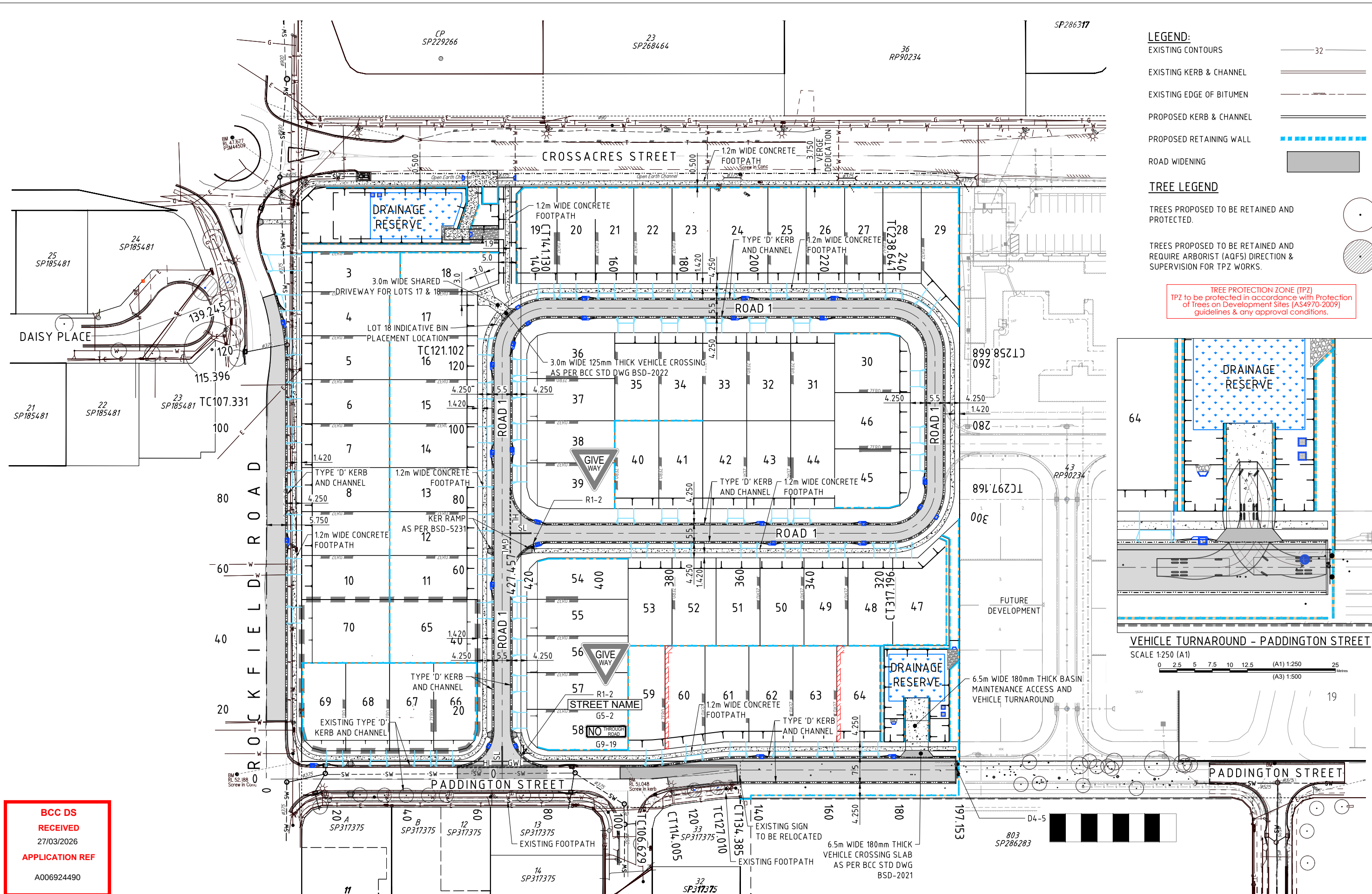
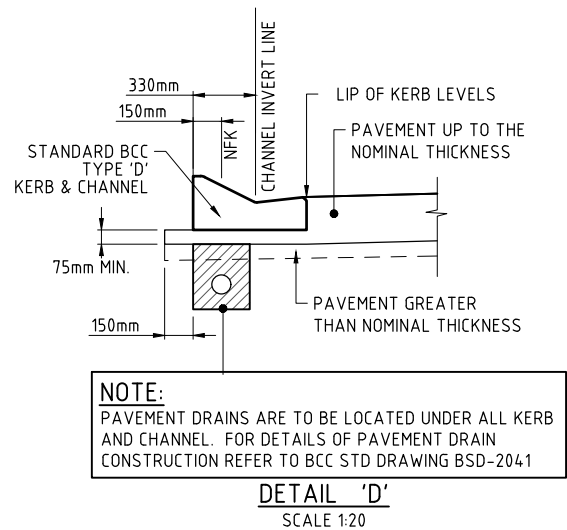
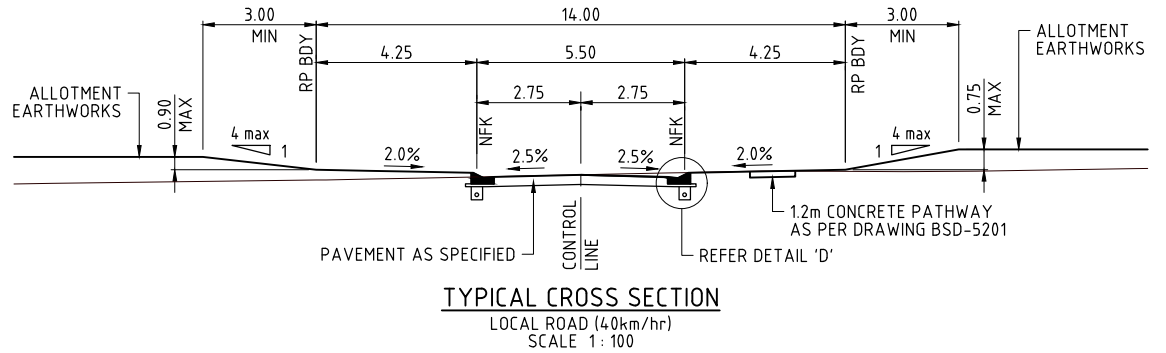
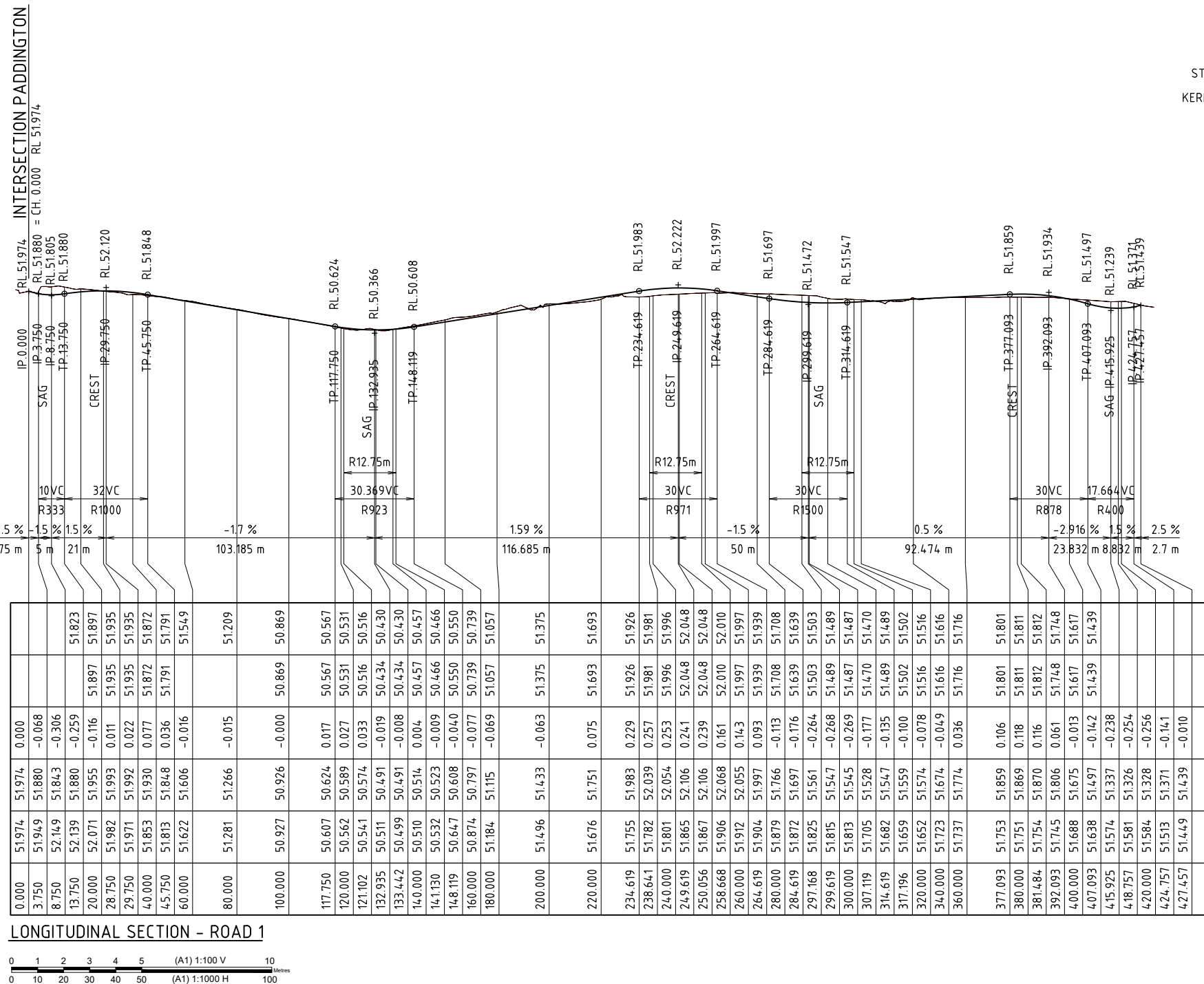




