

DEVELOPMENT SUBDIVISION

2406003

194 OLD NORTHTHERN RD
EVERTON PARK

ANAYA PROPERTY PTY LTD



DRAWING LIST		
DWG No.	REVISION	DRAWING TITLE
2406003-000	D	COVER SHEET
2406003-010	D	OVERALL LAYOUT PLAN
2406003-020	D	CONCEPTUAL E+S LAYOUT PLAN
2406003-025	D	CONCEPTUAL E+S NOTES
2406003-030	D	EARTHWORKS LAYOUT PLAN
2406003-031	D	EARTHWORKS SECTIONS
2406003-040	D	ROADWORKS LAYOUT PLAN
2406003-042	D	LINEMARKING LAYOUT PLAN
2406003-050	D	ROADWORKS LONGITUDINAL SECTION
2406003-060	D	ROADWORKS CROSS SECTIONS
2406003-200	D	STORMWATER CATCHMENT LAYOUT PLAN
2406003-210	D	STORMWATER LAYOUT PLAN
2406003-220	D	STORMWATER LONG SECTIONS
2406003-230	D	STORMWATER CALCULATION TABLE
2406003-450	D	SERVICES LAYOUT PLAN
2406003-500	D	DETENTION TANK DETAIL
2406003-501	D	DETENTION TANK NOTES
2406003-901	D	TURNING PATH PLAN - SHEET 1 OF 2
2406003-902	D	TURNING PATH PLAN - SHEET 2 OF 2
2406003-903	D	DRIVEWAY VERTICAL CHECKING

BCC DS
RECEIVED
03/06/2026
APPLICATION REF
A006663191

PROJECT No	MILESTONE	REVISION DATE	DRAWING No	REVISION
2406003	ISSUED FOR APPROVAL	08.04.26	000	D

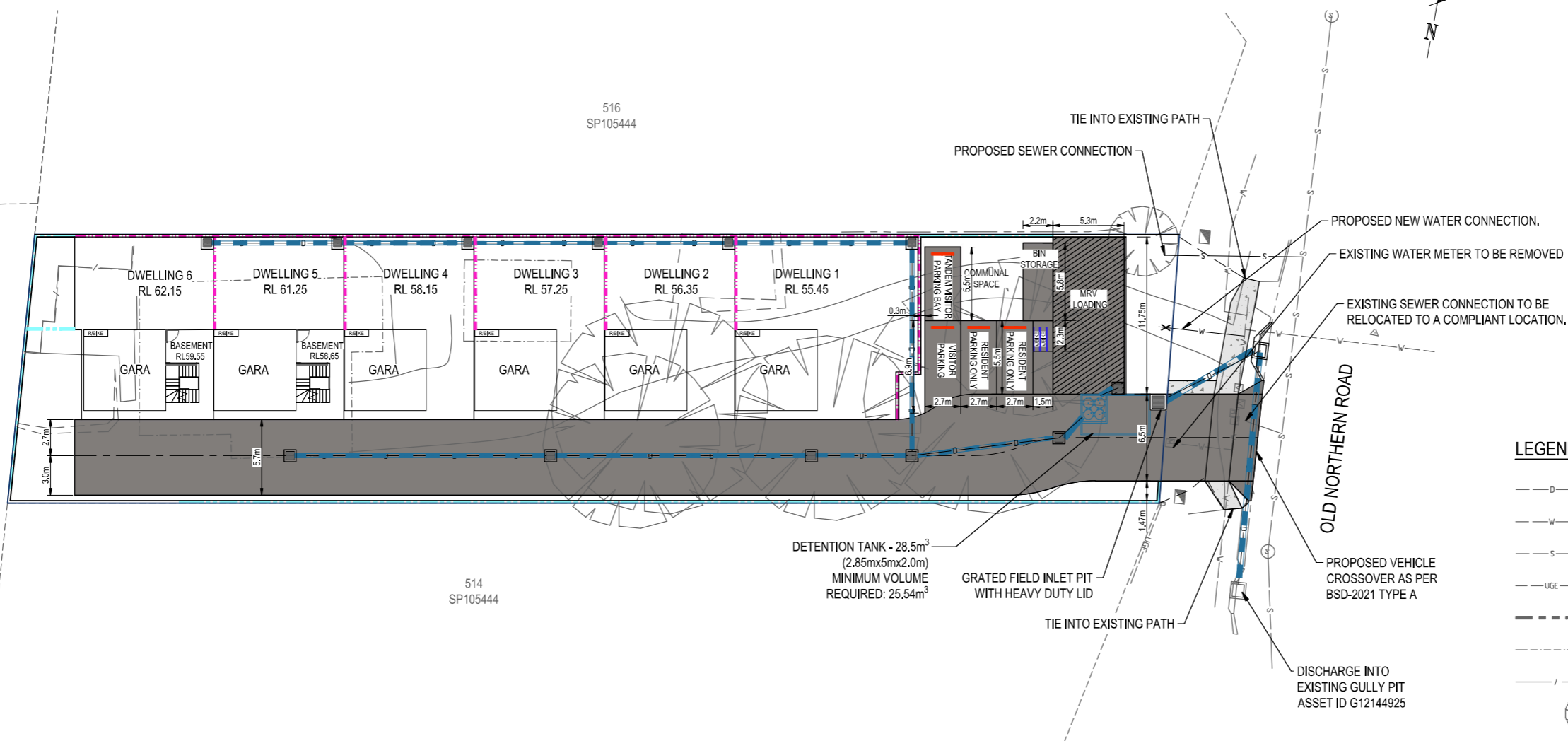
DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.

11
SP278578

516
SP105444

CP
SP278578

514
SP105444



PLAN
SCALE 1:200

LEGEND

- D---D--- EXISTING STORMWATER
- W---W--- EXISTING WATER
- S---S--- EXISTING SEWER
- UGE---UGE--- EXISTING ELECTRICAL
- --- EXISTING RETAINING WALL
- --- EXISTING BUILDING
- / --- EXISTING FENCE
- ⊙ EXISTING TREE
- --- PROPOSED BUILDING WALL
- --- PROPOSED CONCRETE SLEEPER WALL
- --- PROPOSED ROAD DRIVEWAY
- --- PROPOSED WATER
- D---D--- PROPOSED STORMWATER
- S---S--- PROPOSED SEWER
- --- PROPOSED BATTER
- --- PROPOSED PAVEMENT (CONCRETE)
- --- PROPOSED FOOTPATH (CONCRETE)
- --- PROPOSED LINEMARKING
- --- PROPOSED WHEEL STOP

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

BCC DS
RECEIVED
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
we value our relationship with our customers
 477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

0 1 2 3 4 5 6 7 8
 SCALE 1:100 (A1) SCALE 1:200 (A3)

PROJECT DETAILS
 194 OLD NORTHHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS
 OVERALL LAYOUT PLAN

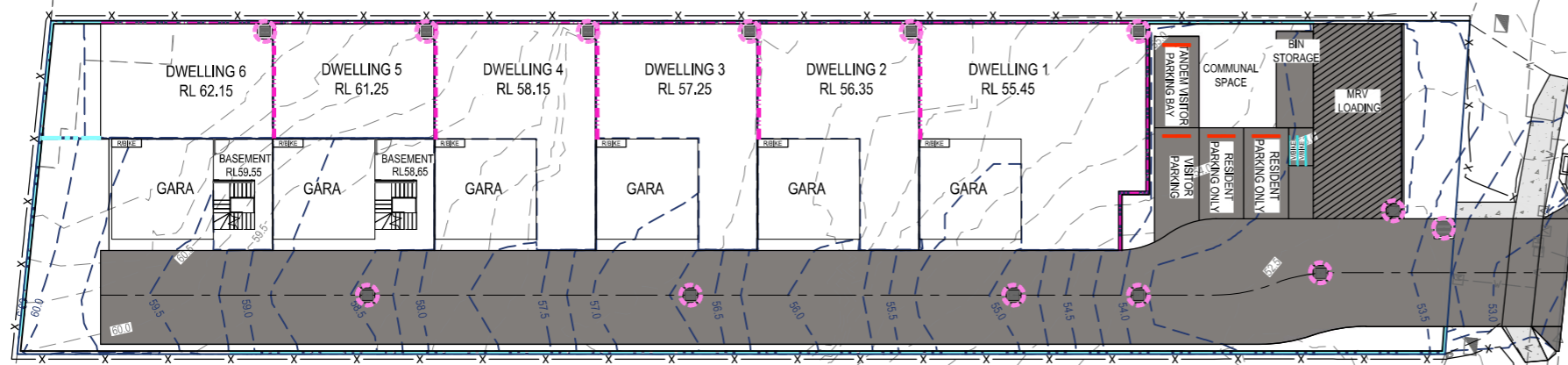
SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 010	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.

11
SP278578

516
SP105444

CP
SP278578



OLD NORTHERN ROAD

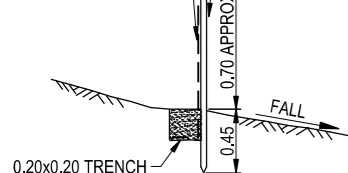
514
SP105444

PLAN
SCALE 1:200

LEGEND

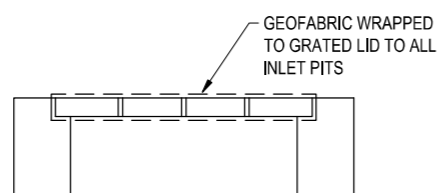
- D---D--- EXISTING STORMWATER
- W---W--- EXISTING WATER
- S---S--- EXISTING SEWER
- UGE---UGE--- EXISTING ELECTRICAL
- --- EXISTING RETAINING WALL
- --- PROPOSED BUILDING WALL
- --- PROPOSED CONCRETE SLEEPER WALL
- --- PROPOSED ROAD DRIVEWAY
- W---W--- PROPOSED WATER
- D---D--- PROPOSED STORMWATER
- 9.60 --- EXISTING CONTOUR
- 9.60 --- DESIGN CONTOURS
- --- PROPOSED BATTER
- X---X--- SEDIMENT FENCE (OR AS DIRECTED BY SITE SUPERINTENDENT)
- --- INLET PROTECTION
- --- PROPOSED PAVEMENT (CONCRETE)
- --- PROPOSED FOOTPATH (CONCRETE)

SEDIMENT CONTROL FENCE.
TOP EDGE TO BE SUITABLY
SUPPORTED BETWEEN POSTS.



