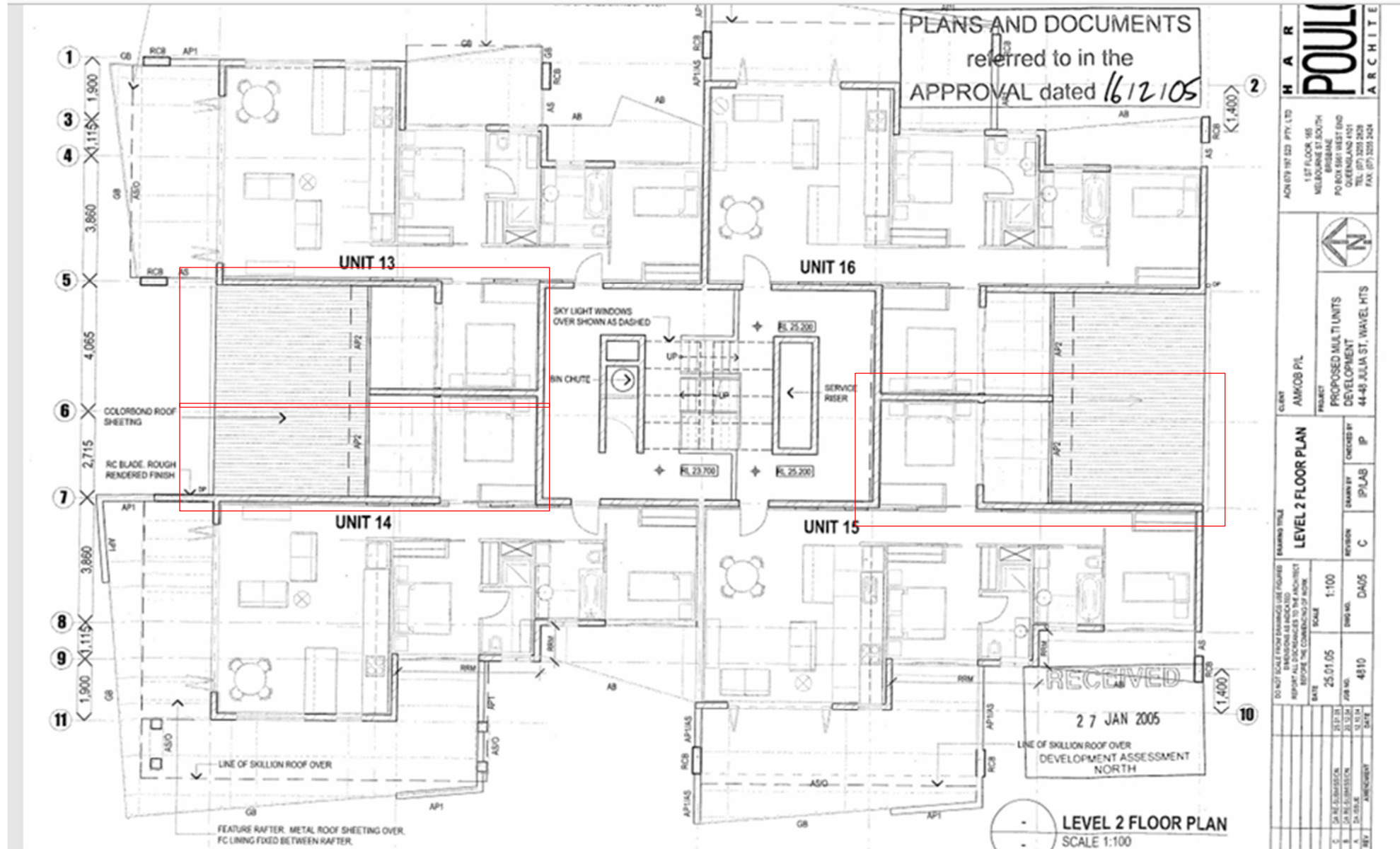




DO NOT SCALE FROM DRAWINGS. USE FIGURED DIMENSIONS AS INDICATED. REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE THE COMMENCEMENT OF WORK.
COPYRIGHT HARPO FOLLO ARCHITECTS PFL LTD AUGUST 1970

Unit 13 and 14 - Proposed

44 Julia St, Wavell Heights QLD 4012

House Renovation and Extension for Melanie formosa.
Building Approval Drawing Set



Drawing Register

Sheet Index			
ID	Layout Name	Rev No.	Issued Date
BA00	3D View	0	15/5/2026, ...
BA01	Location Plan	0	15/5/2026, ...
BA02	Existing/Demolition Floor Plan	0	15/5/2026, ...
BA03	Proposed Floor Plan	0	15/5/2026, ...
BA04	Section A-A	0	15/5/2026, ...

