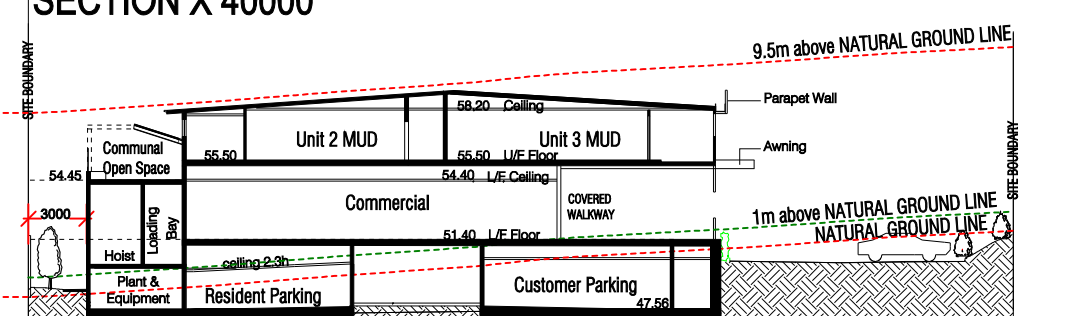
SECTION X 30000



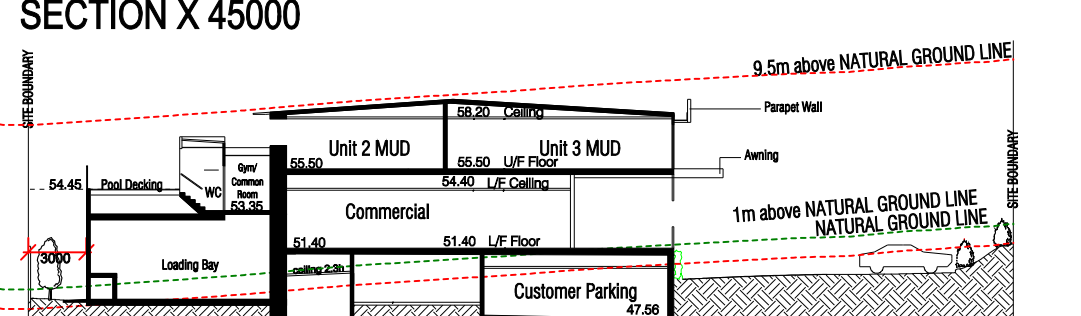
SECTION X 35000



SECTION X 40000



SECTION X 45000

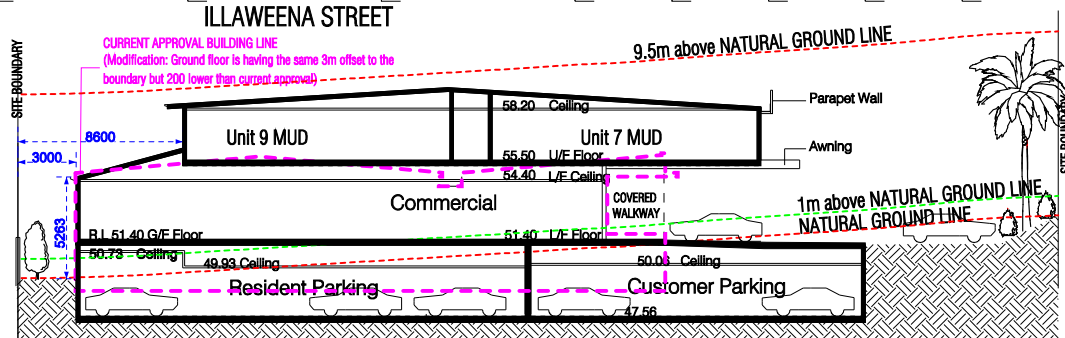


SECTION X 50000

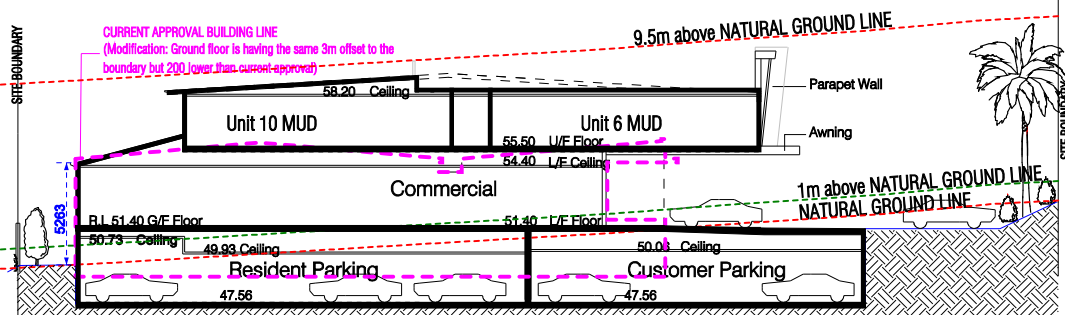
PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL
 Issued: 14/03/2012
 Other change: 14/08/2023

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SECTION X 10000



SECTION X 20000



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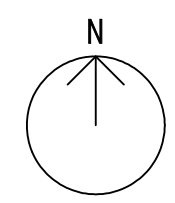
Client :
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Scale : 1:500 (in A3)	Wind Category : W33
Date: MAY2011	Job Number : BC 05101
Drawing: DA-A3-09	Issue: N