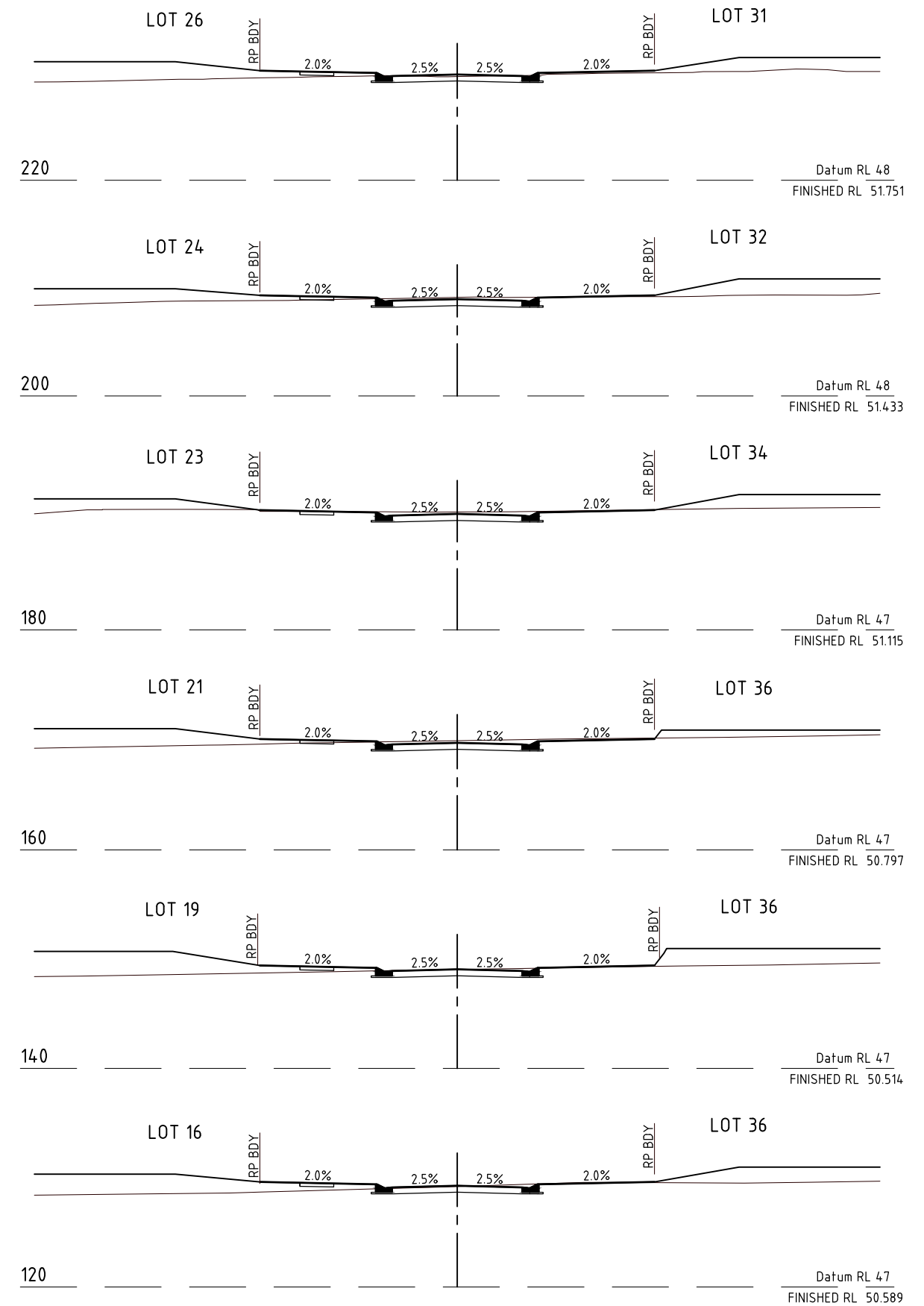
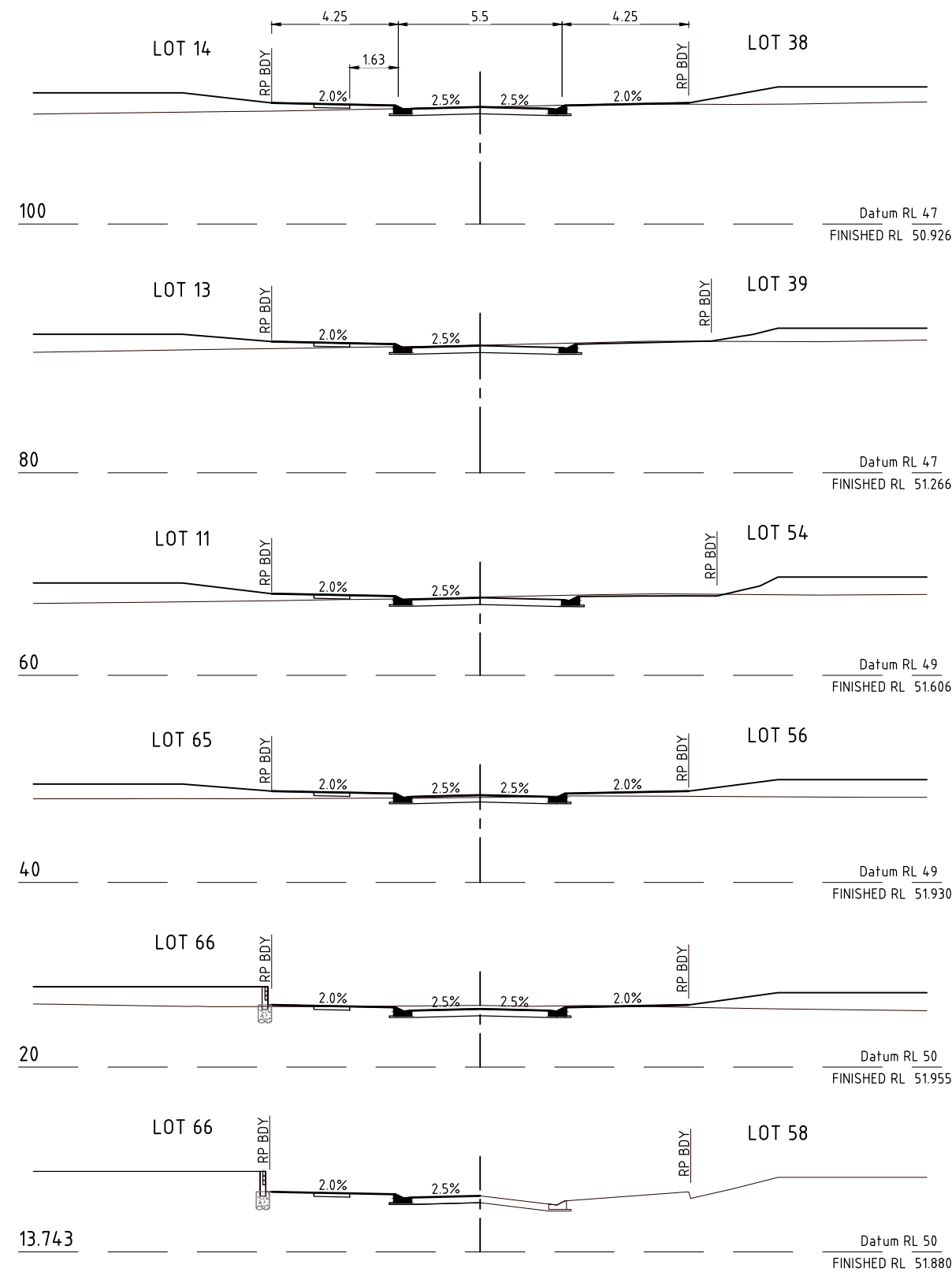
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V.C.LENGTH (m)  
RADIUS OF CURVATURE  
TANGENT GRADE (%)  
DISTANCE IP-IP

DATUM R.L.40.0

| LHS LIP OF<br>KERB LEVELS            |
|--------------------------------------|
| RHS LIP OF<br>KERB LEVELS            |
| CUT (-ve)<br>FILL                    |
| PAVEMENT LEVELS<br>ALONG CONTROLLINE |
| SURFACE LEVELS<br>ALONG CONTROLLINE  |
| PEGGED CHAINAGE<br>ALONG CONTROLLINE |

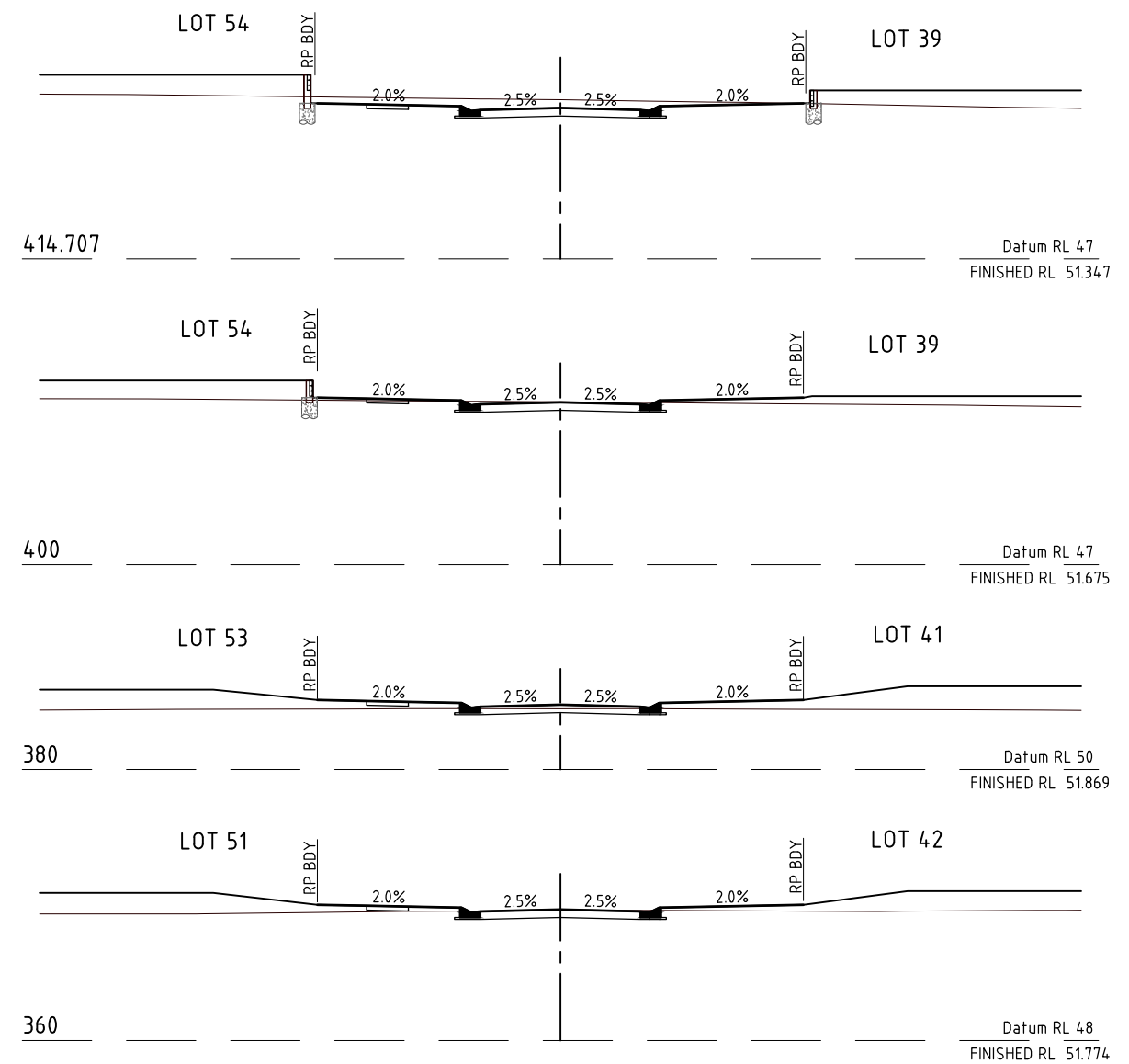
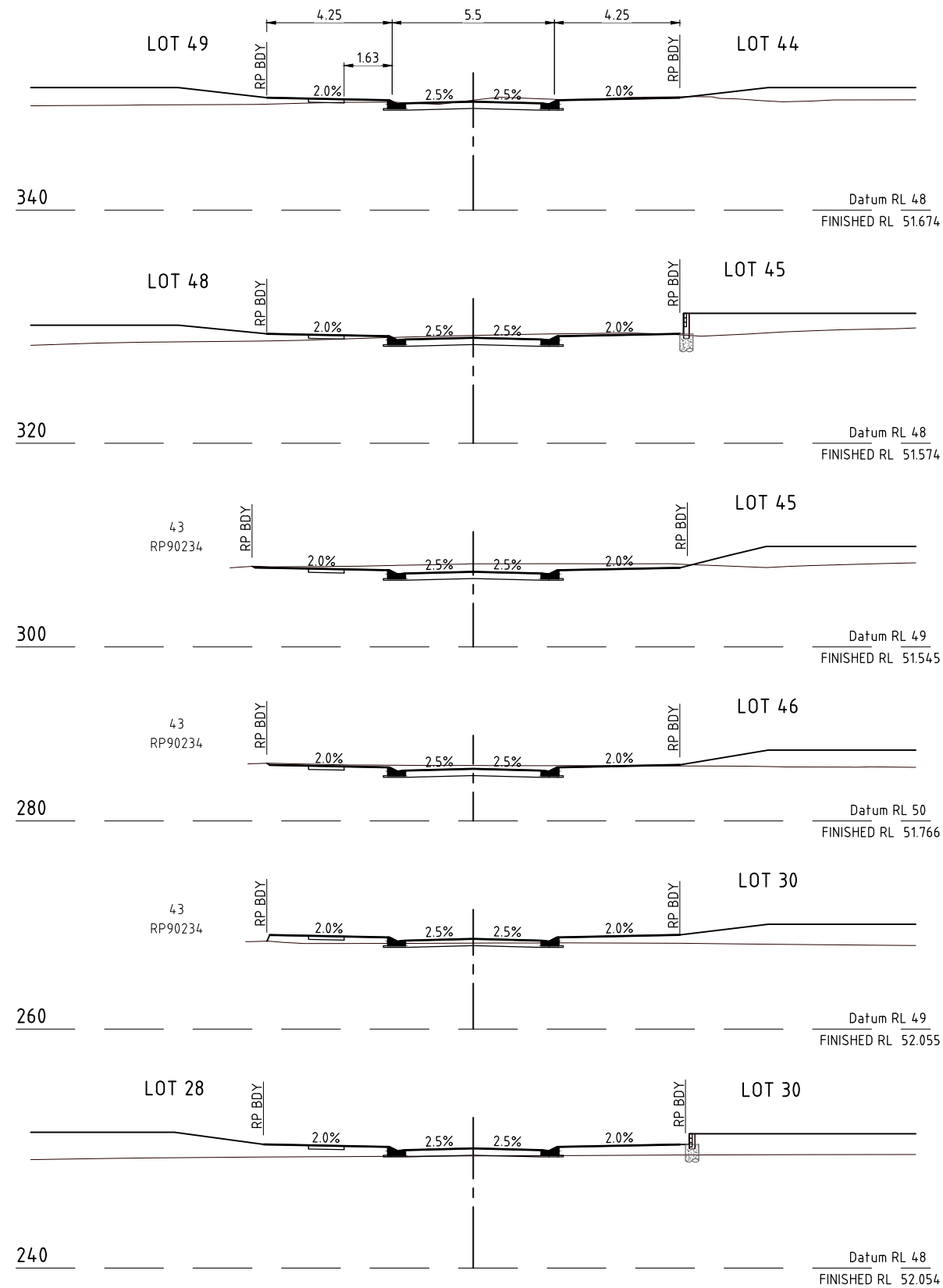