License No: 15014871

	M: 0432701544 E: nadia@thedrafty.com	House Renovation and Extension 44 Julia St, Wavell Heights QLD 4012	Melanie formosa	5/6/2026	revision schedule	R0	First Issue	15/05/26	NV	Scale 3D View	REV 0	BA00	
							3D view adjustment	05/06/26					
contact	project	client	date				drawn	drawing	revision	dwg no.			

Unit 13 - Proposed

Location Plan

REAL PROPERTY DESCRIPTION:
Lot on Plan 1RP42930
Locality: Wavell Heights
Local Authority: Brisbane City Council

Site Area: 1009m²

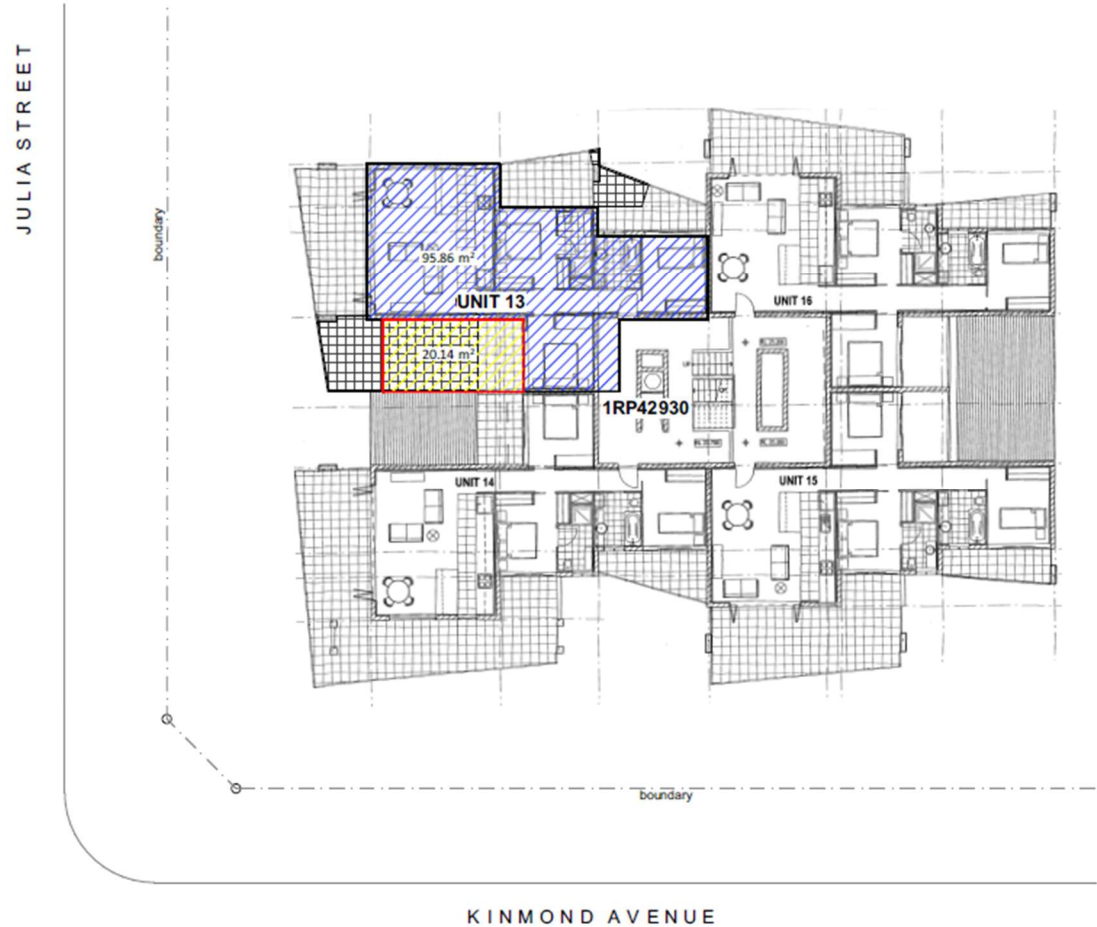
Site Notes
Renovation to be built in accordance to the NCC (latest version) and Australian Standards.

