

BCC DS  
 RECEIVED  
 08/05/2026  
 APPLICATION REF  
 A006953910

**LEGEND:**

- Typical 3 chord truncation a corners adjoining 2 roads.
- Waterway Corridor
- Q100 Flood Line
- Waterway Corridor Extents
- Bushfire Covenant Area  
Bushfire Management Zone (BMZ)
- Environmental Covenant Area  
Environmental Protection Zone (EPZ)
- Fauna movement fences are required for external EPZ boundaries
- Road Reserve

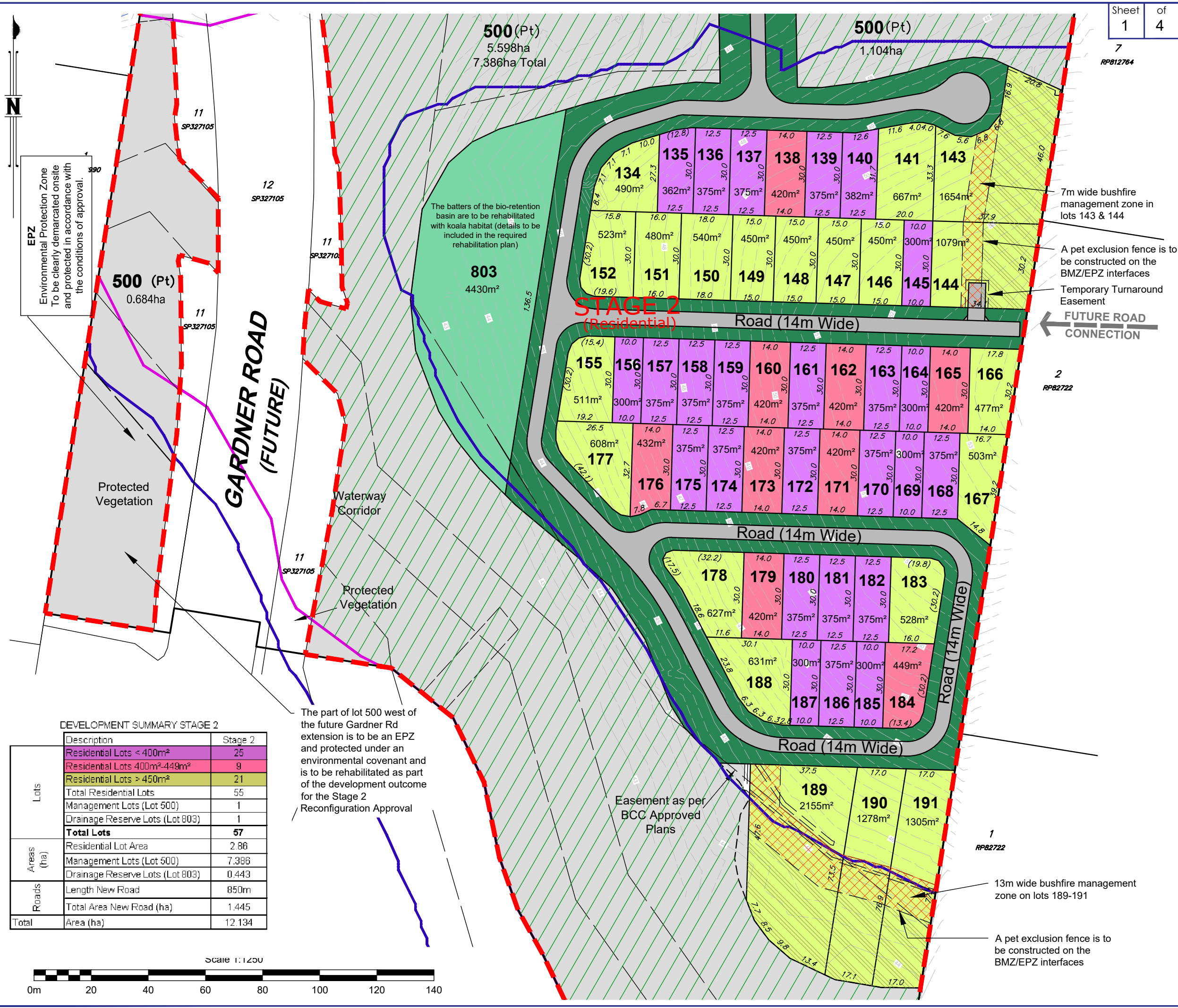
**NOTES:**

1. Drawn to scale on an A3 sheet.
2. All dimensions and areas are subject to final survey and approval by B.C.C.
3. Lots 134-191 are intended for residential purposes; Lot 803 is intended for drainage purposes to be dedicated to Council; and Lot 500 is intended as a balance lot subject to future development application.