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CROSS SECTIONS - ROAD 1

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CROSS SECTIONS - ROAD 1

## ENGINEERING CONCEPT - ROADWORKS CROSS SECTIONS - ROAD 1 SHEET 2 OF 2

76-92 CROSSACRES STREET, DOOLANDELLA  
ADC GROUP NO. 19 PTY LTD

PLANNERS  
URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

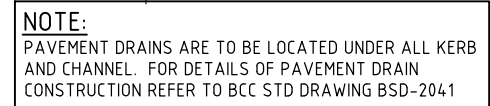
BRISBANE - SUNSHINE COAST - CENTRAL QLD  
BRISBANE  
JFP House - 76 Ernest Street,  
South Brisbane Qld 4101  
P 07 3012 0100 W www.jfp.com.au  
JFP URBAN CONSULTANTS PTY. LTD. A.C.N. 050 414 045



JOB NO: B4687EA1\_DA5 CT04  
SCALE: 1:500 @ A1  
DATE: February 2026  
DRAFTED BY: GS  
FILE NAME: B4687EA1\_DA5.DWG  
ISSUE: B

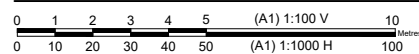
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APPLICATION REF  
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DETAIL 'D'

SCALE 1:20



HORIZ. CURVE DATA  
V.C.LENGTH (m)  
RADIUS OF CURVATURE  
TANGENT GRADE (%)  
DISTANCE IP-IP

DATUM R.L.38.0

|                                      |
|--------------------------------------|
| LHS LIP OF<br>KERB LEVELS            |
| RHS LIP OF<br>KERB LEVELS            |
| CUT (-ve)<br>FILL                    |
| PAVEMENT LEVELS<br>ALONG CONTROLLINE |
| SURFACE LEVELS<br>ALONG CONTROLLINE  |
| PEGGED CHAINAGE<br>ALONG CONTROLLINE |

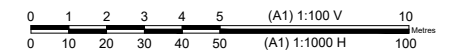
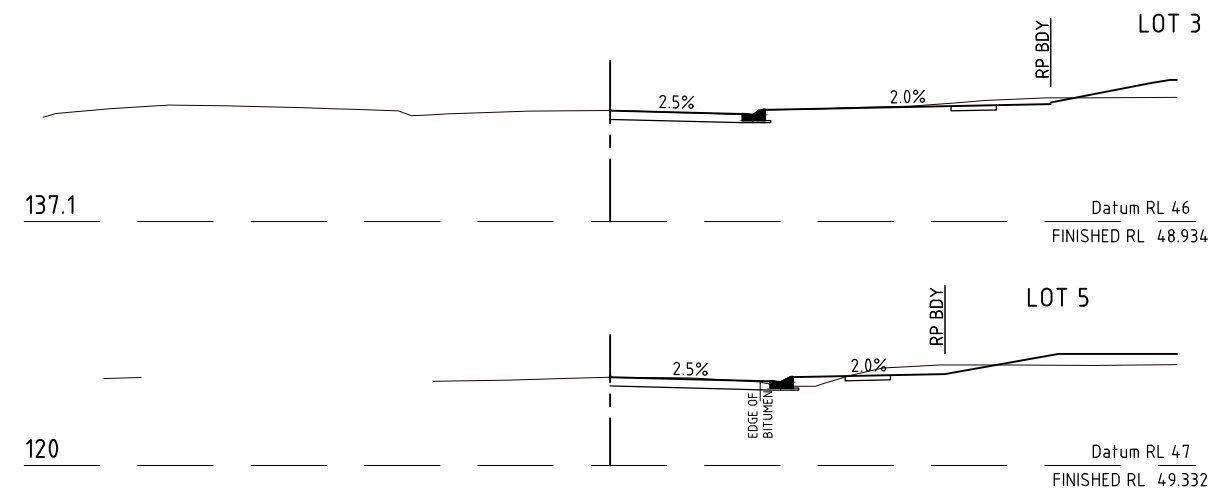
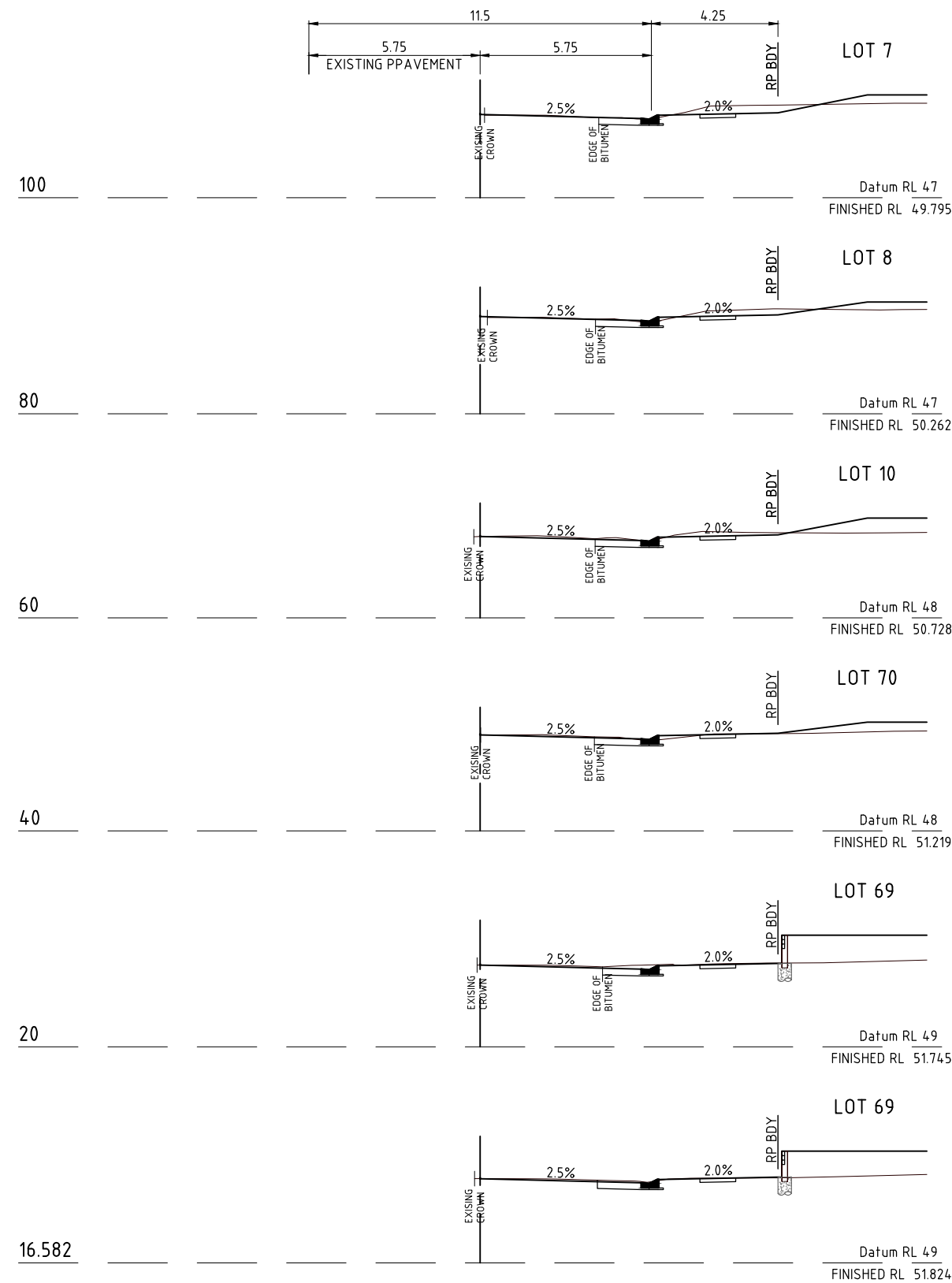
## ENGINEERING CONCEPT - ROADWORKS LONGITUDINAL SECTION - ROCKFIELD ROAD

76-92 CROSSACRES STREET, DOOLANDELLA  
ADC GROUP NO. 19 PTY LTD



| JOB NO:      | PLAN:                       | ISSUE: |
|--------------|-----------------------------|--------|
| B4687EA1_DA5 | CT05                        | B      |
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| DATE:        | February 2026               |        |
| DRAFTED BY:  | GS                          |        |
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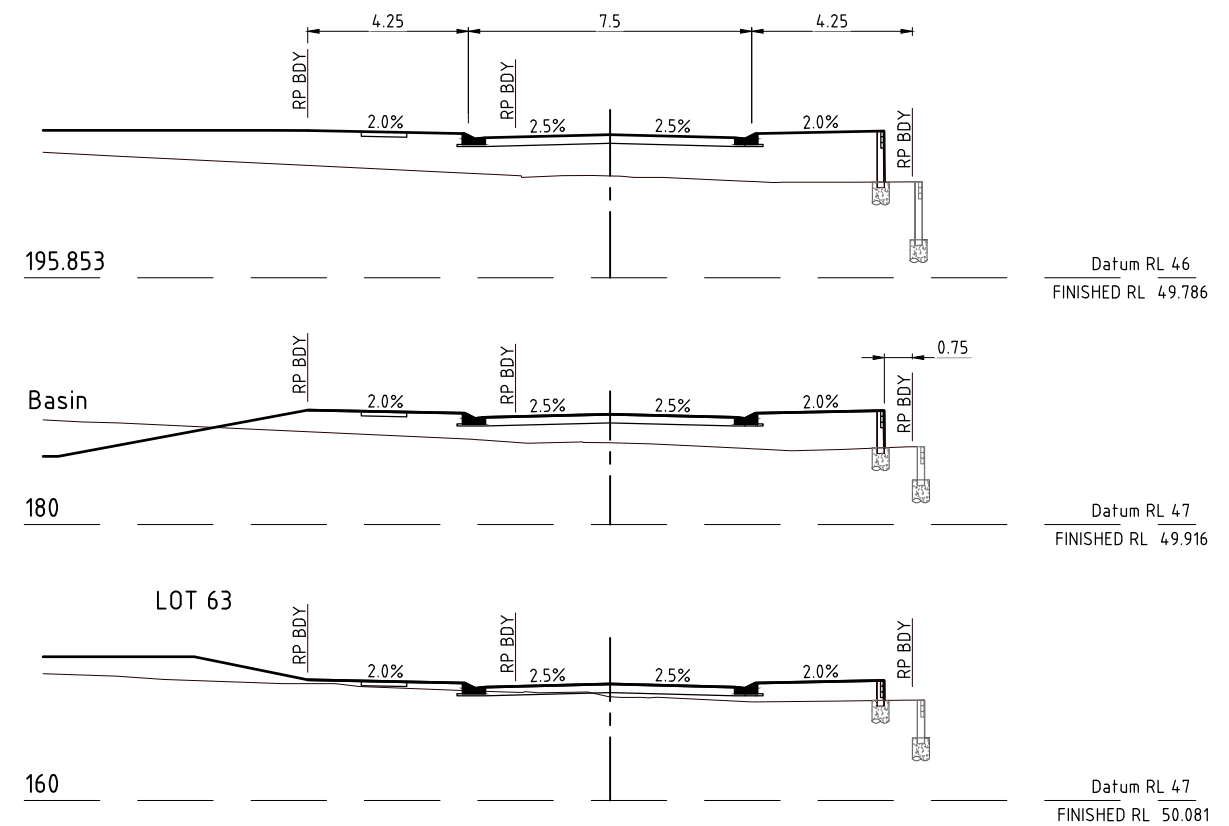
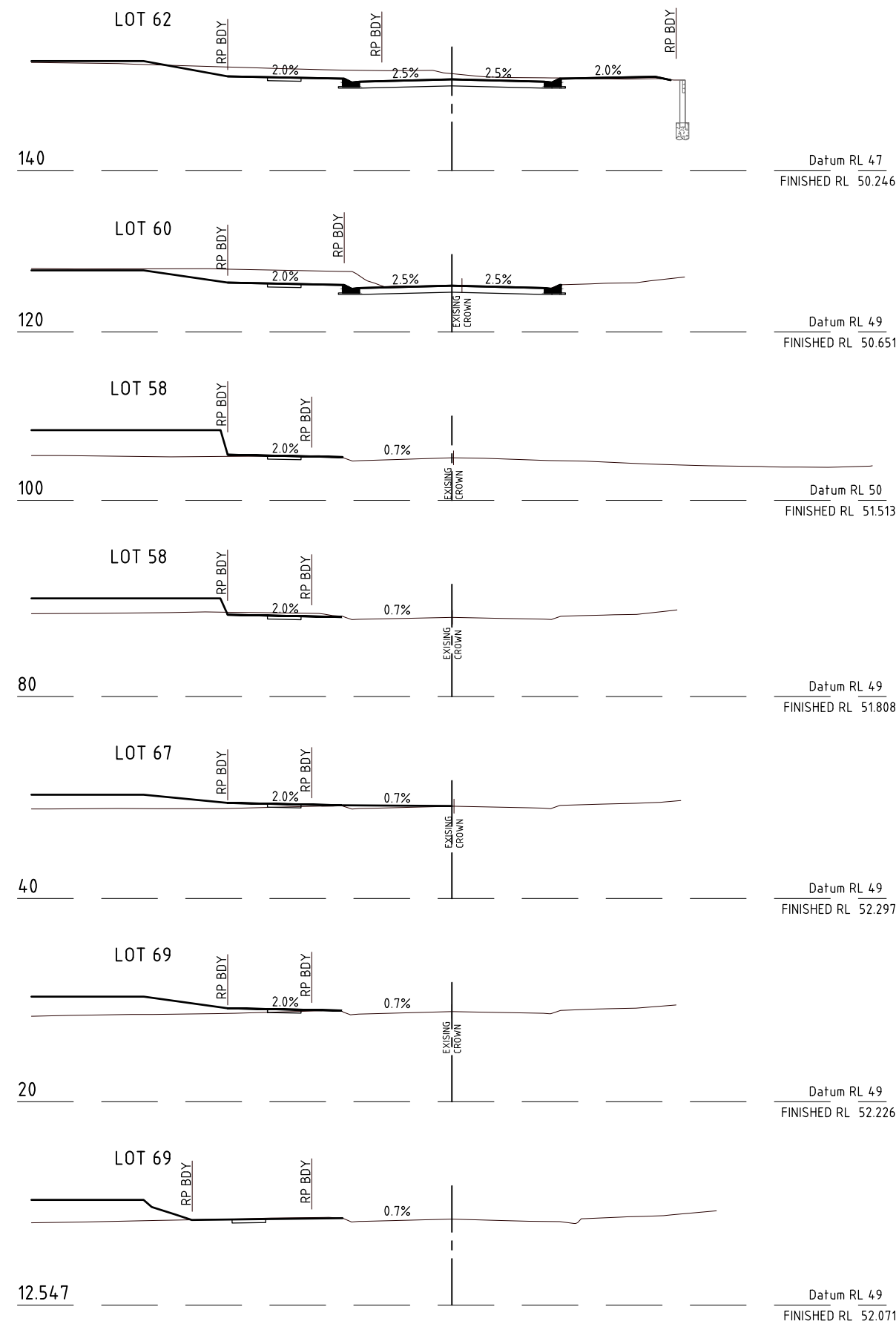
BCC DS  
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APPLICATION REF  
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## ENGINEERING CONCEPT - ROADWORKS CROSS SECTIONS - ROCKFIELD ROAD