SEDIMENT FENCE DETAIL
NOT TO SCALE

POSTS AT 2.00m CTRS TO BE
STEEL PICKET OR 50mm X
50mm HARDWOOD



INLET GULLY DETAILS
NOT TO SCALE

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:



A & E Direct Consulting
we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS
 CONCEPTUAL E+S LAYOUT PLAN

SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 020	REVISION D

GENERAL NOTES

1. THIS DESIGN FOR EROSION AND SEDIMENT CONTROL IS CONCEPTUAL ONLY. THE CONTRACTOR SHALL MODIFY OR INSTALL ADDITIONAL/ ALTERNATIVE MEASURES DURING THE CONSTRUCTION AND MAINTENANCE PERIOD IN ORDER TO COMPLY WITH BEST PRACTICE STANDARDS IN ACCORDANCE WITH BUT NOT LIMITED TO CALIBRE CONSULTING'S SPECIFICATION 17 , THE MANUAL FOR EROSION AND SEDIMENT CONTROL (V1.2) AND ALL STATUTORY REQUIREMENTS.
2. PRESCRIBED WATER CONTAMINANTS (AS DEFINED IN THE ENVIRONMENTAL PROTECTION ACT 1994) MUST NOT BE RELEASED FROM THE SITE, OR BE LIKELY TO BE RELEASED SHOULD RAINFALL OCCUR, UNLESS ALL REASONABLE AND PRACTICABLE MEASURES ARE TAKEN TO PREVENT OR MINIMISE THE RELEASE AND CONCENTRATION OF CONTAMINATION. THESE MEASURES MUST INCLUDE AS A MINIMUM, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - A. ENSURE NON ESSENTIAL EXPOSURE OF SOIL IS PREVENTED BY: RESTRICTING THE EXTENT OF CLEARING TO THAT NECESSARY FOR ACCESS TO, AND SAFE CONSTRUCTION OF, THE APPROVED WORKS; PROTECTING VEGETATION IN ALL OTHER AREAS OF THE SITE; AND BY MINIMISING THE DURATION OF SOIL EXPOSURE BY:
 - STAGING THE WORKS TO MINIMISE THE AREA OF SOIL EXPOSED AT ANY ONE TIME;
 - EFFECTIVELY STABILISING CLEARED AREAS PRIOR TO RAINFALL IF WORKS ARE DELAYED OR WORKS ARE NOT INTENDED TO OCCUR IMMEDIATELY. SEE E&S ADVISE NOTE 1;
 - EFFECTIVELY STABILISING AREAS AT FINISHED LEVEL WITHOUT DELAY AND PRIOR TO RAINFALL; AND
 - EFFECTIVELY STABILISING STEEP AREAS, SUCH AS STOCKPILES, BATTERS AND EMBANKMENTS, WHICH ARE NOT BEING ACTIVELY WORKED AND PRIOR TO RAINFALL.
 - B. WHERE IT IS NOT FEASIBLE TO EFFECTIVELY STABILISE CLEARED AREAS OF EXPOSED SOIL, SUCH AS AREAS BEING ACTIVELY WORKED, IMPLEMENT A FULL SUITE OF EROSION AND SEDIMENT CONTROLS TO MAXIMISE SEDIMENT CAPTURE IN THOSE AREAS AND TO MINIMISE EROSION SUCH THAT EROSION BY ALL FORMS OTHER THAN SPLASH (RAINDROP IMPACT) EROSION AND SHEET EROSION DOES NOT OCCUR;
 - C. IN AREAS OF EXPOSED SOIL WHERE IT IS NOT FEASIBLE TO EITHER EFFECTIVELY STABILISE THE SURFACE OR IMPLEMENT A FULL SUITE OF EROSION AND SEDIMENT CONTROLS, FOR EXAMPLE IN THE AREAS BEING ACTIVELY WORKED AND WHERE THE IMPLEMENTATION OF SOME EROSION AND SEDIMENT CONTROLS WOULD IMPEDE CONSTRUCTION ACTIVITIES, ENSURE CONTINGENCY MEASURES ARE AVAILABLE ON SITE AND ARE IMPLEMENTED, PRIOR TO RAIN, TO MAXIMISE SEDIMENT CAPTURE AND TO MINIMISE EROSION SUCH THAT EROSION BY ALL FORMS OTHER THAN SPLASH (RAINDROP IMPACT) EROSION AND SHEET EROSION DOES NOT OCCUR
 - D. EFFECTIVELY STABILISE ALL STOCKPILES, BATTERS AND EMBANKMENTS WITHOUT DELAY. WHERE IT IS NOT FEASIBLE TO EFFECTIVELY STABILISE A STOCKPILE, BATTER OR EMBANKMENT, SUCH AS AREAS BEING ACTIVELY WORKED, ENSURE THAT SEDIMENT CONTROLS ARE INSTALLED AND SURFACE STORMWATER FLOWS ARE MANAGED SUCH THAT EROSION OF STOCKPILES, BATTERS OR EMBANKMENTS IS NOT CAUSED BY CONCENTRATED STORMWATER FLOWS.
 - E. ENSURE CLEAN STORMWATER IS DIVERTED OR MANAGED AROUND OR THROUGH THE SITE WITHOUT INCREASING THE CONCENTRATION OF TOTAL SUSPENDED SOLIDS OR OTHER CONTAMINANTS IN THE FLOW AND WITHOUT CAUSING EROSION (ON SITE OR OFF SITE). IF IT IS NOT FEASIBLE TO DIVERT ALL AREAS DISCHARGING CLEAN STORMWATER AROUND OR THROUGH THE SITE, MANAGE THE CLEAN STORMWATER RUNOFF AS FOR CONTAMINATED STORMWATER RUNOFF, AND ENSURE THAT SEDIMENT BASINS ARE SIZED TO ACCOMMODATE THE ADDITIONAL VOLUME OF RUNOFF (SEE E&S ADVISE NOTE 2).
 - F. ENSURE SHEET FLOWS OF STORMWATER ARE MANAGED SUCH THAT SHEET AND RILL EROSION IS PREVENTED OR MINIMISED.
 - G. ENSURE THAT ALL CONCENTRATED STORMWATER FLOWS INCLUDING DRAINAGE LINES, DIVERSION DRAINS, CHANNELS AND BATTER CHUTES ARE MANAGED ONTO, THROUGH, AND AT RELEASE POINTS FROM THE SITE IN ALL RAIN EVENTS UP TO AND INCLUDING THE AVERAGE RECURRENCE INTERVAL (ARI) EVENT OF 1 IN 2 YEAR ARI WITHOUT CAUSING WATER CONTAMINATION, SHEET, RILL OR GULLY EROSION, SEDIMENTATION, OR DAMAGE TO STRUCTURES OR PROPERTY
 - H. ENSURE MEASURES HAVE BEEN IMPLEMENTED SUCH THAT THE RUNOFF FROM ALL DISTURBED AREAS FLOWS TO A SEDIMENT BASIN OR BASINS. WHERE IT IS NOT FEASIBLE TO DIVERT RUNOFF FROM DISTURBED AREAS OF THE SITE TO A SEDIMENT BASIN, IMPLEMENT COMPENSATORY EROSION AND DRAINAGE CONTROLS PRIOR TO RAINFALL TO ENSURE THAT EROSION OF THOSE AREAS DOES NOT OCCUR, INCLUDING EROSION CAUSED BY EITHER SPLASH (RAINDROP IMPACT), SHEET, RILL OR GULLY EROSION PROCESSES (SEE E&S ADVISE NOTE 3).
 - I. ENSURE EACH SEDIMENT BASIN HAS THE CAPACITY TO TREAT FLOWS TO CURRENT BEST PRACTICE STANDARDS (SEE E&S ADVISE NOTE 4) AND AS A MINIMUM TO CONTAIN ALL THE STORMWATER RUNOFF FROM THE 80TH PERCENTILE 5 DAY RAINFALL DEPTH AND STORE 2 MONTHS SEDIMENT FROM THE RECEIVING CATCHMENT, AS DETERMINED USING THE REVISED UNIVERSAL SOIL LOSS EQUATION.

- J. ENSURE SEDIMENT BASINS ARE MAINTAINED WITH SUFFICIENT STORAGE CAPACITY TO CAPTURE AND TREAT THE RUNOFF FOR THE DESIGN RAINFALL DEPTH OR EVENT. WHERE SEDIMENT BASINS ARE PROPOSED TO BE OVERSIZED FOR STORAGE OF CAPTURED WATER FOR RE-USE, INSTALL SURVEY MARKERS IN EACH SUCH BASIN TO INDICATE THE LEVEL THAT WATER WITHIN THE BASIN MUST BE LOWERED TO, IN ORDER TO MEET THE STORAGE CAPACITY SPECIFIED IN THE ABOVE REQUIREMENT.
- K. ENSURE SEDIMENT BASINS ARE DEWATERED AS SOON AS PRACTICABLE AFTER EACH RAINFALL EVENT.
- L. ENSURE THAT DURING DEWATERING, THE CONCENTRATION OF TOTAL SUSPENDED SOLIDS (TSS) DISCHARGED DOES NOT EXCEED 50MG/L AND THAT PH IS WITHIN THE RANGE OF 6.5-8.5. THE CONCENTRATION OF TSS RELEASED BY DEWATERING MAY ONLY EXCEED 50MG/L WHERE IT CAN BE DEMONSTRATED AND SUPPORTED THROUGH DOCUMENTATION THAT:
 - FURTHER SIGNIFICANT RAINFALL IS FORECAST TO OCCUR BEFORE THE TSS CONCENTRATION IS LIKELY TO BE REDUCED TO 50MG/L ; AND
 - RELEASING A HIGHER CONCENTRATION OF TOTAL SUSPENDED SOLID WILL RESULT IN A BETTER ENVIRONMENTAL OUTCOME BY PROVIDING STORAGE FOR THE CAPTURE AND TREATMENT OF RUNOFF FROM THE IMMINENT RAINFALL AND RUNOFF; AND
 - FLOCCULENT HAS BEEN APPLIED AND THE CONCENTRATION OF TSS IN THE CAPTURED WATER HAS ALREADY SIGNIFICANTLY DECREASED.
- M. ENSURE SEDIMENT BASINS AND ASSOCIATED STRUCTURES SUCH AS INLETS, OUTLETS AND SPILLWAYS ARE STRUCTURALLY SOUND FOR 10 YEAR ARI RAINFALL EVENT.
- N. ENSURE ACCUMULATED SEDIMENT FROM BASINS AND OTHER CONTROLS IS REMOVED AND DISPOSED OF APPROPRIATELY WITHOUT CAUSING WATER CONTAMINATION.
- O. ENSURE SEDIMENT DOES NOT LEAVE THE SITE ON THE TYRES OF VEHICLES.