The builder is responsible to check all existing services prior to beginning construction.

Nominated levels shown on drawings should be confirmed on site prior to commencement of works.

Surface water drainage must be prevented from entering the building with FGL sloping away from the building & finished slab levels.

Boundary dimensions are approximate and based on the scaled council mapping tool



Legend

	Existing area
	Proposed area

License No: 15014571

The Drafty M: 0432701544 E: nadia@thedrafty.com contact	House Renovation and Extension 44 Julia St, Wavell Heights QLD 4012 project	Melanie formosa client	5/6/2026 date	revision schedule	RD First issue 15/05/26	3D view adjustment 05/06/26	NV drawn	Scale 1:200 Location Plan drawing	REV 0 revision	BA01 dwg no.	

Proposed Floor Plan

General Notes

Only new elements are nominated.

Surface and subfloor drainage to comply with NCC2022 H2D2 and ABCB Housing provisions Part 3.3

Termite treatment to comply with NCC2022 v2, Part 3.4
Termite management system to be used:
Chemical

Damp proofing to comply with NCC2022 v2 H2P3

Smoke Alarms

Smoke Alarms to comply with AS 3786.
Installed and connected to mains power in accordance with NCC2022 v2 H3 and NCC2022 ABCB Housing provisions Part 9.5
Smoke alarms must be interconnected where there is more than one alarm.

Dimensions

Wall dimensions are measured to the wall finish surface.

Refer to the structural engineering drawings for structural dimensions and specifications.

Finish floor levels (FFL) are architecturally referenced. The internal floor is marked as +0.00 FFL

Finishes Legend:

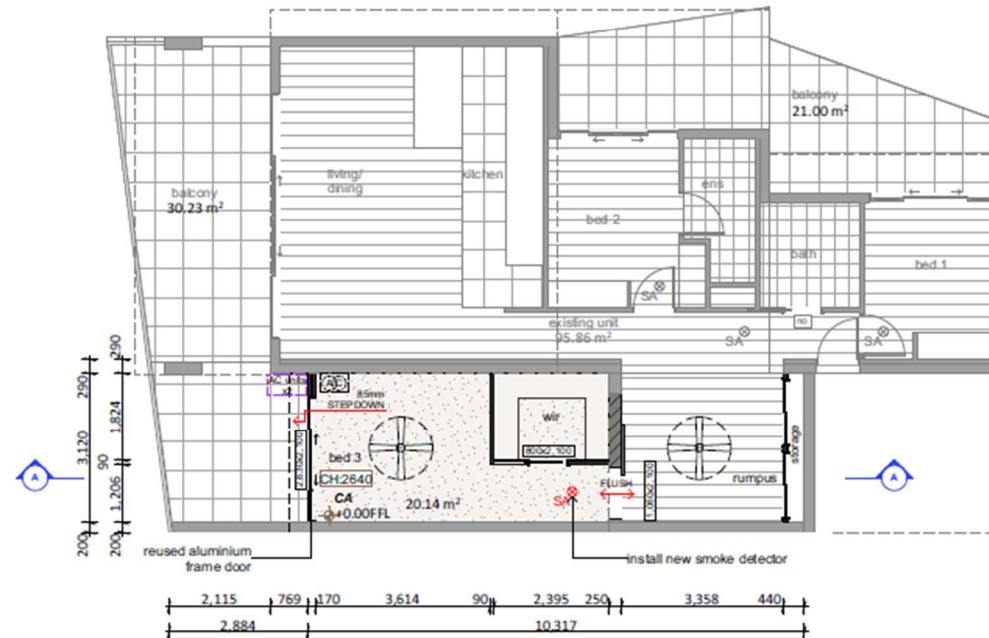
CA	Carpet
FC	Fibre cement
PB	Plasterboard
TI	Tiles