Issue	Revision	Int	Date
U	Minor Edit	PL	05/05/2026
T	Setback added	DR	17/04/2026
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C	24m Fire Setback line Removed	DJL	12/12/2018
B	Updated Roads and Lots	DJL	06/12/2018
A	Original Issue		

Title:  
**Plan of Proposed Subdivision**  
 309 Priestdale Road, Rochedale  
 (Described as Lot 400 on SP306488)

Client:	<b>R&amp;F PROPERTY AUSTRALIA PTY LTD</b>
Locality:	ROCHEDALE
Local Gov:	BCC
Prepared By:	DJL
Surveyed By:	Approved: CTS
Date Created:	15/11/2018
Scale:	1:1250
Comp File:	160025.PROJECT
Plan No:	<b>160025_009_PRO</b>



**DEVELOPMENT SUMMARY STAGE 2**

Description	Stage 2
Residential Lots < 400m <sup>2</sup>	25
Residential Lots 400m <sup>2</sup> -449m <sup>2</sup>	9
Residential Lots > 450m <sup>2</sup>	21
Total Residential Lots	55
Management Lots (Lot 500)	1
Drainage Reserve Lots (Lot 803)	1
<b>Total Lots</b>	<b>57</b>
Residential Lot Area	2.86
Management Lots (Lot 500)	7.386
Drainage Reserve Lots (Lot 803)	0.443
Length New Road	850m
Total Area New Road (ha)	1.445
<b>Total Area (ha)</b>	<b>12.134</b>

The part of lot 500 west of the future Gardner Rd extension is to be an EPZ and protected under an environmental covenant and is to be rehabilitated as part of the development outcome for the Stage 2 Reconfiguration Approval

Easement as per BCC Approved Plans

13m wide bushfire management zone on lots 189-191

A pet exclusion fence is to be constructed on the BMZ/EPZ interfaces

7m wide bushfire management zone in lots 143 & 144

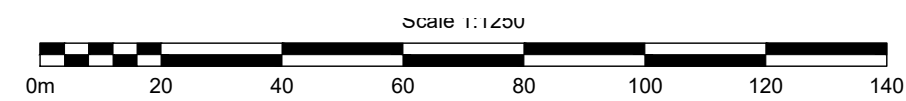
A pet exclusion fence is to be constructed on the BMZ/EPZ interfaces