3. THE ENVIRONMENTAL PROTECTION ACT 1994 STATES THAT A PERSON MUST NOT CARRY OUT ANY ACTIVITY THAT CAUSES, OR IS LIKELY TO CAUSE, ENVIRONMENTAL HARM UNLESS THAT PERSON TAKES ALL REASONABLE AND PRACTICAL MEASURES TO PREVENT OR MINIMISE THE HARM. ENVIRONMENTAL HARM INCLUDES ENVIRONMENTAL NUISANCE. IN REGARD PERSONS AND ENTITIES, INVOLVED IN THE CIVIL, EARTHWORKS AND CONSTRUCTION PHASES OF THIS DEVELOPMENT, ARE TO ADHERE TO THEIR 'GENERAL ENVIRONMENTAL DUTY' TO MINIMISE THE RISK OF CAUSING ENVIRONMENTAL HARM.

ENVIRONMENTAL: HARM IS DEFINED BY THE ACT AS ANY ADVERSE AFFECT, OR POTENTIAL ADVERSE AFFECT WHETHER TEMPORARY OR PERMANENT AND OF WHATEVER MAGNITUDE, DURATION OR FREQUENCY ON AN ENVIRONMENTAL VALUE AND INCLUDES ENVIRONMENTAL NUISANCE. THEREFORE, NO PERSON SHOULD CAUSE ANY INTERFERENCE WITH THE ENVIRONMENT OR AMENITY OF THE AREA BY REASON OF THE EMISSION OF NOISE, VIBRATION, SMELL, FUMES, SMOKE, VAPOR, STEAM, SOOT, ASH, DUST, WASTE WATER, WASTE PRODUCTS, GRIT, SEDIMENT, OIL OR OTHERWISE, OR CAUSE HAZARDS LIKELY IN THE OPINION OF THE ADMINISTERING AUTHORITY TO CAUSE UNDUE DISTURBANCE OR ANNOYANCE TO PERSONS OR AFFECT PROPERTY NOT CONNECTED WITH THE USE.

4. THE CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION AND DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION INCLUDING THE MAINTENANCE PERIOD.
5. WHERE IT IS REQUIRED TO SLASH EXISTING VEGETATION EITHER PRIOR TO THE COMMENCEMENT OF WORKS, DURING THE CONSTRUCTION WORKS AND / OR DURING THE MAINTENANCE PERIOD, SAID VEGETATION SHALL BE SLASHED TO A MINIMUM HEIGHT OF 75mm TO ASSIST WITH THE RETENTION OF SOILS ON SITE (I.E. ASSIST IN THE PREVENTION OF EROSION).
6. WHERE THE EXISTING VEGETATION WITHIN THE PROPOSED LOTS AND / OR PARKLAND IS DISTURBED AS A RESULT OF THE CONSTRUCTION WORKS, SAID EARTHWORKS ARE TO BE TOPSOILED AND EFFECTIVELY STABILISED WITHIN FIVE (5) DAYS, (EARLIER IF RAIN EXPECTED) OF FINAL ALLOTMENT EARTHWORKS. AN EFFECTIVELY STABILISED SURFACE IS DEFINED AS ONE THAT DOES NOT HAVE
 - VISIBLE EVIDENCE OF SOIL LOSS CAUSED BY SHEET, RILL OR GULLY EROSION OR
 - LEAD TO SEDIMENTATION, OR
 - LEAD TO WATER CONTAMINATION.
7. ALL CONSTRUCTION VEHICLES ARE TO ACCESS THE SITE VIA A SINGLE POINT OF ACCESS; THE POINT OF ACCESS, TOGETHER WITH THE MEASURES TO BE IMPLEMENTED, ARE TO BE AGREED WITH COUNCIL'S DESIGNATED REPRESENTATIVE ON SITE. THE PRINCIPLE AIM OF THE MEASURE(S) TO BE IMPLEMENTED IS / ARE TO LIMIT THE TRACKING OF DELETERIOUS MATERIALS ONTO THE SURROUNDING ROAD NETWORK.

8. THE CONTRACTOR SHALL PROVIDE GULLY INLET PROTECTION TO ALL GULLY INLET STRUCTURES LOCATED, DIRECTLY DOWNSTREAM OF THE PROPOSED DEVELOPMENT WORKS.
9. APPROPRIATE PROVISIONS ARE TO BE PROVIDED TO THE INTERFACE BETWEEN THE EXISTING ROADWAY PAVEMENTS AND THE NEW ROADWORK'S CONSTRUCTION. THE PROVISIONS SHALL ADDRESS WORKPLACE HEALTH AND SAFETY CONCERNS (I.E. RESTRICTING ACCESS BY THE GENERAL PUBLIC TO THE SITE).
10. THE LOCATION OF THE CONSTRUCTION VEHICLE COMPOUND, SITE OFFICE AND THE VEHICLE SERVICING AREA SHALL BE AGREED WITH COUNCIL'S DESIGNATED REPRESENTATIVE ON SITE, PRIOR TO THE COMMENCEMENT OF WORKS.
11. CLEARED VEGETATION IS TO NOT BE BURNED ON SITE, ALL VEGETATIVE WASTE(S) SHALL BE MULCHED AND THEREAFTER RETAINED ON SITE FOR USE AS PART OF THE EROSION AND SEDIMENTATION CONTROL STRATEGY OR THE LANDSCAPING / REVEGETATION WORKS. ALL STUMPS AND / OR OTHER ORGANIC MATTER NOT SUITABLE FOR MULCHING SHALL BE DISPOSED OF AT AN APPROVED WASTE DISPOSAL FACILITY.
12. SEDIMENT FENCE AND TURFING RUNNING DOWNSLOPES SHALL HAVE REGULAR FLOW DISSIPATERS AT 45° TO SLOPE AS DIRECTED CONSISTING OF SAND BAGS OR SIMILAR AS REQUIRED.
13. DURING THE CONSTRUCTION PROCESS INCLUDING THAT PERIOD DURING WHICH THE WORKS ARE "ON MAINTENANCE" SHOULD COUNCIL'S DESIGNATED REPRESENTATIVE REQUEST ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES BE IMPLEMENTED, SAID MEASURES SHALL BE IMPLEMENTED AT THE EARLIEST TIME POSSIBLE. NOTWITHSTANDING THE ABOVE REQUIREMENT ANY MEASURES REQUESTED TO BE IMPLEMENTED BY COUNCIL'S DESIGNATED REPRESENTATIVE SHALL BE IMPLEMENTED WITHIN 24 HOURS OF THE TIME OF THE REQUEST.
14. ALL ROOFWATER / SEWER RETICULATION TRENCHES EITHER ADJACENT TO EXISTING DEVELOPMENT OR PERPENDICULAR TO THE CROSSFALL OF THE LAND ARE TO BE TOPSOILED (75mm MINIMUM) AND TURFED. FOR A MINIMUM 900mm WIDTH.
15. THE CONTRACTOR SHALL CONSTRUCT LINED CUTOFF DRAINS IN WORK AREAS SO AS TO LIMIT SLOPE LENGTHS TO A MAXIMUM OF 80M.
16. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO RELEASE OR FLOW IS PERMITTED FROM THE SITE, THROUGHOUT THE EARTHWORKS AND CONSTRUCTION PERIOD TO ANY WATER WAYS OR STORMWATER DRAINLINES LEADING TO A WATERWAY OR AREA OF NATIVE VEGETATION UNLESS THE LEVELS OF TOTAL SUSPENDED SOLIDS DOES NOT EXCEED A CONCENTRATION OF 50 MGL.
17. ALL SEDIMENT CONTROL DEVICES SHALL BE MONITORED, CLEANED AND/OR REPAIRED WHENEVER THE ACCUMULATED SEDIMENT REDUCES THE CAPACITY BY 50%.
18. ALL PERIMETER BANK/SWALE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
19. AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS AND PROTECT OR STABILISE ANY DOWNSTREAM CONSTRUCTION AND GULLY INLETS.
20. CLEARING OF SITE AND STOCK PILE AREAS TO BE AS DIRECTED BY THE SUPERINTENDENT.
21. WHERE PRACTICAL THE CONTRACTOR SHALL DIVERT CLEAN WATER ENTERING THE SITE FROM EXTERNAL CATCHMENT(S) AND DIRECTED TO THE STORMWATER SYSTEM. THIS DISCHARGE POINT SHOULD BE ROCK LINED. REGULAR ROCK CHECK DAMS SHOULD BE POSITIONED ALONG THE VEGETATED DRAINAGE LINE LEADING TO THIS DISCHARGE POINT.
22. REGULAR INSPECTIONS AND MAINTENANCE OF VEHICLE WASHDOWN AREA, SITE AND STORAGE COMPOUND TO BE CARRIED OUT BY CONTRACTOR.
23. AREAS USED FOR STORAGE OF CHEMICALS USED FOR CONSTRUCTION PURPOSES SHALL HAVE STORMWATER CONTROL DEVICES ERECTED ADJACENT TO THEM (I.E. EARTH BUND AND SEDIMENT FENCES), UPON COMPLETION OF ROADWORKS WASTE PRODUCTS ARE TO BE DISPOSED OF AS PER LOCAL AUTHORITY GUIDELINES AND TEMPORARY DEVICES ARE TO BE REMOVED AND AREA REHABILITATED.