Renovation Legend

	Proposed extension (internal)
	Proposed extension (external)
	New
	existing

Building Areas (approx)

Existing GFA:	95.86m ²
New extension:	20.14m ²
Total Proposed GFA:	116m²
Resulting POS:	51.23m ²
Total built:	167.23



Legend

FW:	Floor waste
CH:	Ceiling Height
FFL:	Finished Floor Level
	New Timber Stud Frame
	New concrete block wall
	Existing Smoke Alarm detector
	Proposed Smoke Alarm Detector
	Air conditioner
	Ceiling fan

Licensee No: 15014871

	M: 043701544 E: nadia@thedrafty.com	House Renovation and Extension 44 Julia St, Wavell Heights QLD 4012	Melanie formosa	5/6/2026	revision schedule	R0	First issue	15/05/26	Scale 1:100		BA03	
	contact	project	client	date			3D view adjustment	05/06/26				
									Proposed Floor Plan	REV 0	dwg no.	

Section A-A

General Notes:

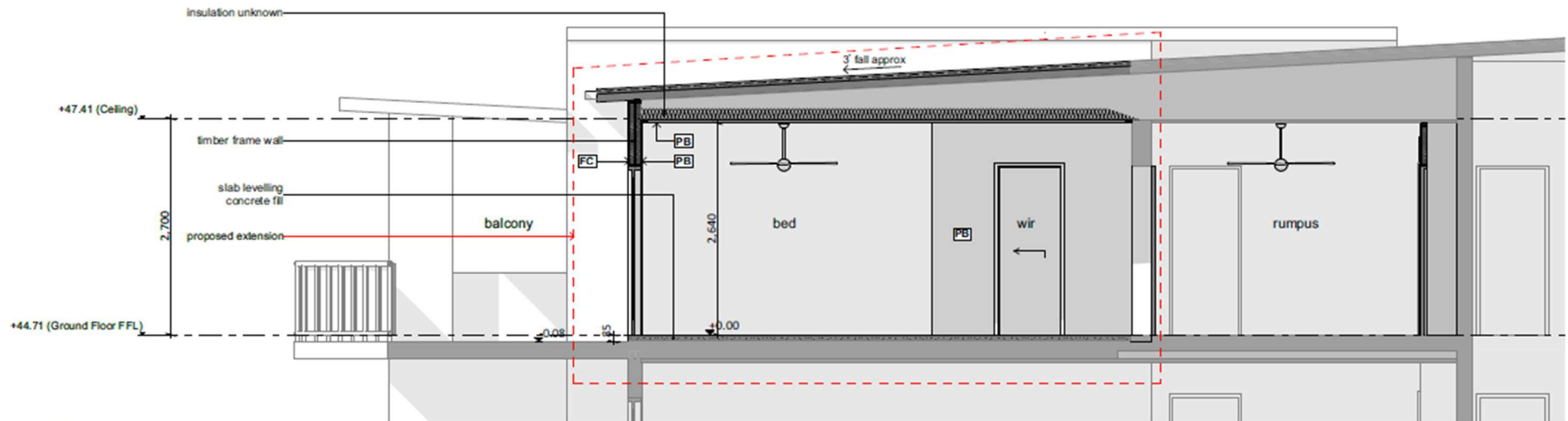
Termite treatment to comply with NCC2022 v2.
Part 3.4
Termite management system to be used:
Chemical
Builder to provide sufficient drainage away
from building.
Refer to structural engineering drawings for
structural specifications and dimensions.