Temporary Turnaround Easement

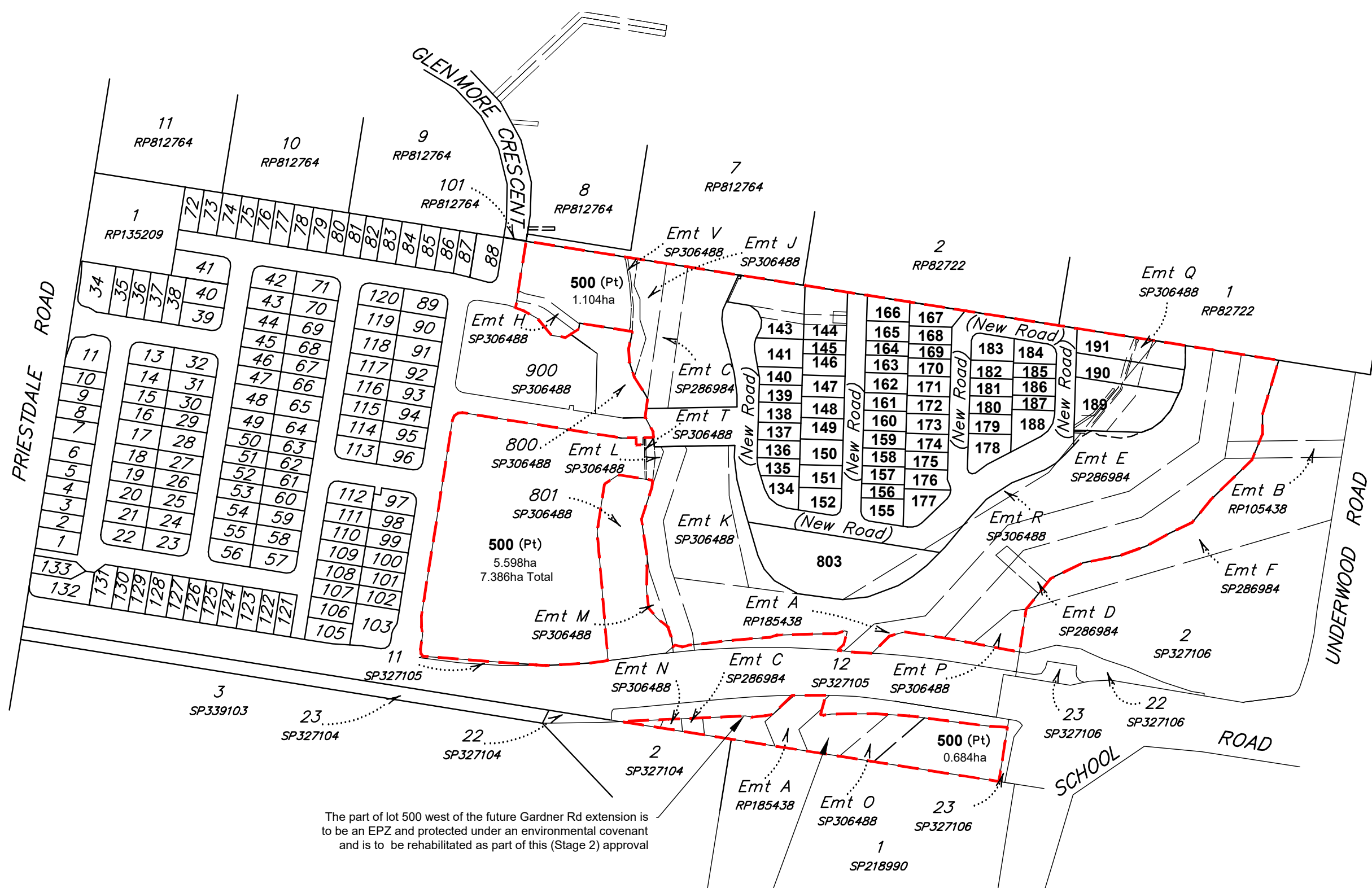
**FUTURE ROAD CONNECTION**

**STAGE 2 (Residential)**

**EPZ**  
 Environmental Protection Zone  
 To be clearly demarcated onsite and protected in accordance with the conditions of approval.



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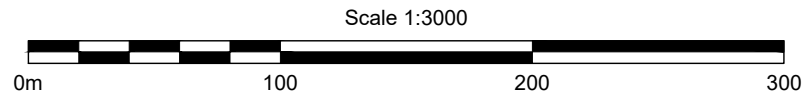
**EPZ**  
 Environmental Protection Zone  
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Local Gov:	BCC Prepared By: DJL
Surveyed By:	Approved: CTS
Date Created:	15/11/2018 Scale: 1:3000
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**PLAN OF DEVELOPMENT**