DISCLAIMER
ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.


THE EROSION & SEDIMENT CONTROL PLAN IS A CONCEPT PLAN DEMONSTRATING AN APPROACH TO EROSION & SEDIMENTATION CONTROL FOR THE SITE. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE AN EROSION & SEDIMENT CONTROL DESIGN AND A COMPLETED DESIGN CERTIFICATE PRIOR TO COMMENCEMENT OF WORK. CERTIFICATION MUST BE UNDERTAKEN BY A SUITABLY QUALIFIED, EXPERIENCED PROFESSIONAL NOT DIRECTLY EMPLOYED BY THE PRINCIPAL.

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

BCC DS
RECEIVED
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
ISSUED FOR APPROVAL

APPROVED
BY: AHMED GADALLA RPEQ: 35699
DATE: 08.04.26

SIGN: 



A & E Direct Consulting
we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
enquiries@aedirectconsulting.com
www.aedirectconsulting.com

CLIENT DETAILS
ANAYA PROPERTY PTY LTD

SCALE

PROJECT DETAILS
194 OLD NORTHTHERN RD
EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS
CONCEPTUAL E+S NOTES

SCALE 1: @ A3	DATE 08.04.26
DRAWING NO. 025	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.

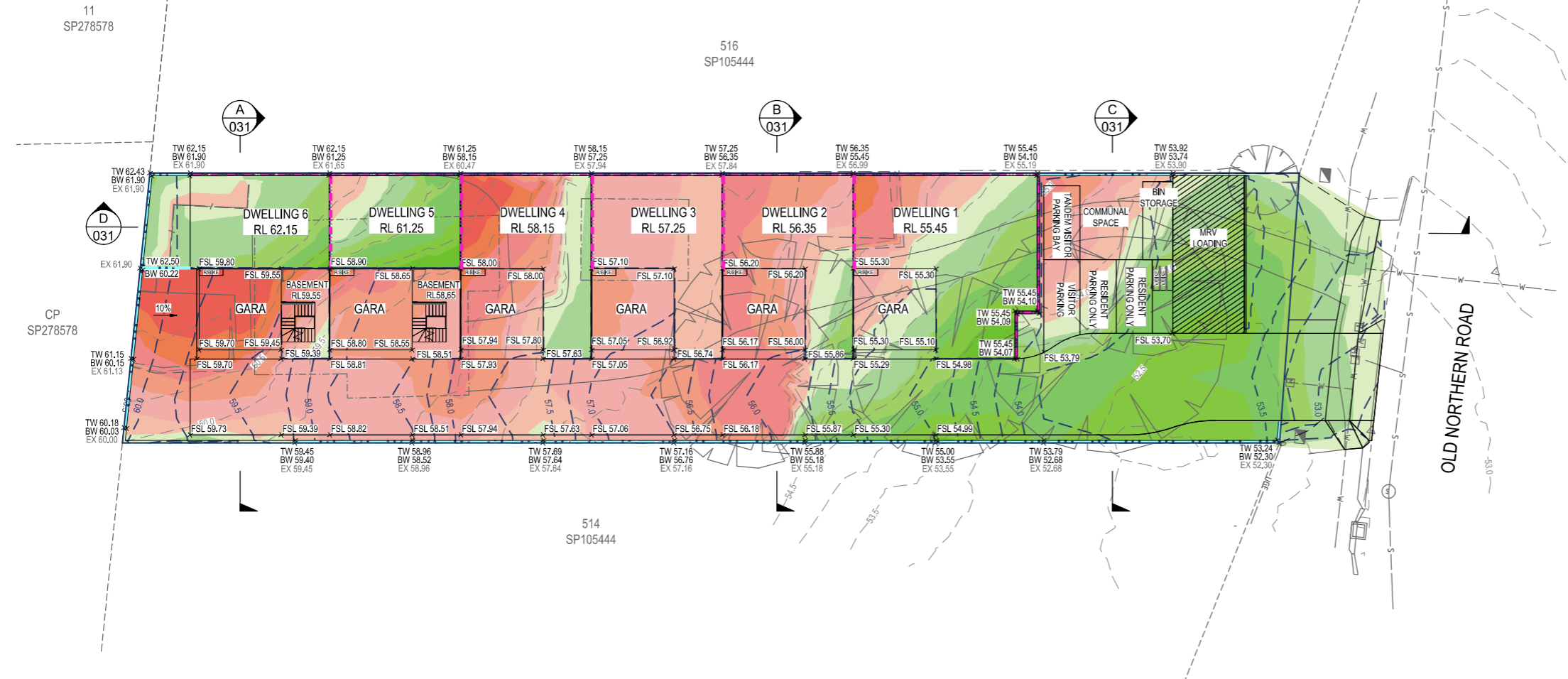
EARTHWORKS VOLUMES
 EARTHWORKS VOLUME FROM EXISTING SURFACE MINUS 100
 TO DESIGN SURFACE
 CUT: 639 m³
 FILL: 634 m³
 EXPORT: 5 m³

CUT FILL LEGEND



LEGEND

- EXISTING STORMWATER
- EXISTING WATER
- EXISTING SEWER
- EXISTING ELECTRICAL
- EXISTING RETAINING WALL
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING TREE
- PROPOSED BUILDING WALL
- PROPOSED CONCRETE SLEEPER WALL
- PROPOSED ROAD DRIVEWAY
- EXISTING CONTOUR
- DESIGN CONTOURS
- FINISHED SURFACE LEVEL
- PROPOSED BATTER



PLAN
 SCALE 1:200

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
 we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

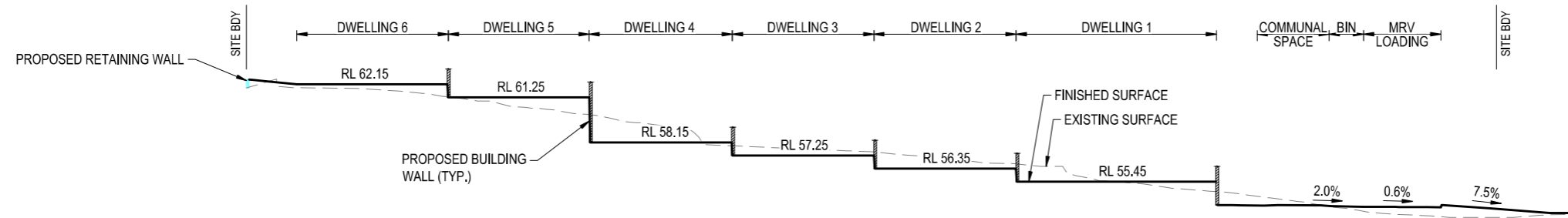
SCALE 1:100 (A1) SCALE 1:200 (A3)

PROJECT DETAILS
 194 OLD NORTHERN RD
 EVERTON PARK

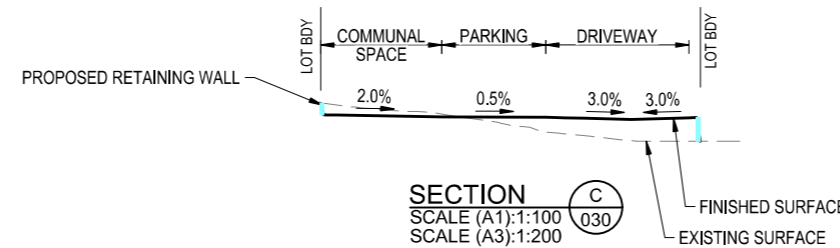
PROJECT NUMBER
2406003

DRAWING DETAILS	
EARTHWORKS LAYOUT PLAN	
SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 030	REVISION D

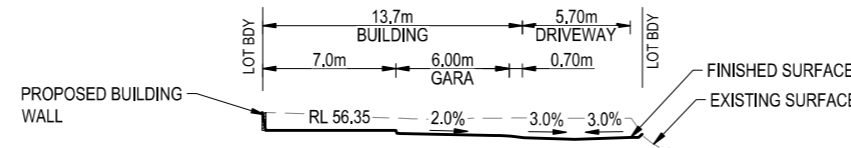
DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



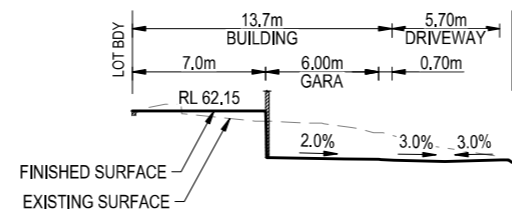
SECTION D
 SCALE (A1):1:100
 SCALE (A3):1:200



SECTION C
 SCALE (A1):1:100
 SCALE (A3):1:200



SECTION B
 SCALE (A1):1:100
 SCALE (A3):1:200




SECTION A
 SCALE (A1):1:100
 SCALE (A3):1:200

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN: 


A & E Direct Consulting
we value our relationship with our customers
 477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

0 2.0 4.0 6.0 8.0 10.0 12.0 14.0 16.0
 SCALE 1:200 (A1) SCALE 1:400 (A3)

0 1 2 3 4 5 6 7 8
 SCALE 1:100 (A1) SCALE 1:200 (A3)