76-92 CROSSACRES STREET, DOOLANDELLA  
ADC GROUP NO. 19 PTY LTD







CROSS SECTIONS - PADDINGTON STREET

## ENGINEERING CONCEPT - ROADWORKS CROSS SECTIONS - PADDINGTON STREET

76-92 CROSSACRES STREET, DOOLANDELLA  
ADC GROUP NO. 19 PTY LTD

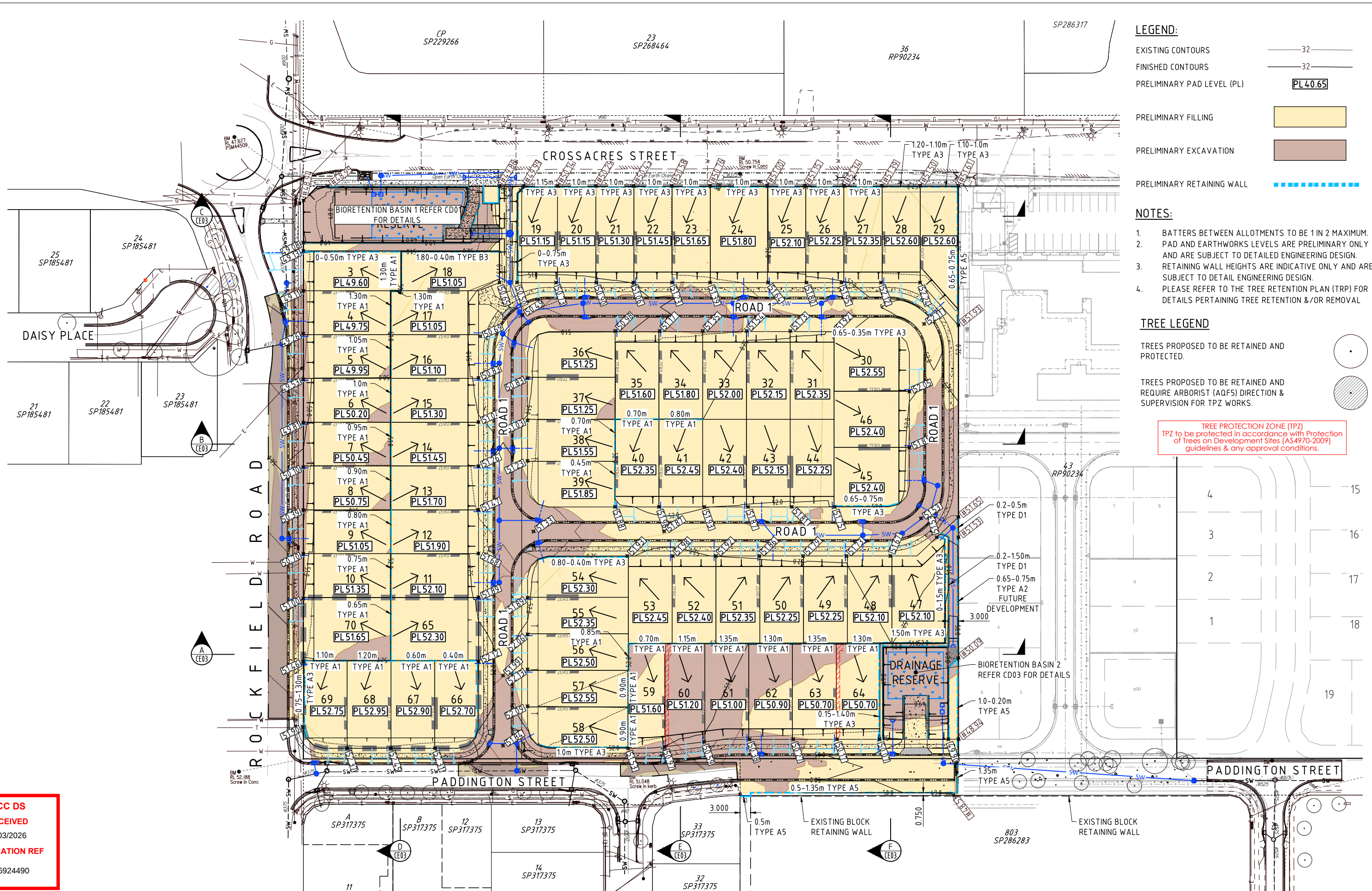
PLANNERS  
URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

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P 07 3012 0100 W www.jfp.com.au  
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URBAN CONSULTANTS



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SCALE: 1:100 @ A1  
DATE: February 2026  
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FILE NAME: B4687EA1\_DA5.DWG

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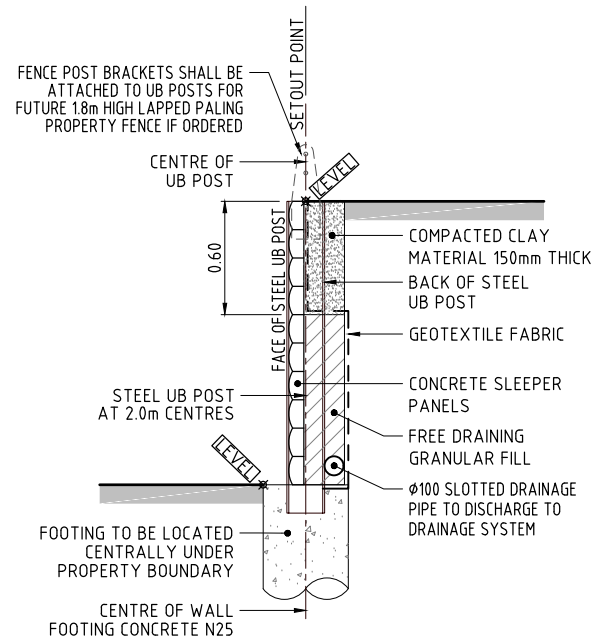
PLANNERS  
URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

## ENGINEERING CONCEPT - EARTHWORKS PLAN

76-92 CROSSACRES STREET, DOOLANDELLA  
ADC GROUP NO. 19 PTY LTD

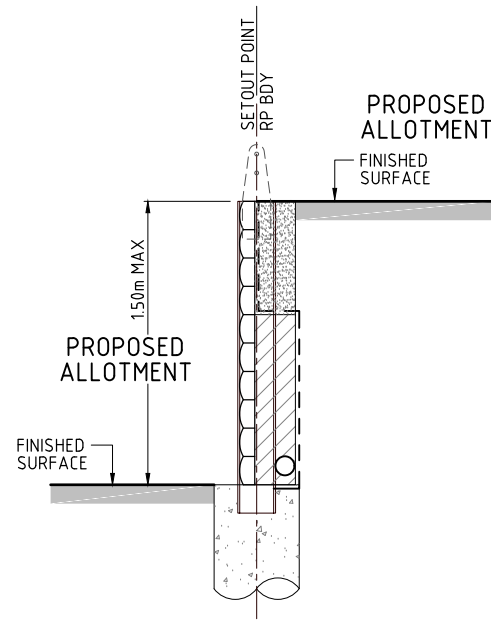


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DATE: February 2026  
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PLAN: CE01  
ISSUE: B

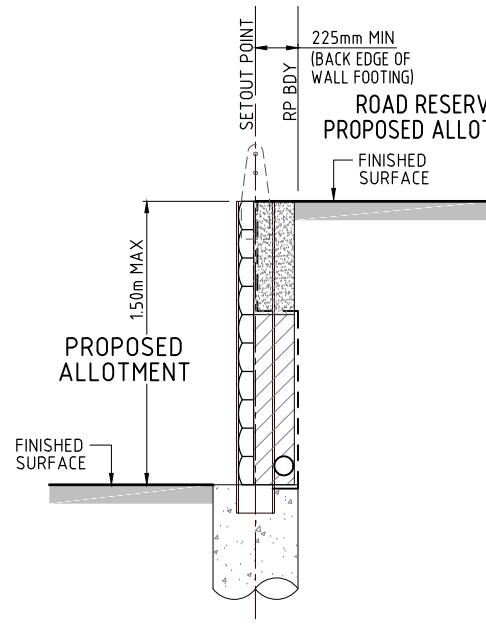


**TYPICAL DETAIL**  
**CONCRETE SLEEPER RETAINING WALL**  
SCALE 1:20

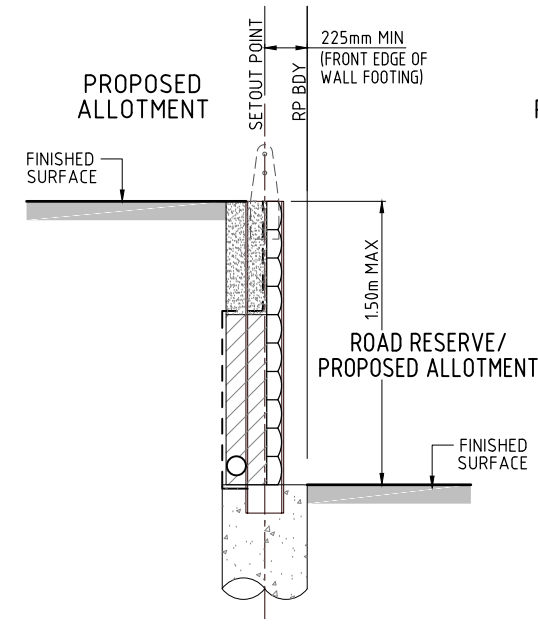
NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE



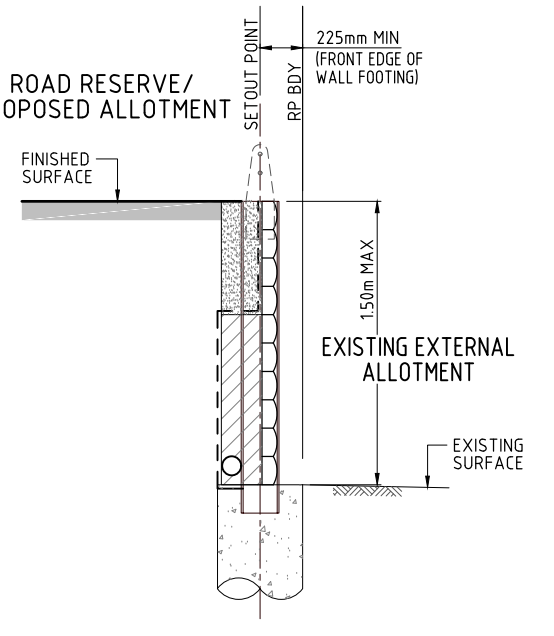
**TYPE A1**  
**CONCRETE SLEEPER RETAINING WALL**  
SCALE 1:20



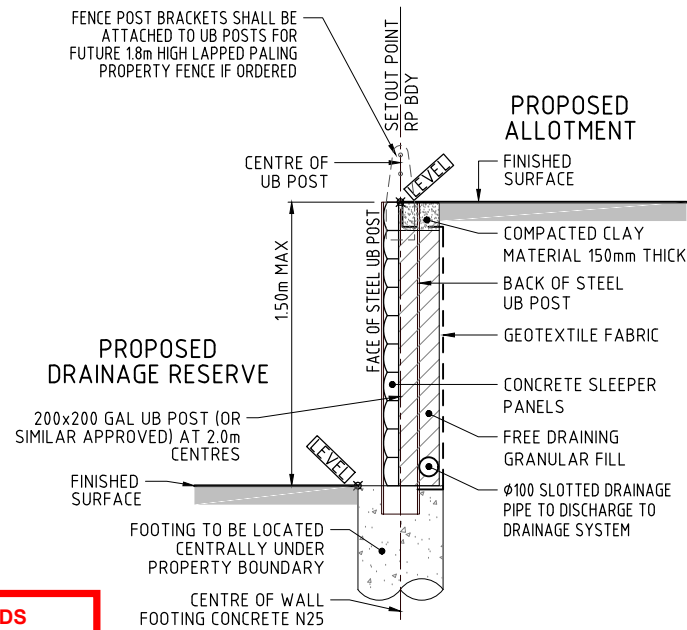
**TYPE A2**  
**CONCRETE SLEEPER RETAINING WALL**  
SCALE 1:20



**TYPE A3**  
**CONCRETE SLEEPER RETAINING WALL**  
SCALE 1:20



**TYPE A5**  
**CONCRETE SLEEPER RETAINING WALL**  
SCALE 1:20

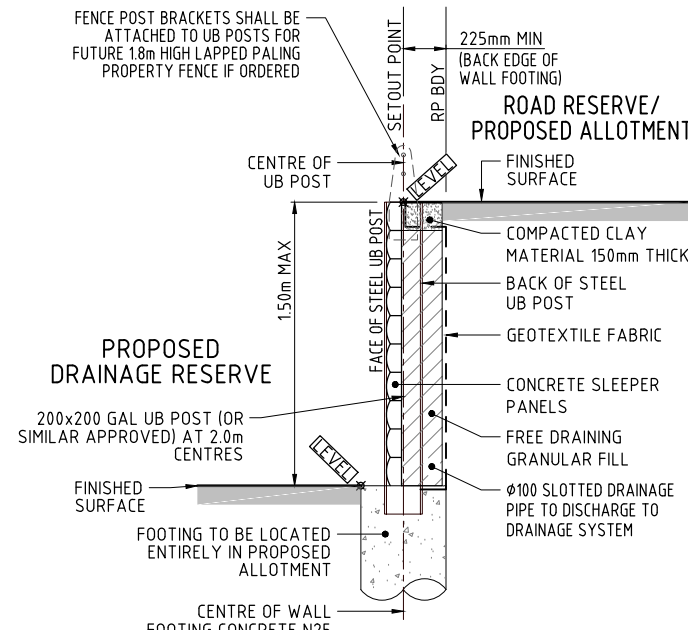


**TYPICAL SECTION - TYPE D1**  
**CONCRETE SLEEPER/UB POST RETAINING WALL**  
SCALE 1:20

NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE

RETAINING WALLS LOCATED WITHIN BIORETENTION (DETENTION) BASIN INUNDATION ZONES TO HAVE THE STEEL COMPONENT POSTS OF THE SLEEPER RETAINING WALLS DESIGNED TO ENSURE THEY MEET 100 YEAR DESIGN LIFE. GENERALLY POST SIZES NEED TO BE INCREASED TO MEET THE ADDITIONAL CORROSIVE ACTION.

RETAINING WALLS LOCATED WITHIN BIORETENTION (DETENTION) BASIN INUNDATION ZONES TO HAVE IMPERMEABLE LINER INSTALLED BEHIND THE CONCRETE SLEEPERS

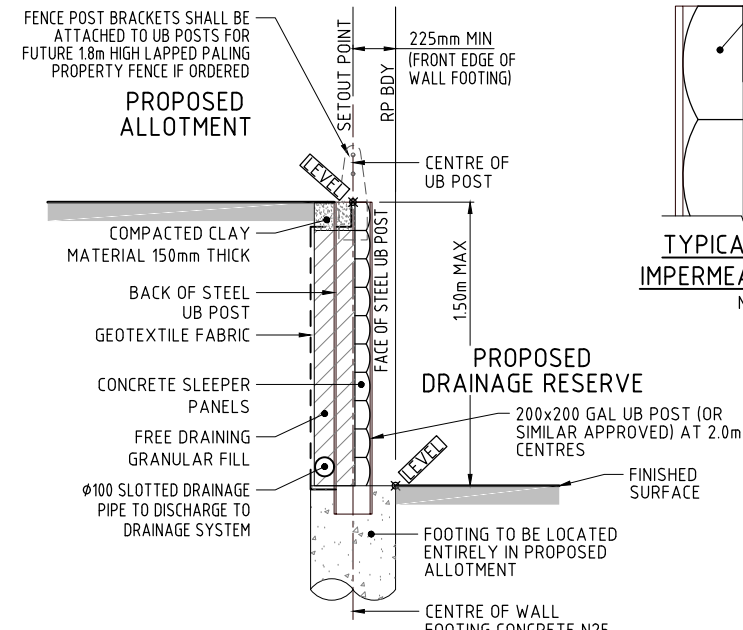


**TYPICAL SECTION - TYPE D2**  
**CONCRETE SLEEPER/UB POST RETAINING WALL**  
SCALE 1:20

NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE

RETAINING WALLS LOCATED WITHIN BIORETENTION (DETENTION) BASIN INUNDATION ZONES TO HAVE THE STEEL COMPONENT POSTS OF THE SLEEPER RETAINING WALLS DESIGNED TO ENSURE THEY MEET 100 YEAR DESIGN LIFE. GENERALLY POST SIZES NEED TO BE INCREASED TO MEET THE ADDITIONAL CORROSIVE ACTION.

RETAINING WALLS LOCATED WITHIN BIORETENTION (DETENTION) BASIN INUNDATION ZONES TO HAVE IMPERMEABLE LINER INSTALLED BEHIND THE CONCRETE SLEEPERS

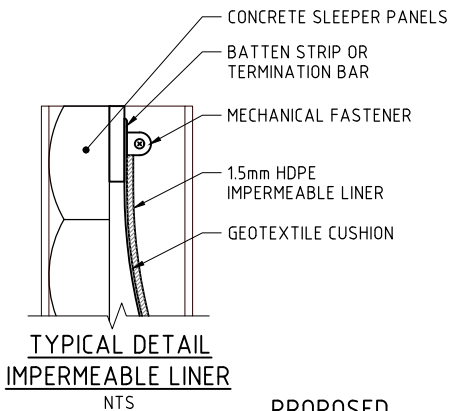


**TYPICAL SECTION - TYPE D3**  
**CONCRETE SLEEPER/UB POST RETAINING WALL**  
SCALE 1:20

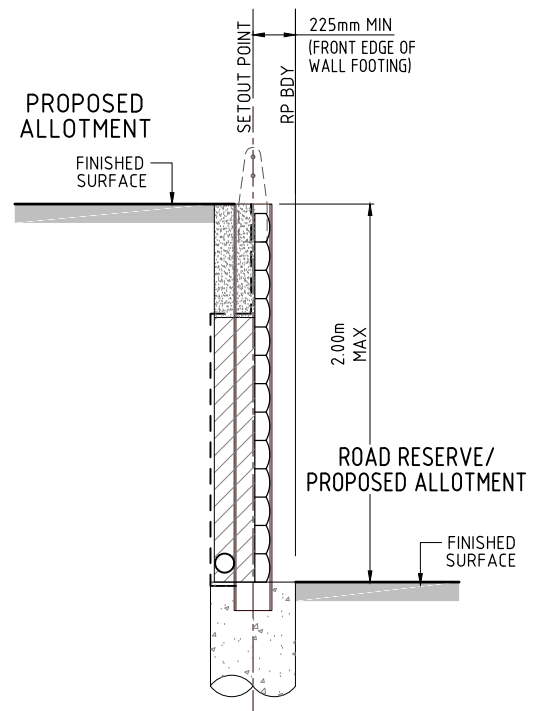
NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE

RETAINING WALLS LOCATED WITHIN BIORETENTION (DETENTION) BASIN INUNDATION ZONES TO HAVE THE STEEL COMPONENT POSTS OF THE SLEEPER RETAINING WALLS DESIGNED TO ENSURE THEY MEET 100 YEAR DESIGN LIFE. GENERALLY POST SIZES NEED TO BE INCREASED TO MEET THE ADDITIONAL CORROSIVE ACTION.

RETAINING WALLS LOCATED WITHIN BIORETENTION (DETENTION) BASIN INUNDATION ZONES TO HAVE IMPERMEABLE LINER INSTALLED BEHIND THE CONCRETE SLEEPERS