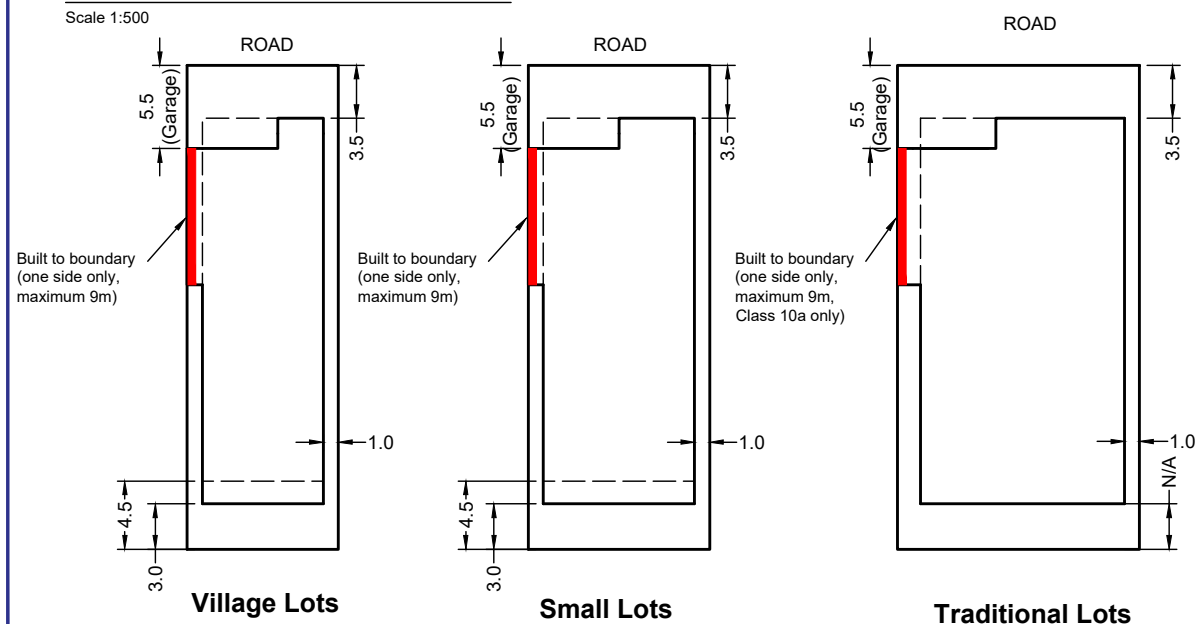
	Village Lots Lots 400m <sup>2</sup> or less		Small Lots Lots 401m <sup>2</sup> - 449m <sup>2</sup>		Traditional Lots Lots 450m <sup>2</sup> or greater	
	Ground	First	Ground	First	Ground	First
<b>Dwelling Setbacks</b>						
Front (Building)	3.5m		3.5m		3.5m	
Front (Garage)	5.5m	N/A	5.5m	N/A	5.5m	N/A
Rear	3.0m	4.5m	3.0m	4.5m	N/A	
Side (Built to Boundary)	Optional - one side only up to 9m long	1.0m	Optional - one side only up to 9m long	1.0m	Optional - one side only up to 9m long, Class 10a only	1.0m
Side (Non Built to Boundary)	1.0m		1.0m		1.0m	
<b>Corner Allotment Setbacks</b>						
Secondary Frontage	N/A		2.0m		2.5m	
Site Coverage (Maximum)	60%		50%		50%	
Minimum Vehicle Accommodation	Minimum of 2 car parking spaces provided on-site of which 1 space is to be covered and enclosed. Single, tandem or double garage acceptable (maximum width of 6.0m)					
Open Space (Minimum)	20% (including minimum 4m x 4m primary open space area, which may or may not be covered)		20% (including minimum 5m x 5m primary open space area, which may or may not be covered)		N/A	
Building Height	2 storeys (7.5m in height at rear & side walls, increasing at no more than 30° to a maximum height of 9.5m above ground level).					
Maximum Building Length	25.0m					

**DEVELOPMENT CONTROL NOTES**

- Setbacks shown are measured to wall.
- Site cover is defined as the portion of the site, expressed as a percentage, that will be covered by building for structure, measured to its outermost projection, after the development is carried out.
- Exemptions to site cover and setbacks are to be assessed in accordance with Section 1.7.6 of City Plan 2014.
- For corner allotments the secondary frontage of the site is deemed to be the frontage which fronts the lower order road or, if both roads are of the same order, the secondary frontage is the frontage of greater dimension.
- A maximum of one driveway per dwelling is permitted
- Driveway to comply with BCC guidelines at the time of construction.
- All dwellings are to front the street and display a visible pedestrian entrance from the street.
- Any built to boundary wall (for habitable and non-habitable has a maximum height of 3.5m and contain no openings.
- Built to boundary walls and garages to be located as per the approved Plan of Development.
- Areas within the bushfire setback zone are suitable for non-habitable structures and open space uses, including but not limited to pool, tennis court, garden shed, etc. provided these meet the requirements of the bushfire report.