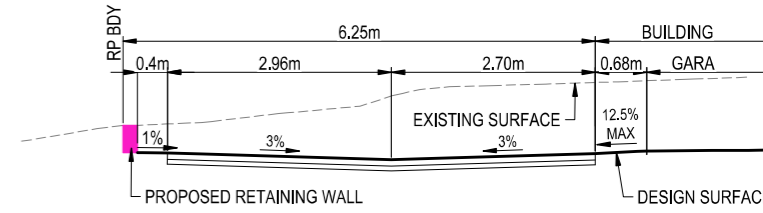
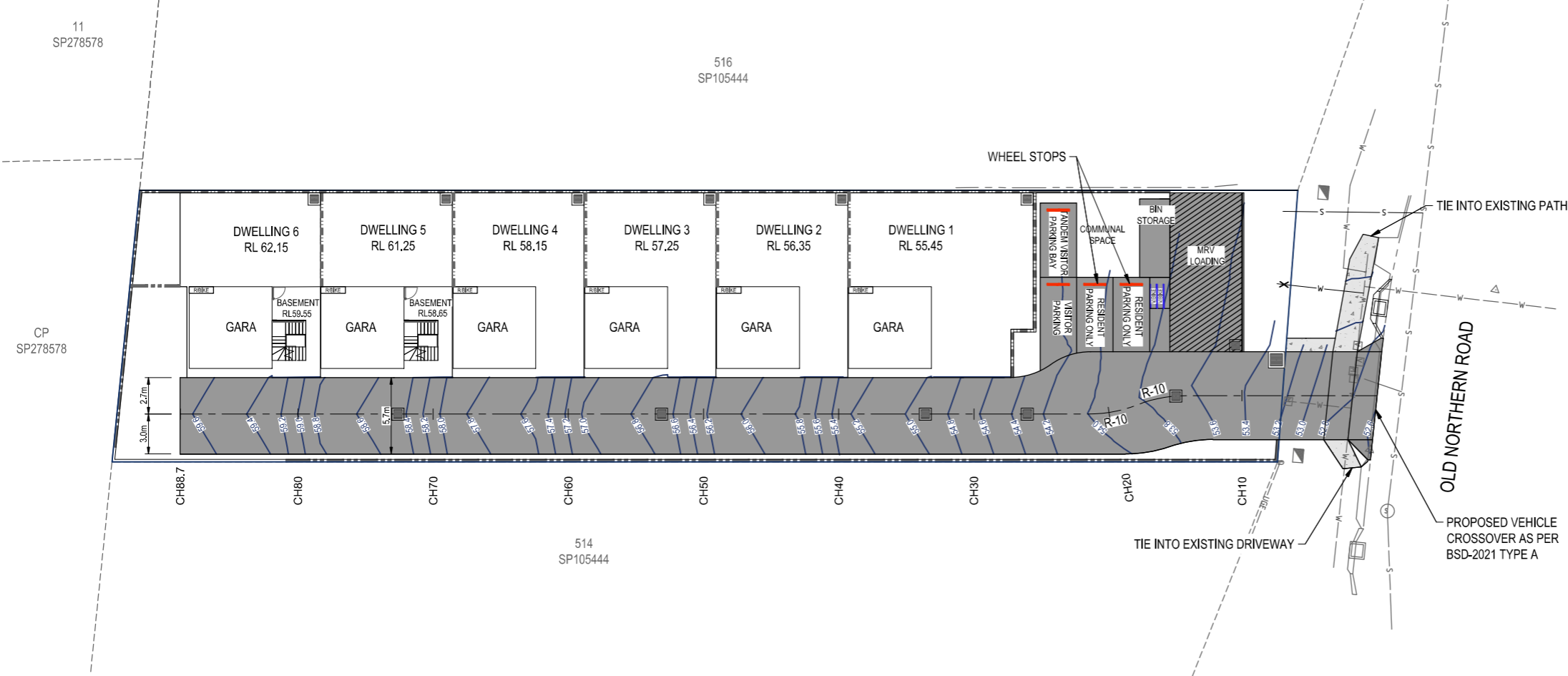
PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS
 EARTHWORKS SECTIONS

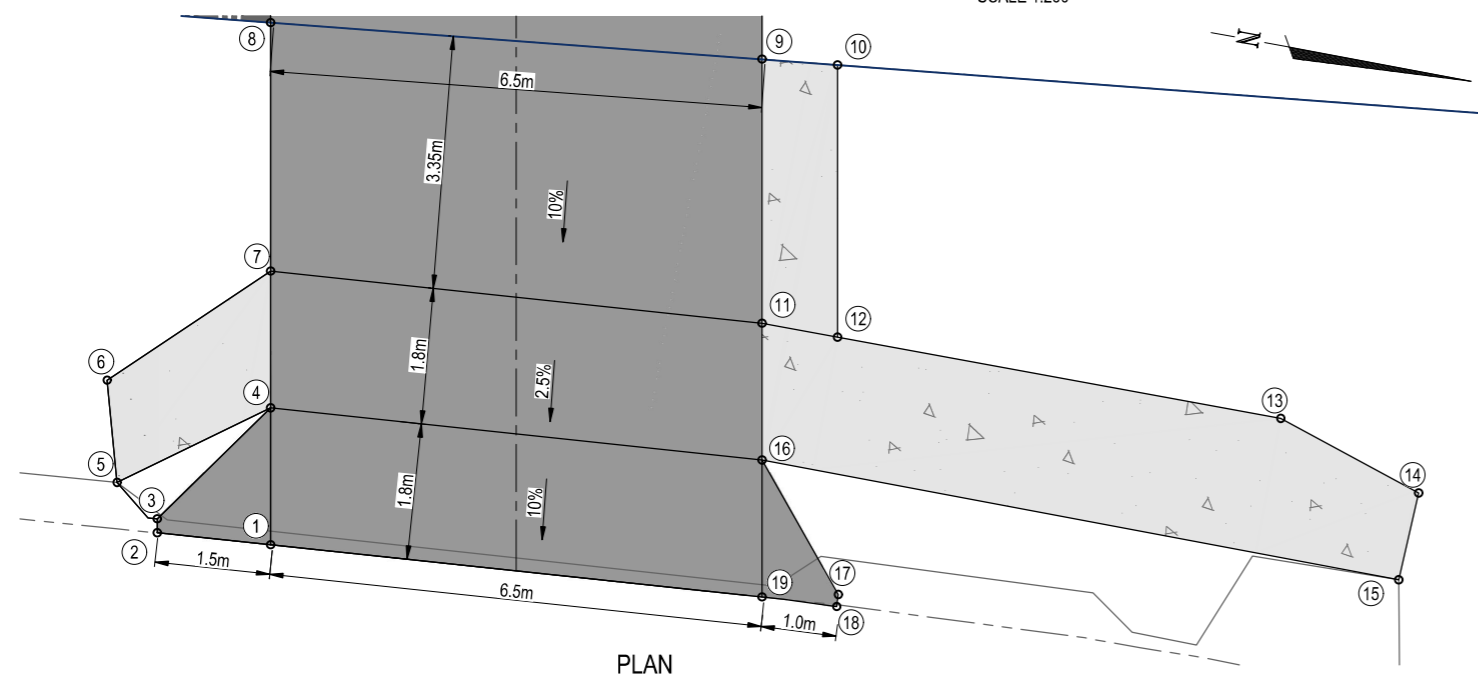
SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 031	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



TYPICAL SECTION RS01
 HORIZONTAL SCALE 1:50
 VERTICAL SCALE 1:50

PLAN
 SCALE 1:200



PLAN
 SCALE 1:50

SETOUT TABLE

POINT	EASTING	NORTHING	LEVEL
1	498475.957	6970757.596	52.642
2	498476.078	6970756.093	52.584
3	498475.895	6970756.059	52.734
4	498474.177	6970757.264	52.844
5	498475.519	6970755.449	52.555
6	498474.213	6970755.072	52.527
7	498472.398	6970756.932	52.953
8	498469.168	6970756.329	53.381
9	498468.449	6970762.807	53.333
10	498468.342	6970763.804	53.360
11	498471.883	6970763.448	53.061
12	498471.880	6970764.465	53.093
13	498471.863	6970770.424	53.281
14	498472.496	6970772.400	53.347
15	498473.676	6970772.351	53.335
16	498473.663	6970763.780	53.025
17	498475.227	6970765.100	52.895
18	498475.387	6970765.109	52.745
19	498475.442	6970764.112	52.893

LEGEND

- D---D--- EXISTING STORMWATER
- W---W--- EXISTING WATER
- S---S--- EXISTING SEWER
- UGE---UGE--- EXISTING ELECTRICAL
- [Pattern]--- PROPOSED/EXISTING RETAINING WALL
- [Pattern]--- PROPOSED ROAD DRIVEWAY
- W---W--- PROPOSED WATER
- D---D--- PROPOSED STORMWATER
- S---S--- PROPOSED SEWER
- [Pattern]--- DESIGN CONTOURS
- [Pattern]--- PROPOSED PAVEMENT (CONCRETE)
- [Pattern]--- PROPOSED FOOTPATH (CONCRETE)
- [Pattern]--- PROPOSED LINEMARKING
- [Symbol]--- PROPOSED WHEEL STOP

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A&E Direct Consulting
 we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