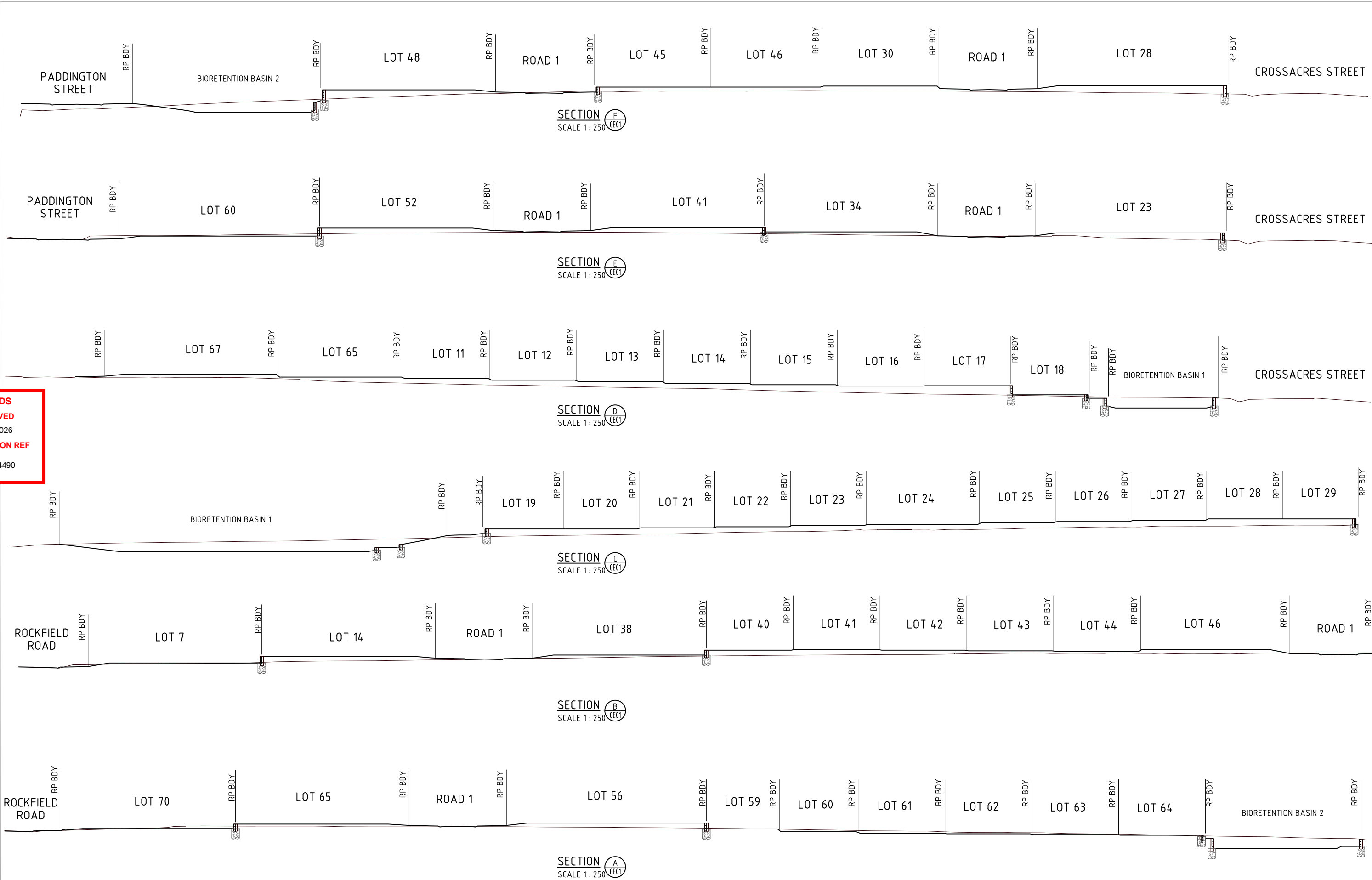
**TYPICAL DETAIL**  
**IMPERMEABLE LINER**  
NTS

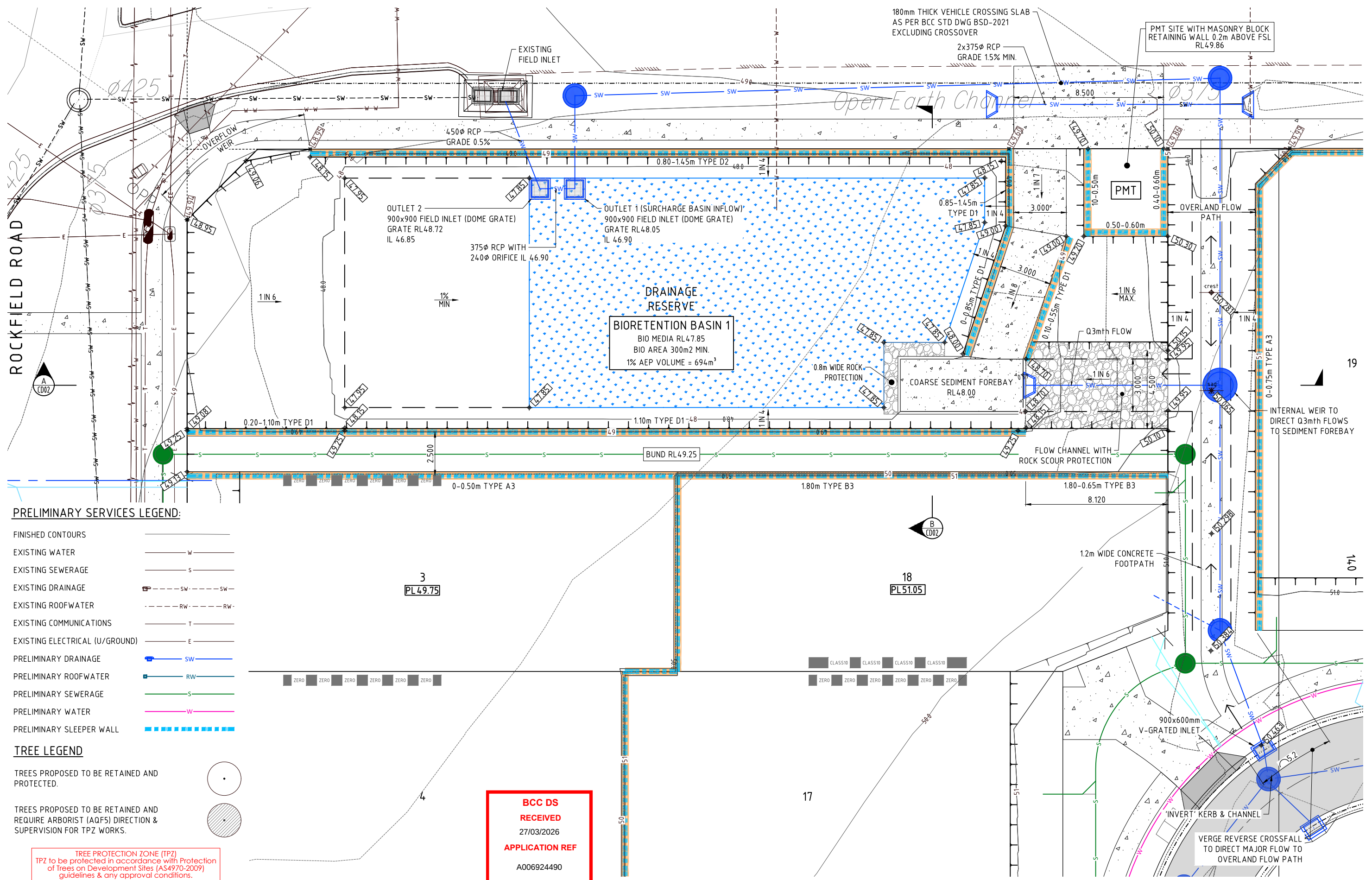


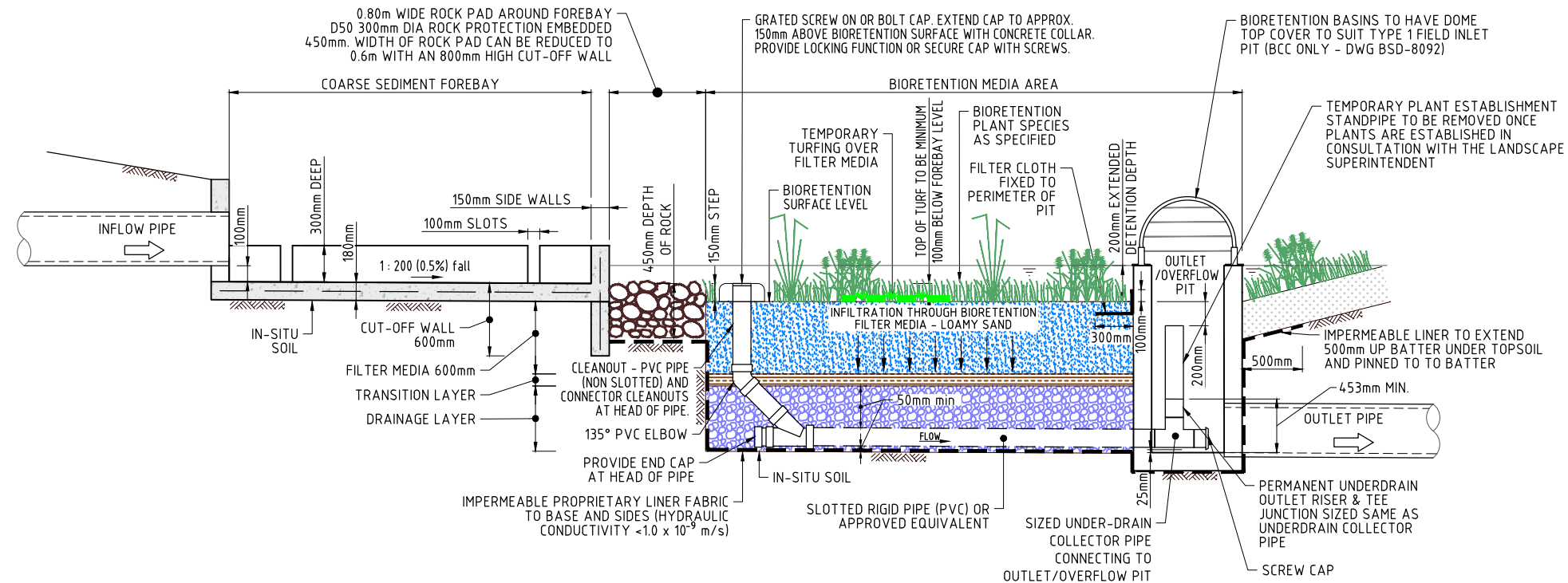
**TYPE B3**  
**CONCRETE SLEEPER RETAINING WALL**  
SCALE 1:20

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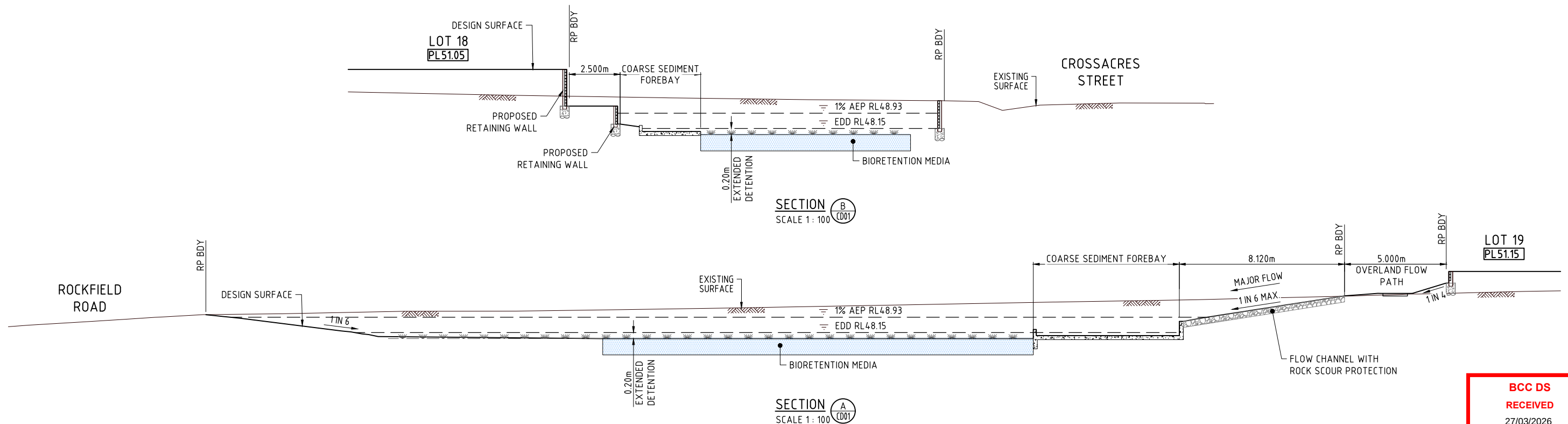