Finishes Legend:

CA Carpet
FC Fibre cement
PB Plasterboard
TI Tiles

Dimensions

Finish floor levels (FFL) are architecturally
referenced. The internal floor is marked as
+0.00 FFL



A Section A
Scale 1:50

Legend

new
existing

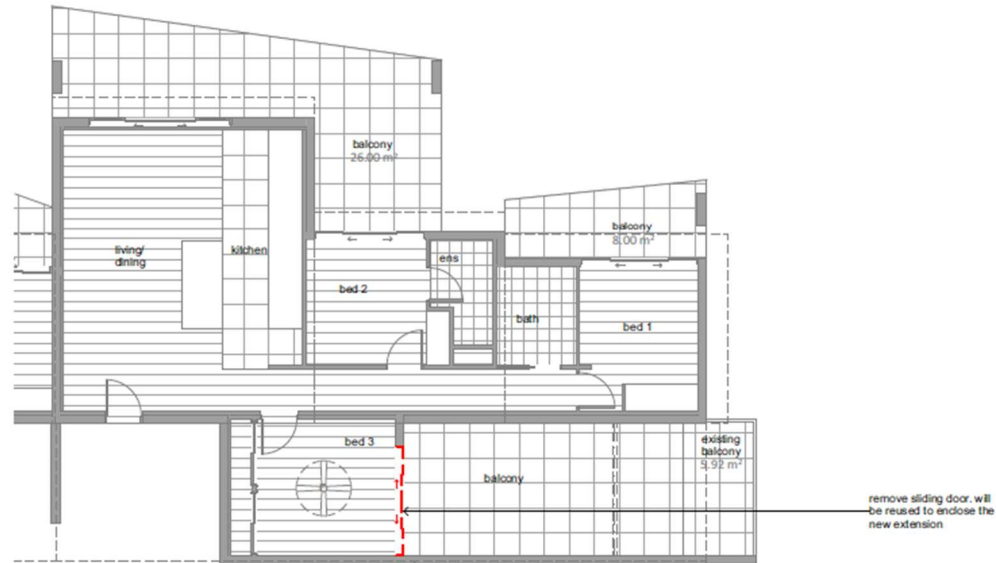
License No: 15014871

The Drafty	M: 0432701544 E: nadia@thedrafty.com	House Renovation and Extension 44 Julia St, Wavell Heights QLD 4012	Melanie formosa	5/6/2026	revision schedule	R0	First issue	15/05/26	NV	Scale 1:50 Section A-A	REV 0	BA04	
							3D view adjustment	05/06/26					
contact	project	client	date						drawn	drawing	revision	dwg no.	

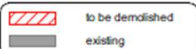
The applicant / property owner provided the existing use of the building / structure for determination of the building approval and therefore accepts responsibility for ensuring that the use remains consistent with any prior building & development approvals obtained. The relevant building and construction requirements are determined by the existing lawful use of the building / structure. If the building and the use changes or is altered from what is was originally intended / approved then the property owner must apply for a new building approval.

Unit 16 – Existing

Existing/Demolition Floor Plan



Renovation Legend



License No: 15014871

[illegible]

Unit 16 - Proposed

Unit 16 / 44 Julia St, Wavell Heights QLD 4012

Unit Extension for Kirk Johnstone.
Building Approval Drawing Set



Drawing Register

Sheet Index			
ID	Layout Name	Rev No.	Issued Date
BA00	3D View	0	15/6/2026, ...
BA01	Location Plan	0	15/6/2026, ...
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BA03	Proposed Floor Plan	0	15/6/2026, ...
BA04	Section A-A	0	15/6/2026, ...

The Drafty		M: 0432701544 E: nadia@thedrafty.com	Unit Extension Unit 16 / 44 Julia St, Wavell Heights QLD 4012	Kirk Johnstone	15/6/2026	revision schedule	R0	First Issue	15/06/26	Scale	1:100	NV	3D View	REV 0	BA00	
contact	project			client	date					drawn	drawing			revision	dwg no.	

Location Plan

REAL PROPERTY DESCRIPTION:

Lot on Plan 1RP42930
Locality: Wavell Heights
Local Authority: Brisbane City Council

Site Area: 1009m²

Site Notes

Renovation to be built in accordance to the NCC (latest version) and Australian Standards.

The builder is responsible to check all existing services prior to beginning construction.