PROJECT DETAILS
 194 OLD NORTHERN RD
 EVERTON PARK

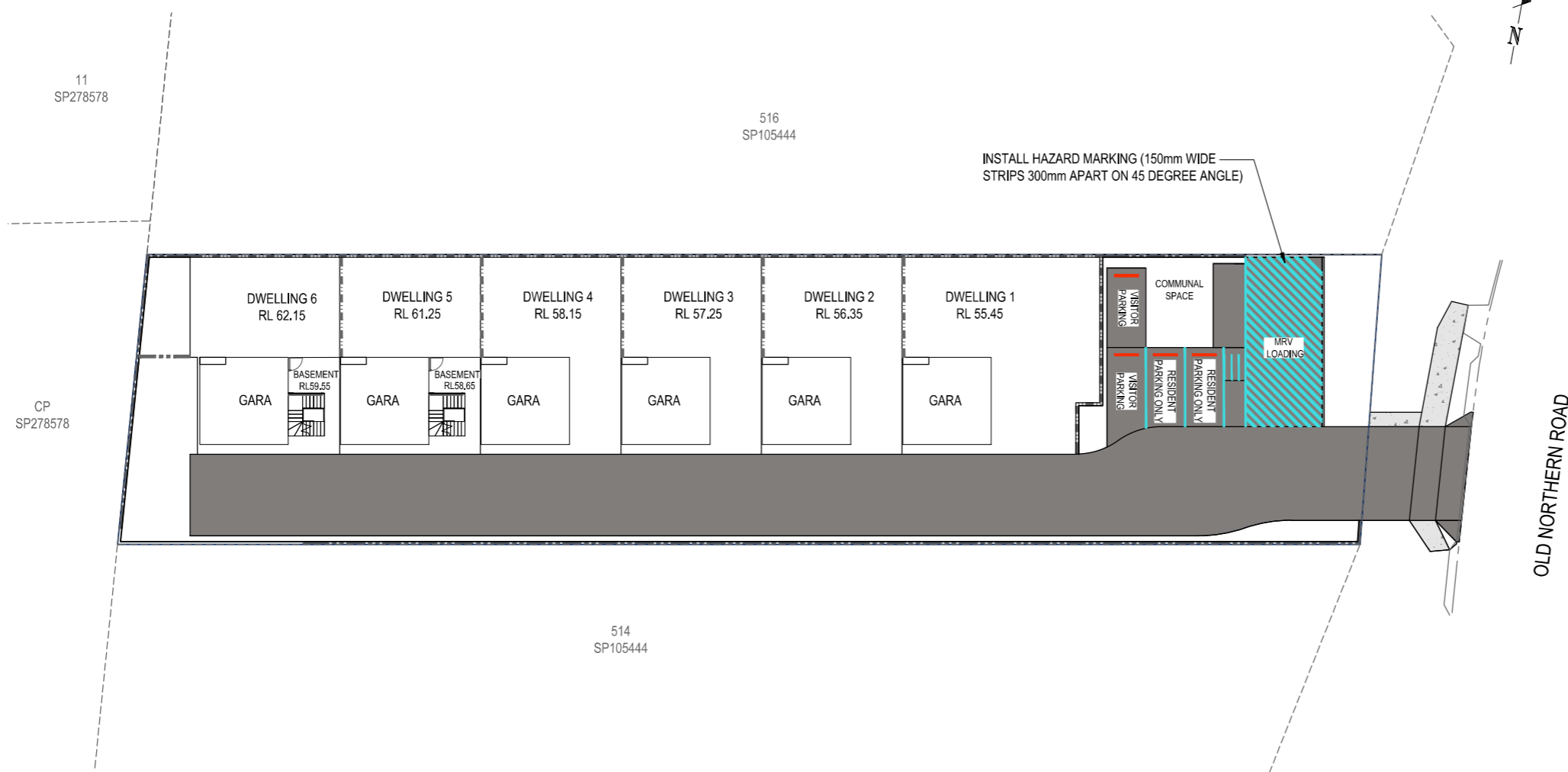
PROJECT NUMBER
 2406003

DRAWING DETAILS
 ROADWORKS LAYOUT PLAN

SCALE 1:200 1:50 @ A3	DATE 08.04.26
DRAWING NO. 040	REVISION D

BCC DS
RECEIVED
 03/06/2026
APPLICATION REF
 A006663191

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



PLAN
 SCALE 1:200

LEGEND

	PROPOSED LINEMARKING
	PROPOSED WHEEL CHAIR LEGEND

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
 we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

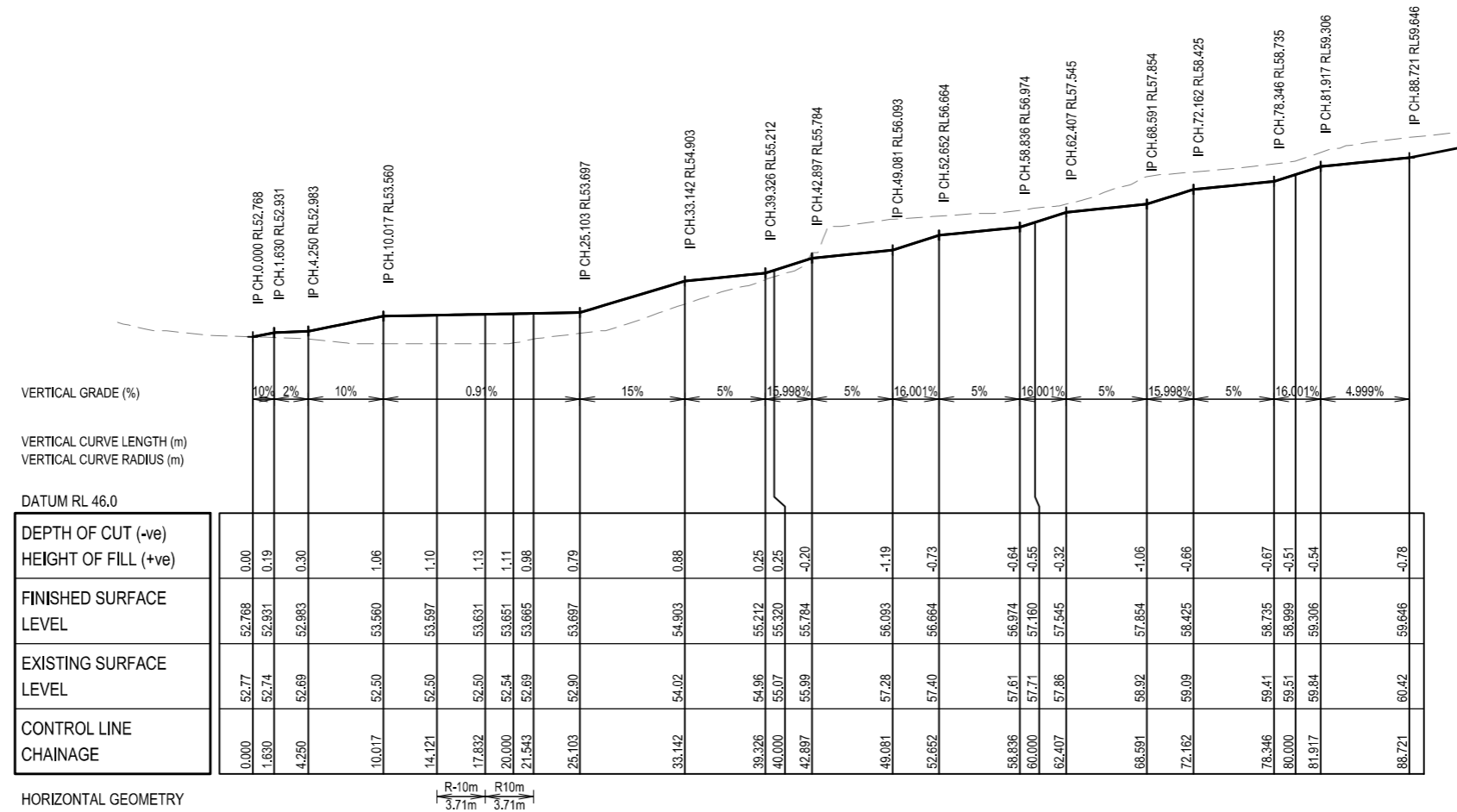
SCALE

PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
 2406003

DRAWING DETAILS	
LINEMARKING LAYOUT PLAN	
SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 042	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



LONGITUDINAL SECTION - DRIVEWAY 01

HORZ SCALE 1:250
 VERT SCALE 1:125

LEGEND

- DESIGN SURFACE
- EXISTING SURFACE

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
 we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