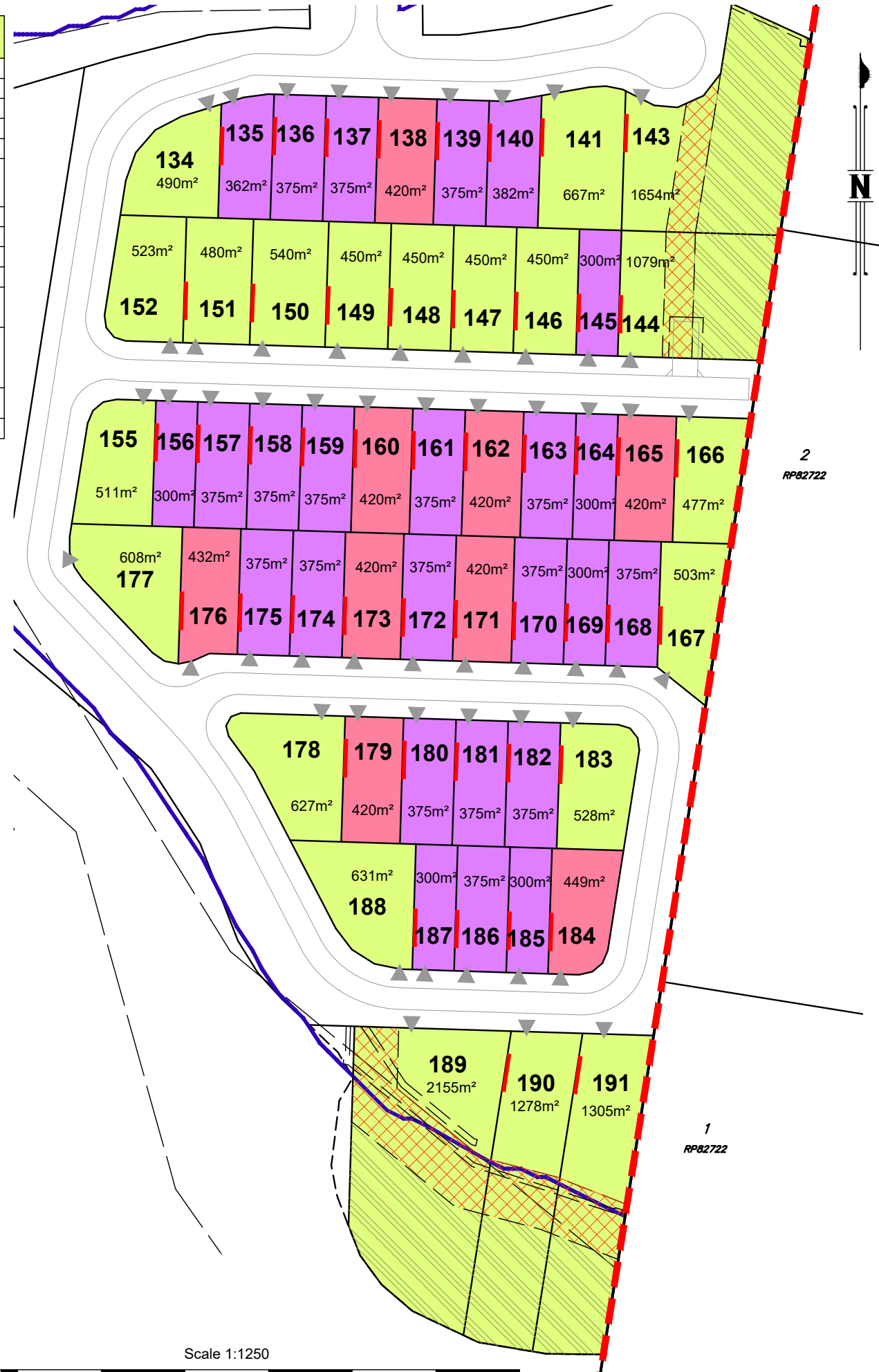
**BUILDING ENVELOPE DIAGRAM**

Scale 1:500



**LEGEND**

- Optional Built to Boundary Wall Location
- Wall (Ground Level)
- - - Wall (First Level)
- ▲ Preferred Driveway Access Point
- Q100 Flood Line
- Bushfire Setback Line
- ▨ Bushfire Covenant Area
- ▩ Environmental Covenant Area