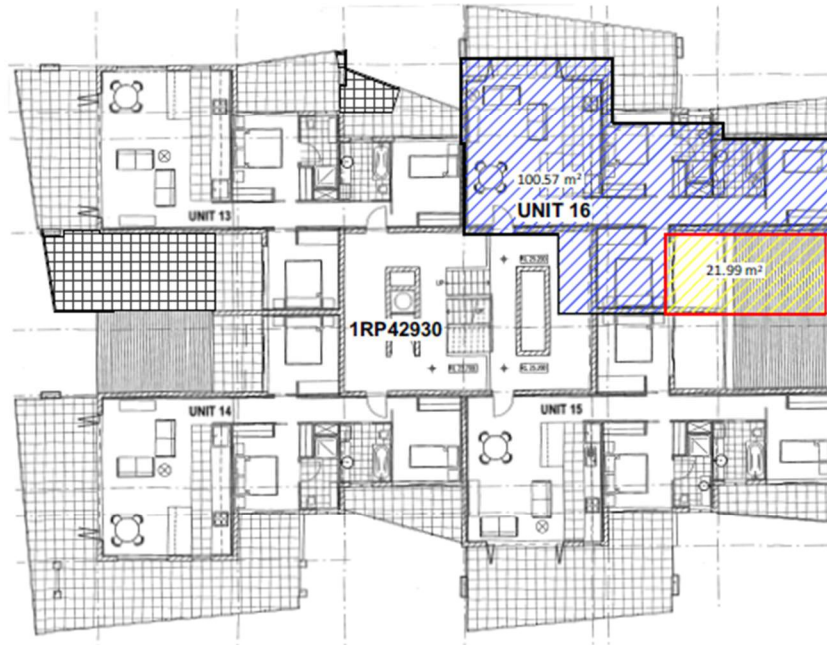
Nominated levels shown on drawings should be confirmed on site prior to commencement of works.

Surface water drainage must be prevented from entering the building with FGL sloping away from the building & finished slab levels.

Boundary dimensions are approximate and based on the scaled council mapping tool

JULIA STREET

boundary



boundary

KINMOND AVENUE

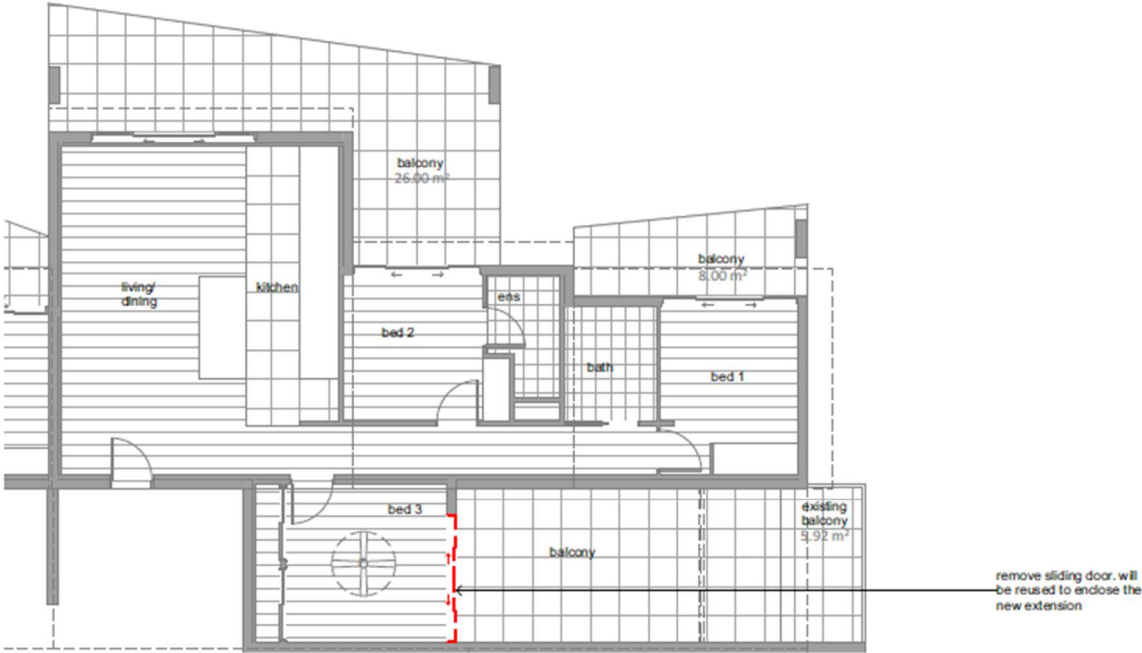
Legend

-  Existing area
-  Proposed area

License No: 15014871

	M: 0432701544 E: nadia@thedrafty.com	Unit Extension Unit 16 / 44 Julia St, Wavell Heights QLD 4012	Kirk Johnstone	15/6/2026	revision schedule	RO	First issue	15/06/26	NV	Scale 1:200	Location Plan	REV 0	BA01	
	contact	project	client	date					drawn	drawing	revision	dwg no.		