1:100 1 0 1 2 3 4 5 A1
 1:200 A3

PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

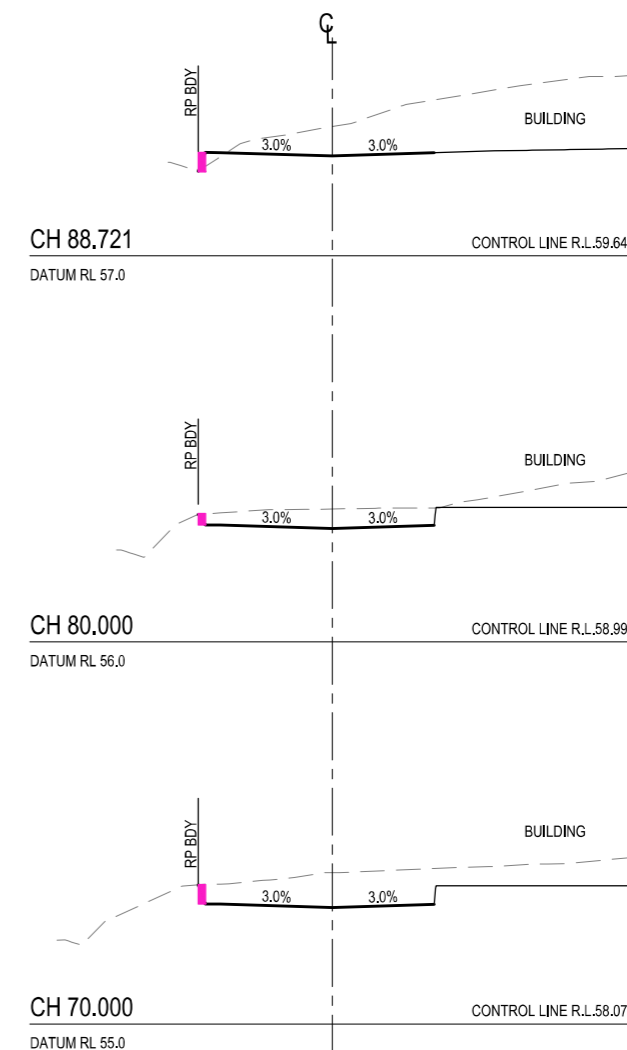
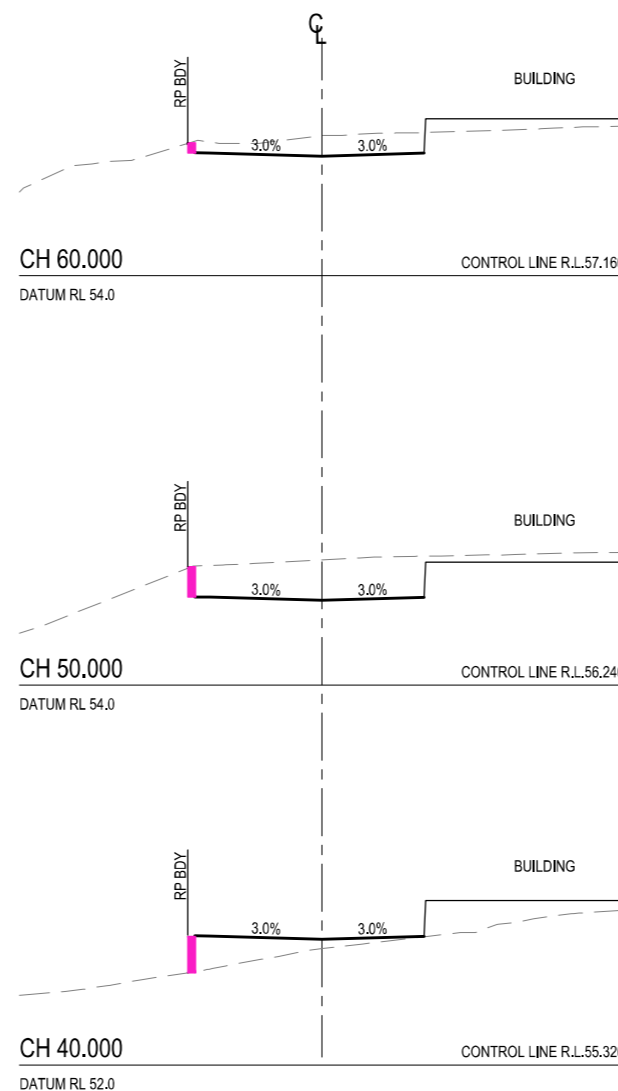
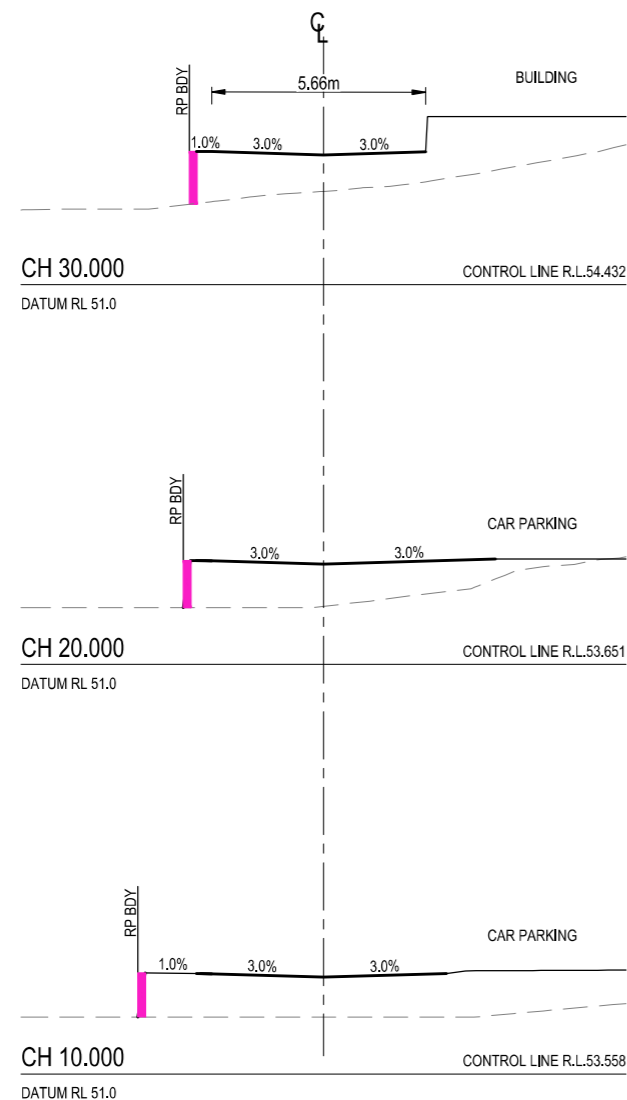
DRAWING DETAILS
 ROADWORKS LONGITUDINAL SECTION

SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 050	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.

LEGEND

- EXISTING SURFACE LEVEL
- PROPOSED FINISHED SURFACE LEVEL
- █ PROPOSED RETAINING WALL



ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:



A & E Direct Consulting
we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

1:50 1 0.5 0 1 2 A1
 1:100 A3

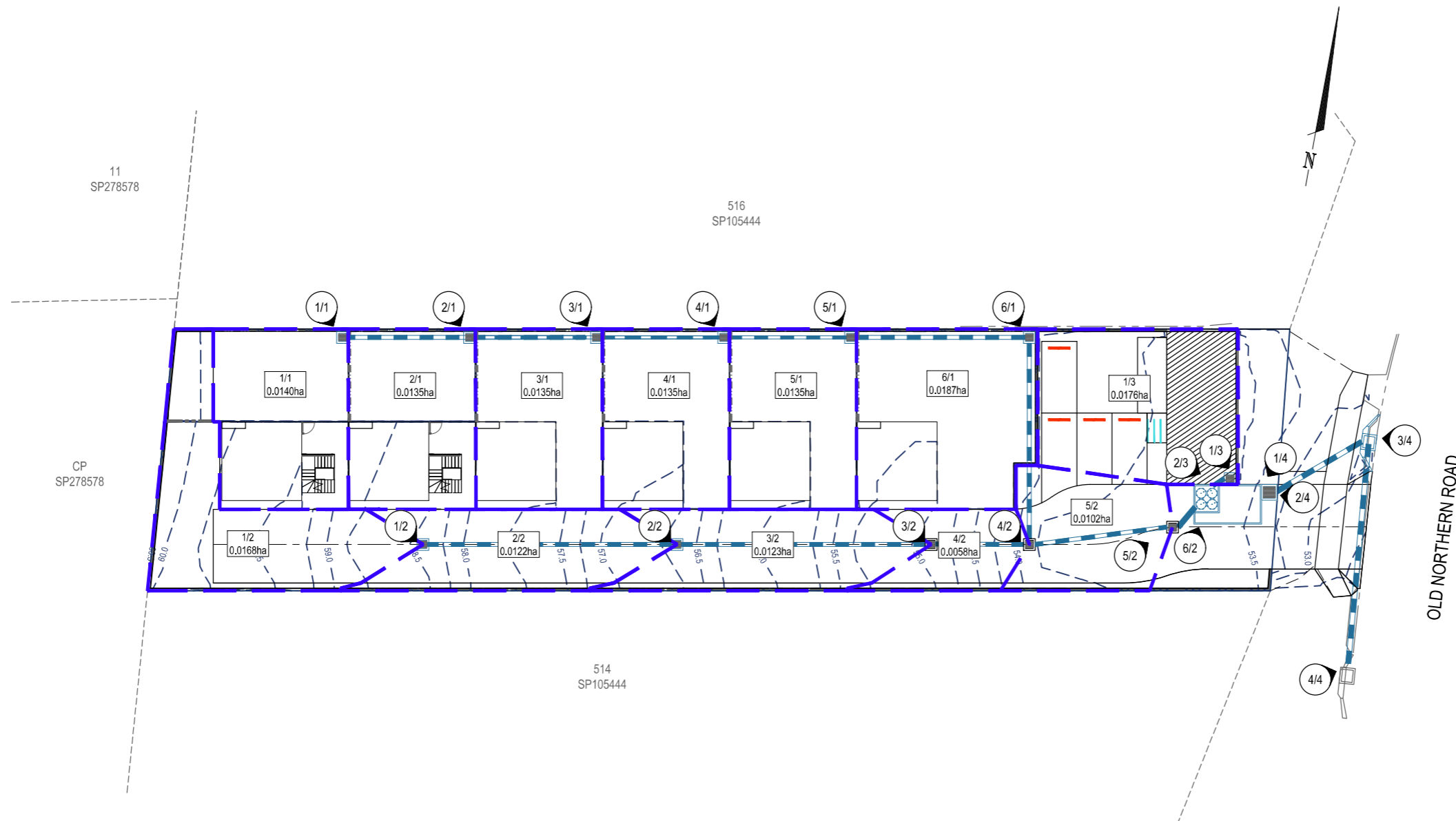
PROJECT DETAILS
 194 OLD NORTHHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS
 ROADWORKS CROSS SECTIONS

SCALE 1:100 @ A3	DATE 08.04.26
DRAWING NO. 060	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



PLAN
 SCALE 1:200

LEGEND

- EXISTING STORMWATER
- PROPOSED/EXISTING RETAINING WALL
- PROPOSED ROAD DRIVEWAY
- PROPOSED STORMWATER
- PROPOSED STORMWATER DRAINAGE
- PROPOSED STORMWATER STRUCTURE NUMBER
- PROPOSED 600x600 STORMWATER FIELD INLET
- PROPOSED 600x600 ATLAN STORMSACKS OR EQUIVALENT
- DESIGN CONTOUR
- EXISTING CONTOUR

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
we value our relationship with our customers
 477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

0 1 2 3 4 5 6 7 8
 SCALE 1:100 (A1) SCALE 1:200 (A3)