**BASIN 1**  
**INDICATIVE BIORETENTION TYPE 1 SATURATED ZONE UNCONSTRAINED**  
 (REFER TO IPWEA STD DWG DSD-501)

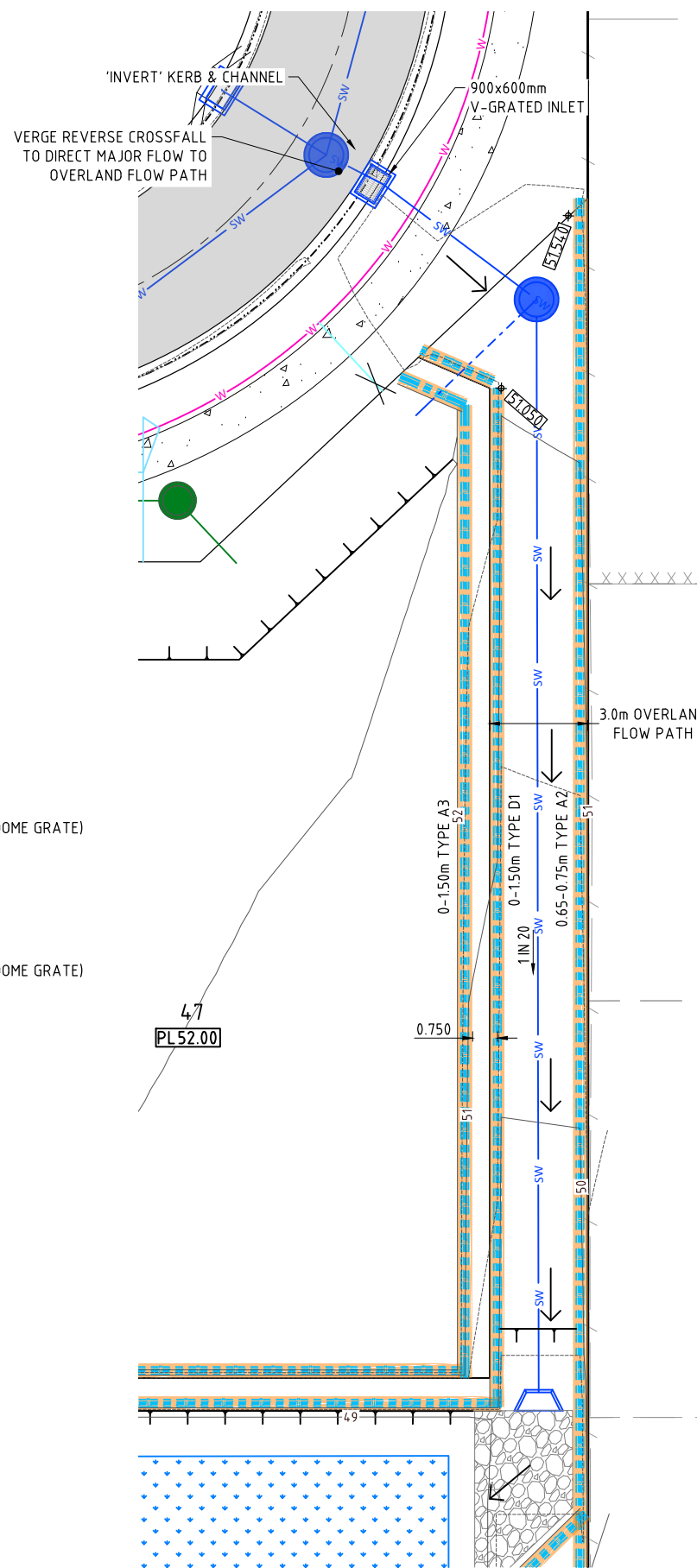
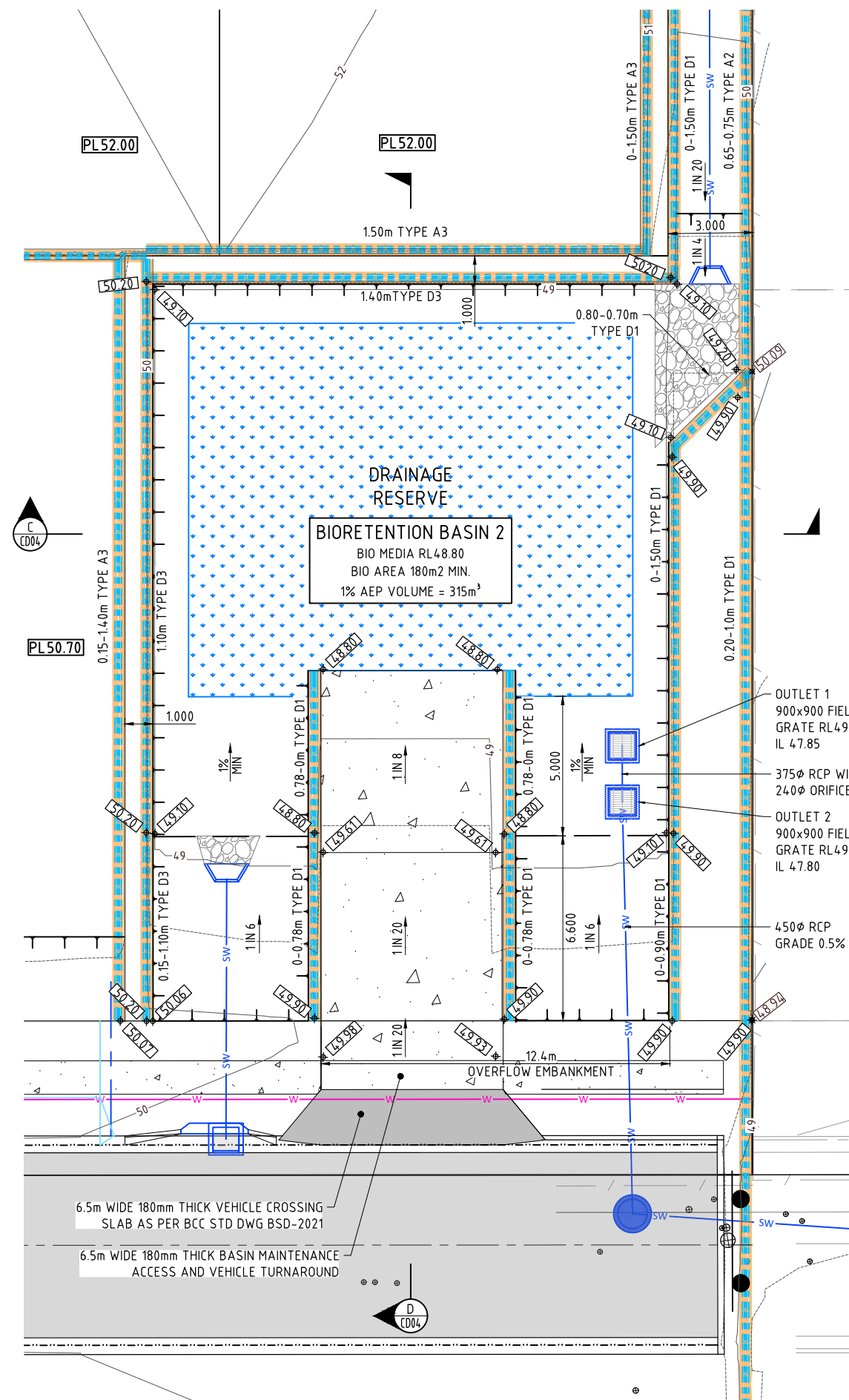
SCALE 1:25



**SECTION B**  
 SCALE 1:100

**SECTION A**  
 SCALE 1:100

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#### PRELIMINARY SERVICES LEGEND:

|                                |    |
|--------------------------------|----|
| FINISHED CONTOURS              | 32 |
| EXISTING WATER                 | W  |
| EXISTING SEWERAGE              | S  |
| EXISTING DRAINAGE              | SW |
| EXISTING ROOFWATER             | RW |
| EXISTING COMMUNICATIONS        | T  |
| EXISTING ELECTRICAL (U/GROUND) | E  |
| PRELIMINARY DRAINAGE           | SW |
| PRELIMINARY ROOFWATER          | RW |
| PRELIMINARY SEWERAGE           | S  |
| PRELIMINARY WATER              | W  |
| PRELIMINARY SLEEPER WALL       |    |

#### TREE LEGEND

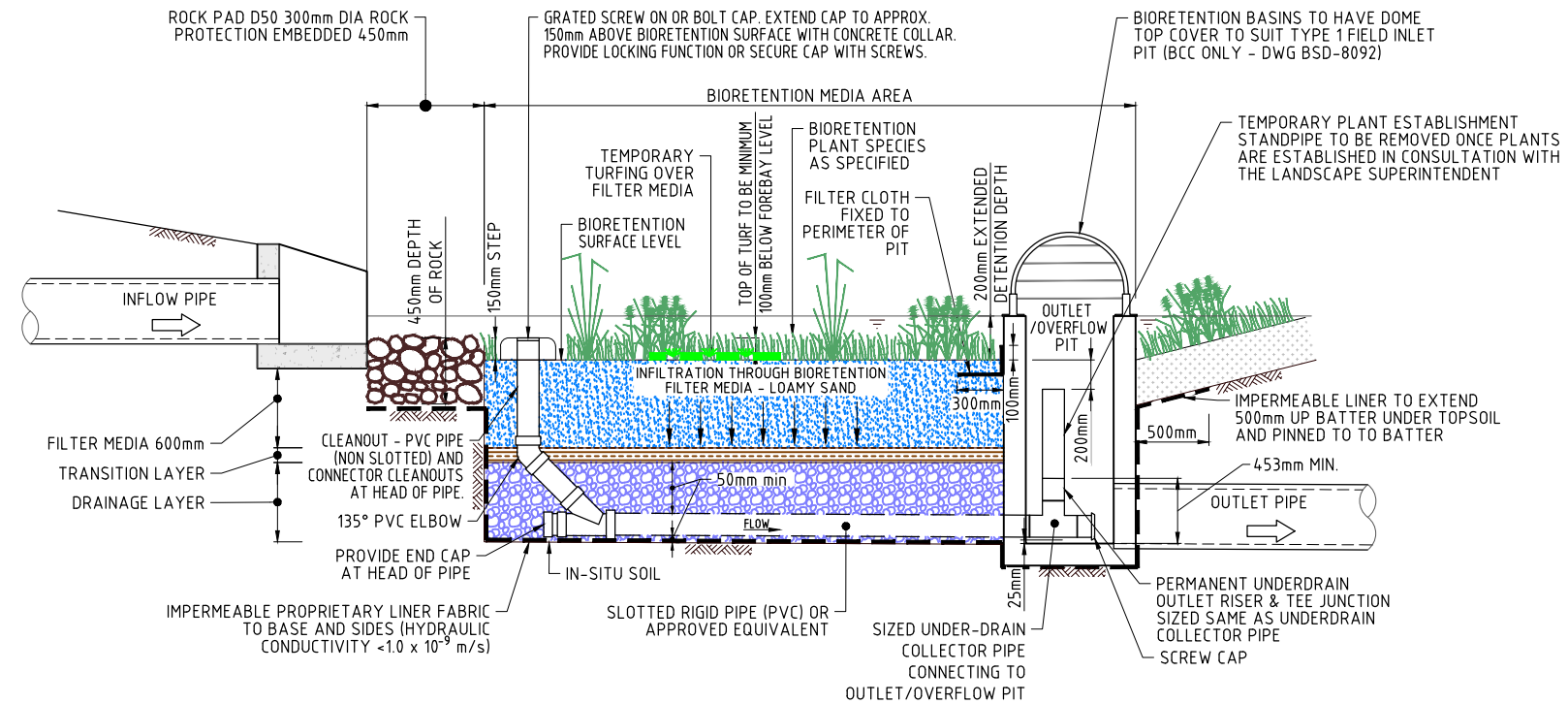
TREES PROPOSED TO BE RETAINED AND PROTECTED.

TREES PROPOSED TO BE RETAINED AND REQUIRE ARBORIST (AQF5) DIRECTION & SUPERVISION FOR TPZ WORKS.

**TREE PROTECTION ZONE (TPZ)**  
TPZ to be protected in accordance with Protection of Trees on Development Sites (AS4970-2009) guidelines & any approval conditions.

