



Dedicated to a better Brisbane

21 May 2026

Cumquat Holdings Pty Ltd
c/- Aspect Town Planning Pty Ltd
PO Box 2101
Graceville East QLD 4075

ATTENTION: Zoc Pankaluic
Application Reference: A006769643
Address of Site: 87 PINELANDS RD SUNNYBANK HILLS QLD 4109

Dear Zoc,

RE: Further advice

Council has reviewed the response to the information request letter and has determined that the following matters remain outstanding to progress the application.

Economic Needs assessment

1. While some justification has been provided based on the recommendations of the previous needs report submitted for a historical approval (Council ref: A004571369), the response does not sufficiently address the matters raised in Council's information request letter to adequately justify the proposed development.

It is considered that a significant period of time has elapsed since the previous needs assessment was prepared, and updated information is required to demonstrate that the proposed development will not undermine the viability of nearby centres, in accordance with Overall Outcome (2)(e), Performance Outcome PO1 and Performance Outcome PO2 of the Small-scale non-residential uses code. Furthermore, the provided needs report submitted in 2016 identifies a number of approved and proposed centres within the study area, some of which have since been constructed, contributing to additional available floor space within the locality. In light of the above, please provide the following information to demonstrate compliance with the relevant assessment benchmarks:

- a. Additional justification that supports that there is a demonstratable need for the proposed small-scale non-residential use within the local community.
- b. Further analysis of the existing approved small-scale non-residential uses within a 1,000m radius of the site, including their location and walking distance from the proposed development.
- c. Further evidence demonstrating the current vacancy rates of commercial tenancies within centre-zoned land located within a 1,000m radius of the site.
- d. Additional justification demonstrating how the proposed development performs a role that is distinct from uses within nearby centres and how it does not contribute to strip development along arterial roads.

Traffic

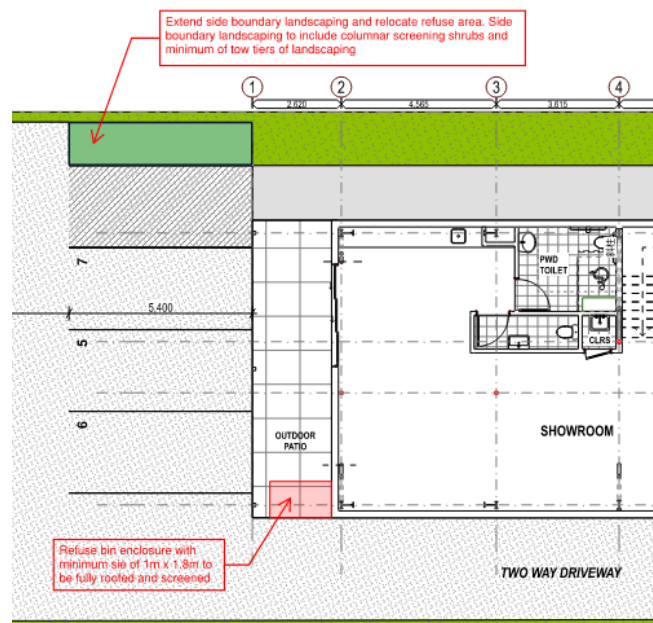
2. The submitted RPEQ Traffic Report (dated 2016) does not assess the current proposal and is based on superseded plans. While reference is made to a prior approval, no updated

professional endorsement has been provided to demonstrate that access, parking and servicing arrangements will continue to operate safely and efficiently under the current design or comply with the applicable planning scheme provisions.

Provide an updated RPEQ traffic assessment or formal RPEQ certified addendum that reviews the current proposed plans and confirms the continued validity of the previous report, demonstrating compliance with the relevant Performance Outcomes of the TAPS Code.

Refuse storage

3. The proposed location of the refuse storage is not supported as it is located along the side boundary in an area previously shown as landscaping area and does not comply with Centre or mixed use code and Landscape works code. Submit amended plans and landscape plans as shown in the below sketch. Based on the previous advice the provision of a bin storage area that meets the minimum dimension is achievable within the proposed patio area as shown below. Additionally, it is recommended that additional shade tree planting be provided in this location to improve amenity impacts.



Email your response to DSPlanningSupport@brisbane.qld.gov.au quoting the application reference number A006904370.

Please phone me on the telephone number below if you have any queries regarding this matter.

Yours sincerely

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Development Services
Brisbane City Council