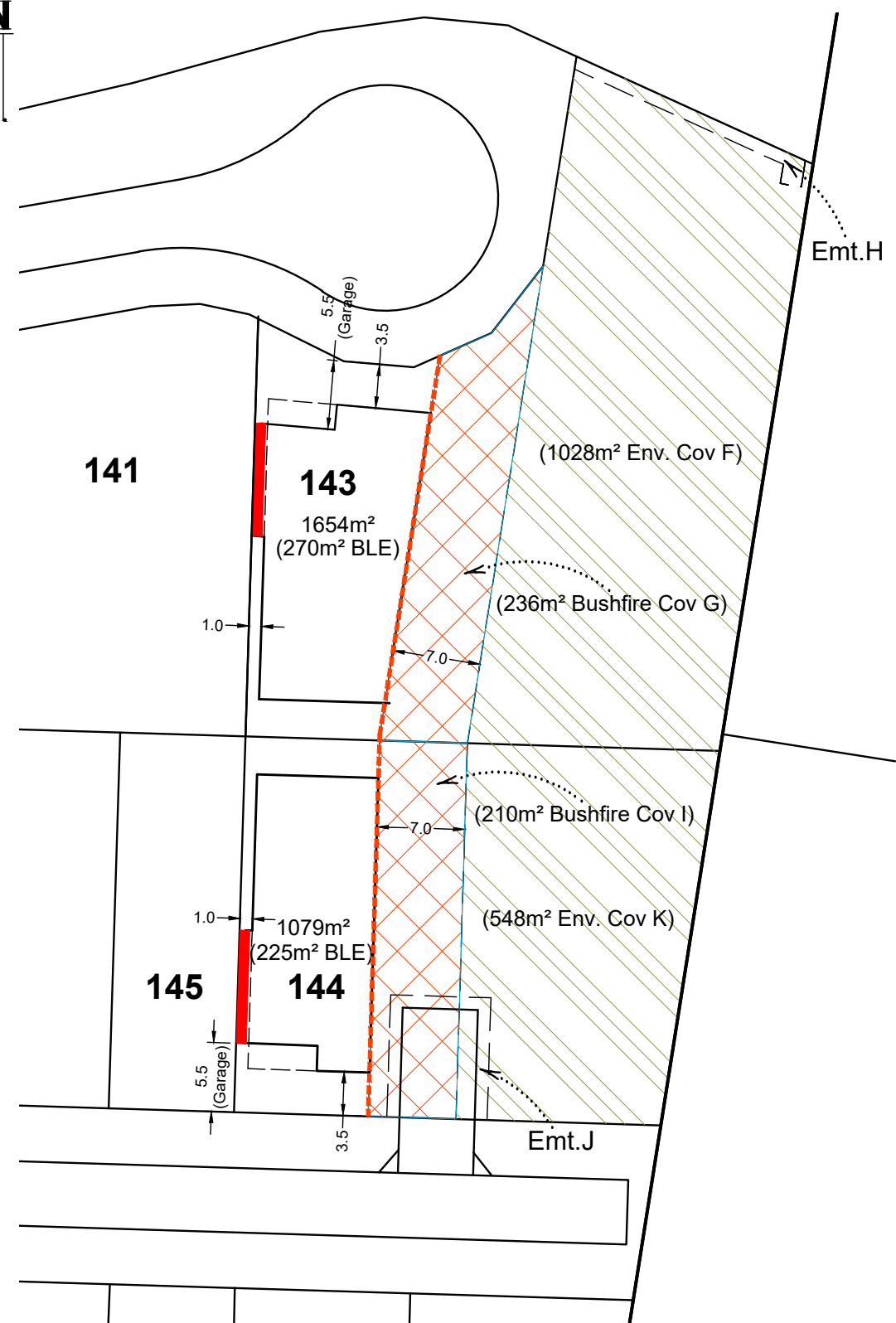
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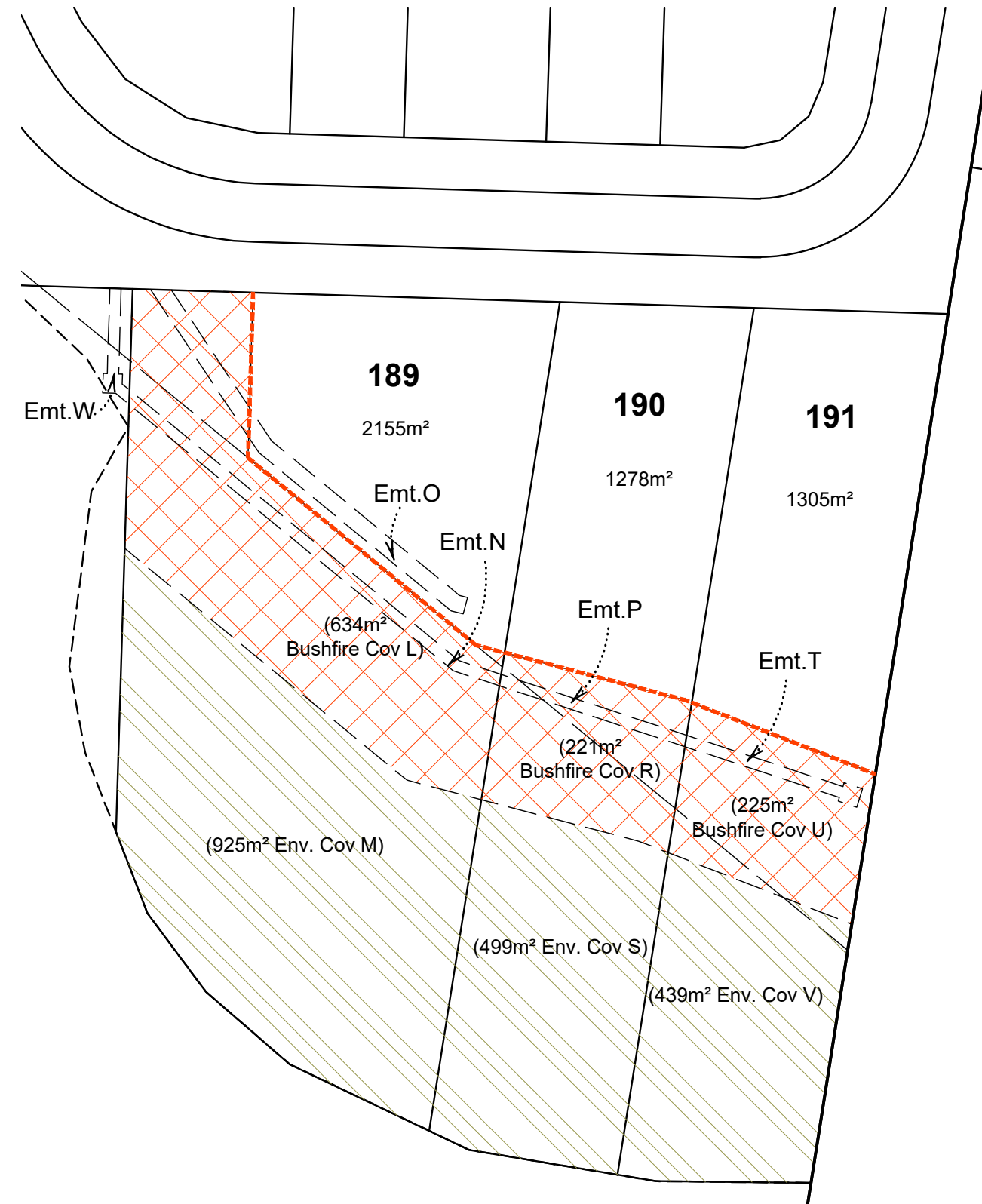
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Lot Detail - Lots 143 & 144



Lot Detail - Lots 189-191

**LEGEND**

- Wall (Ground Level)
- - - Wall (First Level)
- - - - Bushfire Setback Line
- ▨ Bushfire Covenant Area  
Bushfire Management Zone (BMZ)
- ▨ Environmental Covenant Area  
Environmental Protection Zone (EPZ)

Fauna movement fences are required for external EPZ boundaries

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