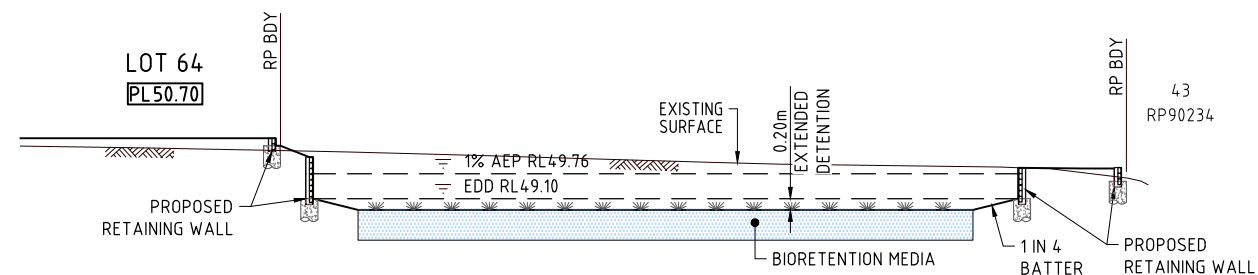
## ENGINEERING CONCEPT - BIORETENTION BASIN 2 LAYOUT PLAN

76-92 CROSSACRES STREET, DOOLANDELLA  
ADC GROUP NO. 19 PTY LTD

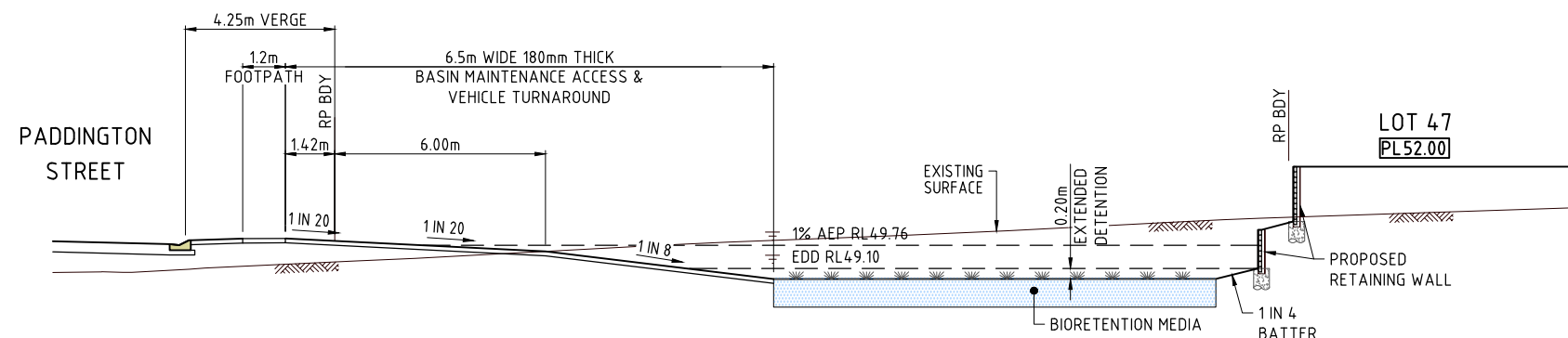


**BASIN 2**  
**INDICATIVE BIORETENTION TYPE 1 SATURATED ZONE UNCONSTRAINED**  
 (REFER TO IPWEA STD DWG DSD-501)

SCALE 1:25



**SECTION C**  
 SCALE 1:100



**SECTION D**  
 SCALE 1:100

**BCC DS**

**RECEIVED**

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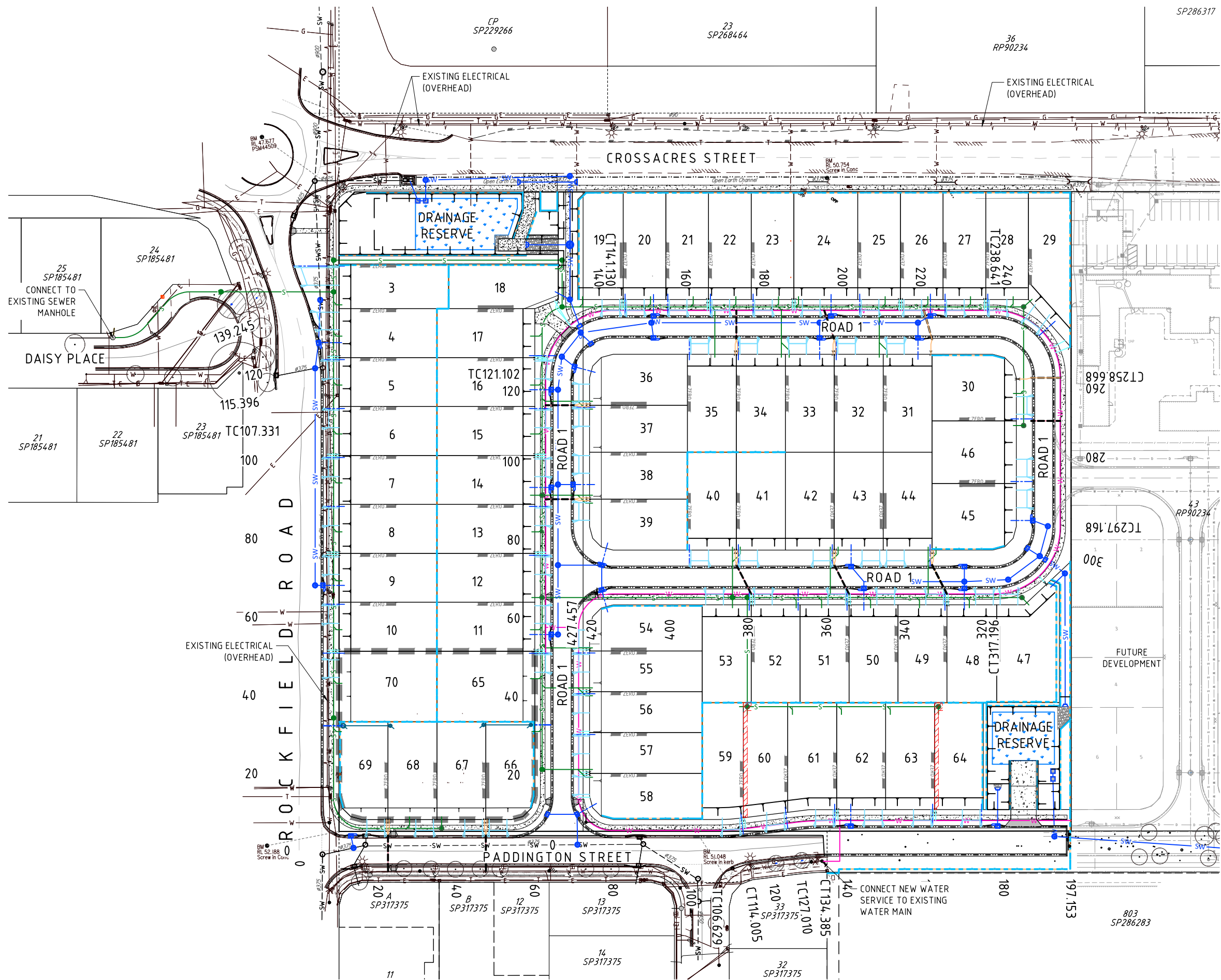
**APPLICATION REF**

A006924490

## ENGINEERING CONCEPT - BIORETENTION BASIN 2 DETAILS

76-92 CROSSACRES STREET, DOOLANDELLA  
 ADC GROUP NO. 19 PTY LTD





PRELIMINARY SERVICES LEGEND:

|                                |             |
|--------------------------------|-------------|
| FINISHED CONTOURS              | 32          |
| EXISTING WATER                 | W           |
| EXISTING SEWERAGE              | S           |
| EXISTING DRAINAGE              | SW          |
| EXISTING ROOFWATER             | RW          |
| EXISTING COMMUNICATIONS        | T           |
| EXISTING ELECTRICAL (U/GROUND) | PILLAR, PIT |
| EXISTING ELECTRICAL (OVERHEAD) | LIGHT POLE  |
| PRELIMINARY DRAINAGE           | SW          |
| PRELIMINARY ROOFWATER          | RW          |
| PRELIMINARY SEWERAGE           | S           |
| PRELIMINARY WATER              | W           |
| PRELIMINARY SLEEPER WALL       |             |
| PROPOSED EASEMENT              |             |

TREE LEGEND

TREES PROPOSED TO BE RETAINED AND PROTECTED.

TREES PROPOSED TO BE RETAINED AND REQUIRE ARBORIST (AQF5) DIRECTION & SUPERVISION FOR TPZ WORKS.

TREE PROTECTION ZONE (TPZ)  
TPZ to be protected in accordance with Protection of Trees on Development Sites (AS4970-2009) guidelines & any approval conditions.

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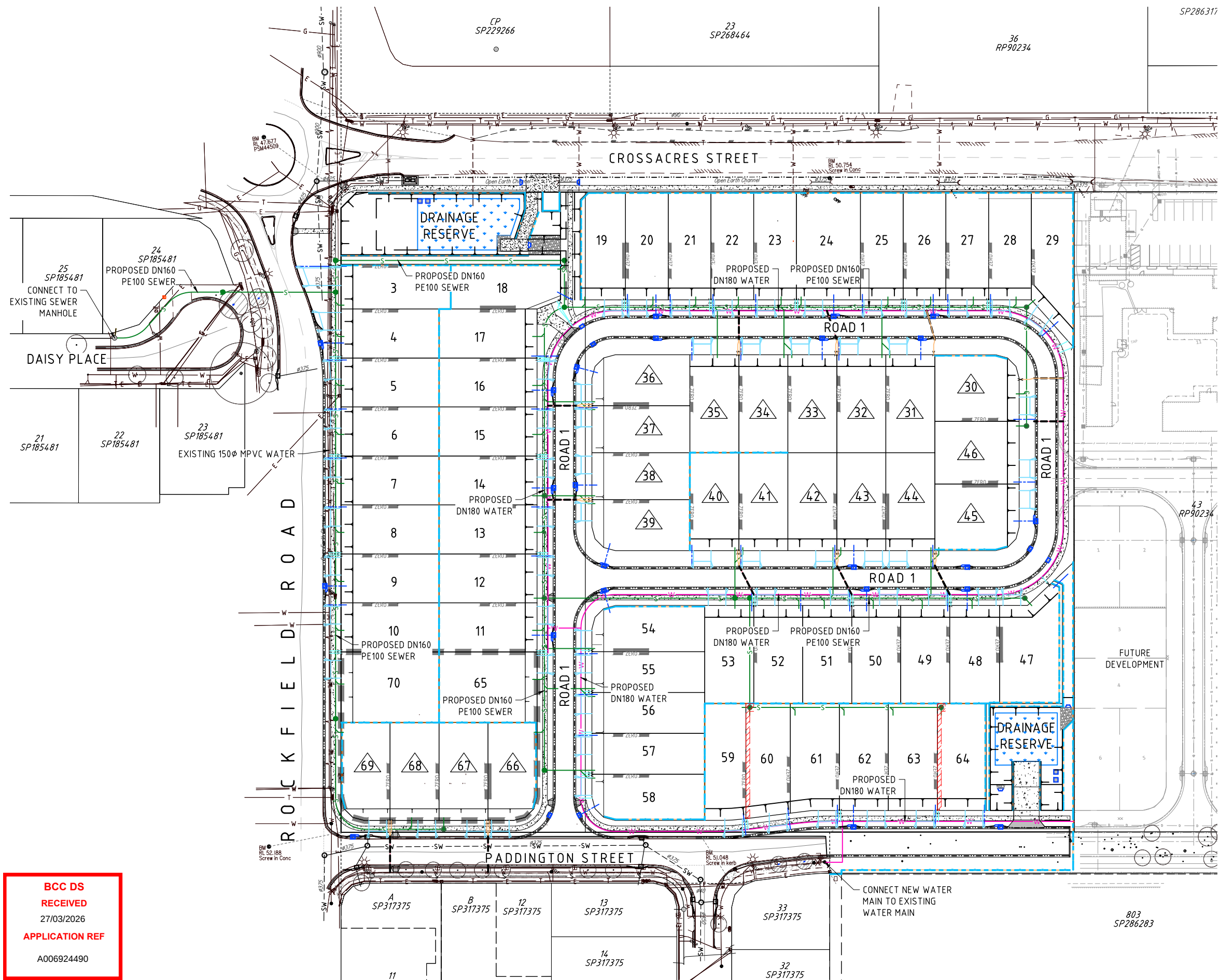
PLANNERS  
URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

ENGINEERING CONCEPT - SERVICE LAYOUT PLAN

76-92 CROSSACRES STREET, DOOLANDELLA  
ADC GROUP NO. 19 PTY LTD



JOB NO: B4687EA1\_DA5 PLAN: CS01 ISSUE: B  
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DATE: February 2026  
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FILE NAME: B4687EA1\_DA5.DWG



PRELIMINARY SERVICES LEGEND:

|                                  |             |
|----------------------------------|-------------|
| FINISHED CONTOURS                | 32          |
| EXISTING WATER                   | W           |
| EXISTING SEWERAGE                | S           |
| EXISTING DRAINAGE                | SW          |
| EXISTING ROOFWATER               | RW          |
| EXISTING COMMUNICATIONS          | T           |
| EXISTING ELECTRICAL (U/G/GROUND) | PILLAR, PIT |
| EXISTING ELECTRICAL (OVERHEAD)   | LIGHT POLE  |
| PRELIMINARY DRAINAGE             | SW          |
| PRELIMINARY ROOFWATER            | RW          |
| PRELIMINARY SEWERAGE             | S           |
| PRELIMINARY WATER                | W           |
| PRELIMINARY SLEEPER WALL         |             |

TREE LEGEND

TREES PROPOSED TO BE RETAINED AND PROTECTED.

TREES PROPOSED TO BE RETAINED AND REQUIRE ARBORIST (AQF5) DIRECTION & SUPERVISION FOR TPZ WORKS.

TREE PROTECTION ZONE (TPZ)  
TPZ to be protected in accordance with Protection of Trees on Development Sites (AS4970:2009) guidelines & any approval conditions.

SERVICE DETAILS

| No.  | SIZE | LOT NUMBERS           |
|------|------|-----------------------|
| 32mm | 32mm | LOTS 30-46 & 66-69    |
| 47   | 25mm | LOTS 3-29, 47-65 & 70 |

PIPE LENGTHS

| WATER                    |              |      |
|--------------------------|--------------|------|
| WATER MAIN               | DN180 PE100  | 595m |
| WATER SERVICE CONNECTION | DN40         | 73m  |
| WATER SERVICE CONNECTION | DN32         | 104m |
| WATER SERVICE CONNECTION | DN25         | 140m |
| SEWER                    |              |      |
| SEWER MAIN               | DN160 PE 100 | 769m |
| SEWER SERVICE CONNECTION | PE 100       | 200m |

SEWER NOTES:

- UNLESS NOTED OTHERWISE ALL PIPES AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE "ACCEPTED PRODUCTS AND MATERIALS" LIST.
- UNLESS NOTED OTHERWISE THE SEWER MAIN PIPE IS DN160 PE100.
- UNLESS NOTED OTHERWISE EACH ALLOTMENT IS SERVED BY A DN110 PE100 PROPERTY CONNECTION (10 METRES MAX LENGTH)
- MAINTENANCE STRUCTURES TO BE EITHER A TYPE G, TYPE F, TYPE X OR MAINTENANCE SHAFTS IN ACCORDANCE WITH SEQ STANDARDS.
- FINAL MANHOLE STRUCTURE TYPE WILL BE DETERMINED AT DETAIL DESIGN STAGE ONCE THE DEPTH OF THE SEWER MAIN IS KNOWN.

WATER NOTES:

- THE FINAL LOCATION OF THE THE WATER METERS IS SUBJECT TO DETAILED DESIGN.
- ALL WATER METERS TO BE 20mm DIA AS PER SEQ WATER CODE

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APPLICATION REF  
A006924490

ENGINEERING CONCEPT - WATER & WASTE WATER LAYOUT PLAN

76-92 CROSSACRES STREET, DOOLANDELLA  
ADC GROUP NO. 19 PTY LTD