Existing/Demolition Floor Plan



Renovation Legend

to be demolished

existing

License No: 15014871

The Drafty	M: 0432701544 E: nadia@thedrafty.com	Unit Extension Unit 16 / 44 Julia St, Wavell Heights QLD 4012	Kirk Johnstone	15/6/2026	revision schedule	R0	First issue	15/06/26	NV	Scale 1:100	BA02		
	contact	project	client	date						Existing/Demolition Floor Plan	REV 0		
										drawing	revision	dwg no.	

Proposed Floor Plan

General Notes

Only new elements are nominated.

Surface and subfloor drainage to comply with NCC2022 H2D2 and ABCB Housing provisions Part 3.3

Termite treatment to comply with NCC2022 v2, Part 3.4
Termite management system to be used: Chemical

Damp proofing to comply with NCC2022 v2 H2P3

Smoke Alarms

Smoke Alarms to comply with AS 3786.
Installed and connected to mains power in accordance with NCC2022 v2 H3 and NCC2022 ABCB Housing provisions Part 9.5

Smoke alarms must be interconnected where there is more than one alarm.

Dimensions

Wall dimensions are measured to the wall finish surface.

Refer to the structural engineering drawings for structural dimensions and specifications.

Finish floor levels (FFL) are architecturally referenced. The internal floor is marked as +0.00 FFL

Finishes Legend:

CA	Carpet
FC	Fibre cement
PB	Plasterboard
TI	Tiles

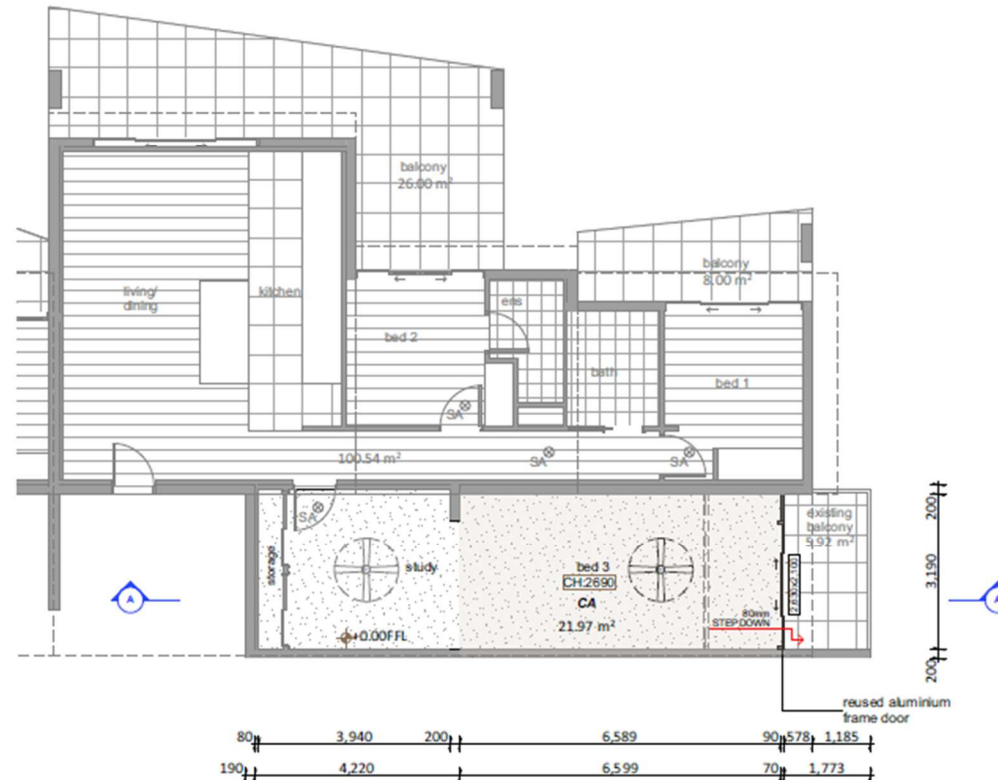
Renovation Legend

	Proposed extension (internal)
	Proposed extension (external)
	New
	existing

Building Areas (approx)

Existing GFA:	100.54m ²
New extension:	21.97m ²
Total Proposed GFA:	122.51m²
Resulting POS:	39.92m ²
Total built:	162.43m²

License No: 15014671



Legend

FW:	Floor waste
CH:	Ceiling Height
FFL:	Finished Floor Level
	New Timber Stud Frame
	New concrete block wall
	Existing Smoke Alarm detector
	Proposed Smoke Alarm Detector
	Air conditioner
	Ceiling fan

	M: 0432701544 E: nadia@thedrafty.com	Unit Extension Unit 16 / 44 Julia St, Wavell Heights QLD 4012	Kirk Johnstone	15/6/2026	revision schedule	R0	First issue	15/06/26	NV	Scale 1:100	BA03
	contact	project	client	date					drawn	Proposed Floor Plan	REV 0
									revision	drawing	dwg no.

Section A-A

General Notes:

Termite treatment to comply with NCC2022 v2, Part 3.4
Termite management system to be used:
Chemical

Builder to provide sufficient drainage away from building.

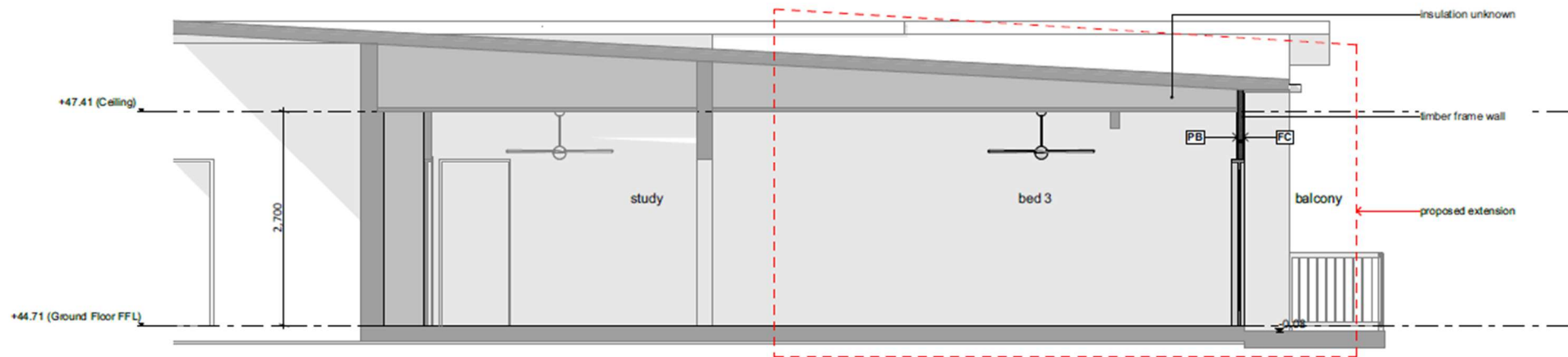
Refer to structural engineering drawings for structural specifications and dimensions.

Finishes Legend:

CA Carpet
FC Fibre cement
PB Plasterboard
TI Tiles

Dimensions

Finish floor levels (FFL) are architecturally referenced. The internal floor is marked as +0.00 FFL



A Section A

Scale 1:50

Legend

new
existing

License No: 15014871

The Drafty	M: 0432701544 E: nadia@thedrafty.com	Unit Extension Unit 16 / 44 Julia St, Wavell Heights QLD 4012	Kirk Johnstone	15/6/2026	revision schedule	R0	First issue	15/06/26	NV	Scale 1:50	Section A-A	REV 0	BA04	
contact	project	client	date						drawn	drawing	revision	dwg no.		