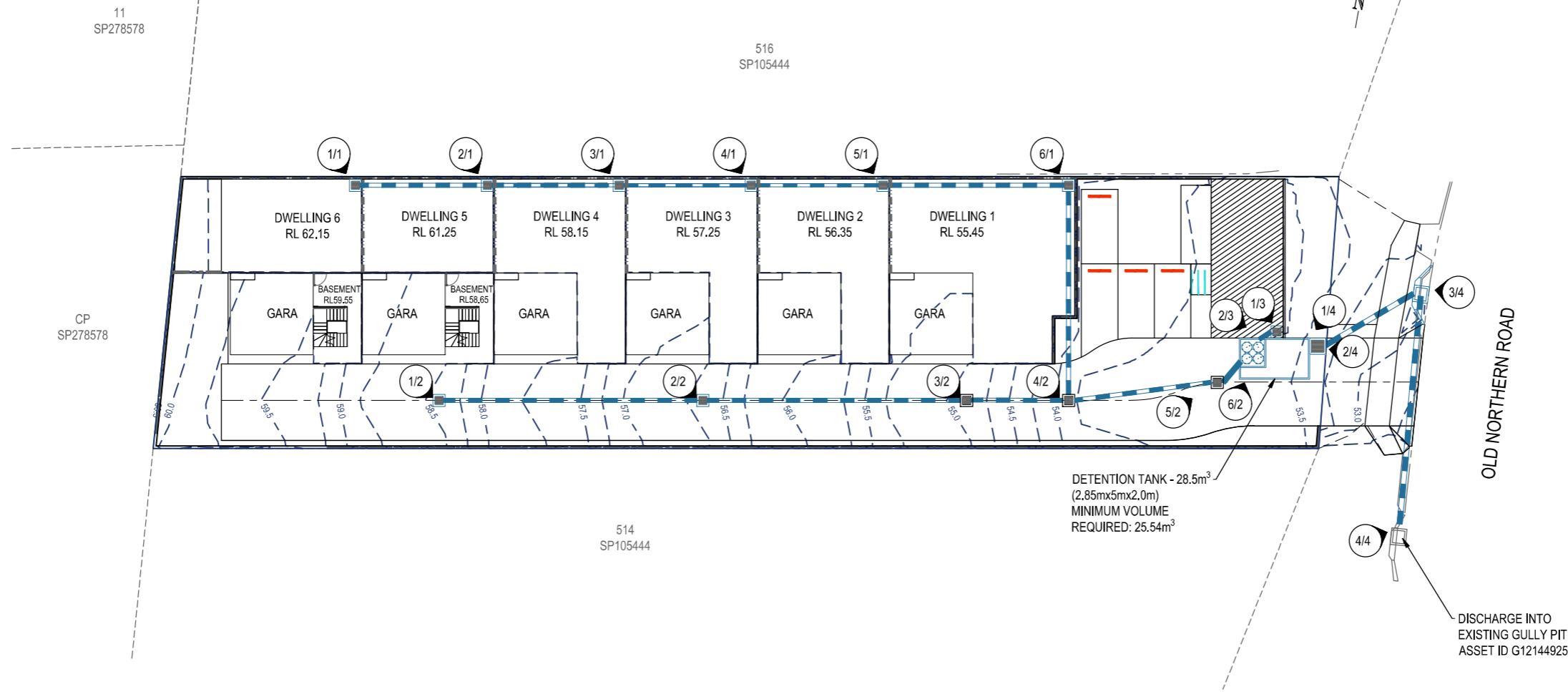
PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS
 STORMWATER CATCHMENT
 LAYOUT PLAN

SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 200	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



PLAN
 SCALE 1:200

LEGEND

- EXISTING STORMWATER
- PROPOSED/EXISTING RETAINING WALL
- PROPOSED ROAD DRIVEWAY
- PROPOSED STORMWATER
- PROPOSED STORMWATER DRAINAGE
- 1/1 PROPOSED STORMWATER STRUCTURE NUMBER
- PROPOSED 600x600 STORMWATER FIELD INLET
- PROPOSED 600x600 ATLAN STORMSACKS OR EQUIVALENT
- 10.0 --- DESIGN CONTOUR
- 9.80 --- EXISTING CONTOUR

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
we value our relationship with our customers
 477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

0 1 2 3 4 5 6 7 8
 SCALE 1:100 (A1) SCALE 1:200 (A3)

PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

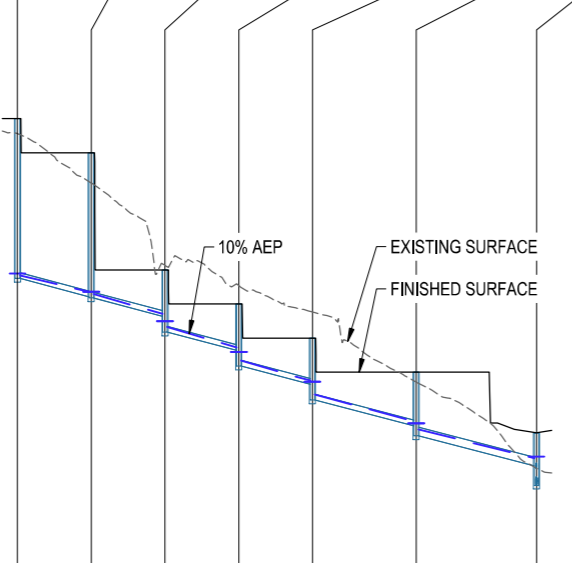
PROJECT NUMBER
2406003

DRAWING DETAILS
 STORMWATER LAYOUT PLAN

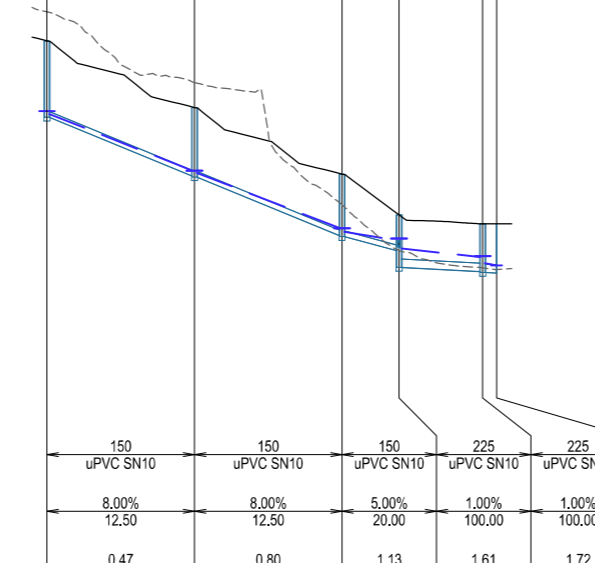
SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 210	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.

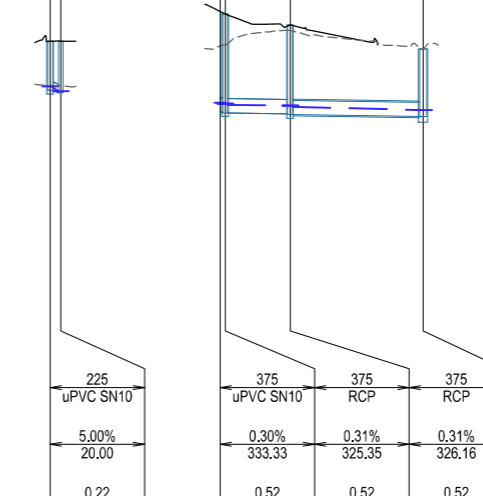
STRUCTURE NAME	1/1	2/1	3/1	4/1	5/1	6/1	4/2
STRUCTURE DESCRIPTION	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600
PIPE SIZE (mm)	150	150	150	150	150	150	225
PIPE CLASS	uPVC SN10	uPVC SN10	uPVC SN10	uPVC SN10	uPVC SN10	uPVC SN10	uPVC SN10
PIPE GRADE (%)	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%
PIPE SLOPE (1 in X)	20.00	20.00	20.00	20.00	20.00	20.00	20.00
FULL PIPE VELOCITY (m/s)	0.39	0.76	1.13	1.49	1.86	1.05	
PART FULL VELOCITY (m/s)	1.70	1.81	2.00	2.13	2.19	2.41	
DATUM RL		44.0					
PIPE FLOW (Cumecs)	0,007	0,013	0,020	0,026	0,033	0,042	
W.S.E. IN STRUCTURE	58.057	57.576	56.794	55.990	55.193	54.086	53.213
HYDRAULIC GRADE LEVEL	56.003	57.576	56.987	56.104	55.221	54.141	53.168
DEPTH TO INVERT	4.223	3.811	1.228	1.228	1.641	1.427	0.876
INVERT LEVEL OF DRAIN	57.927	57.439	56.922	56.022	55.609	54.023	52.964
DESIGN SURFACE LEVEL	62.150	61.250	58.150	57.250	56.350	55.450	53.840
SETOUT COORDINATES	E-98935.741 N6970760.730	E-989405.330 N6970762.520	E-989414.919 N6970764.310	E-989424.508 N6970766.100	E-989434.097 N6970767.890	E-989447.586 N6970770.408	E-989450.506 N6970754.766
CHAINAGE	0.000	9.755	9.755	19.509	29.264	9.755	68.652



STRUCTURE NAME	1/2	2/2	3/2	4/2	5/2	6/2
STRUCTURE DESCRIPTION	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	TANK INLET 600x600
PIPE SIZE (mm)	150	150	150	225	225	
PIPE CLASS	uPVC SN10	uPVC SN10	uPVC SN10	uPVC SN10	uPVC SN10	
PIPE GRADE (%)	8.00%	8.00%	5.00%	1.00%	1.00%	
PIPE SLOPE (1 in X)	12.50	12.50	20.00	100.00	100.00	
FULL PIPE VELOCITY (m/s)	0.47	0.80	1.13	1.61	1.72	
PART FULL VELOCITY (m/s)	1.88	2.18	2.00	1.61	1.72	
DATUM RL		43.0				
PIPE FLOW (Cumecs)	0,008	0,014	0,020	0,064	0,069	
W.S.E. IN STRUCTURE	56.591	55.019	53.489	53.213	52.751	52.508
HYDRAULIC GRADE LEVEL	56.514	55.019	53.489	53.168	52.730	52.508
DEPTH TO INVERT	2.017	1.817	1.636	0.947	1.286	1.306
INVERT LEVEL OF DRAIN	56.431	54.870	53.289	52.893	52.318	52.300
DESIGN SURFACE LEVEL	58.448	56.687	54.926	53.840	53.604	53.606
SETOUT COORDINATES	E-989404.740 N6970746.223	E-989423.917 N6970749.803	E-98943.095 N6970753.383	E-989450.506 N6970754.766	E-989461.074 N6970758.095	E-989462.663 N6970759.003
CHAINAGE	0.000	19.509	39.018	7.538	11.080	59.467



STRUCTURE NAME	1/3	2/3	1/4	2/4	3/4	4/4
STRUCTURE DESCRIPTION	FIELD INLET 600x600	TANK INLET 600x600	TANK OUTLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	EXISTING
PIPE SIZE (mm)	225	225	375	375	375	
PIPE CLASS	uPVC SN10	uPVC SN10	RCP	RCP	RCP	
PIPE GRADE (%)	5.00%	5.00%	0.30%	0.31%	0.31%	
PIPE SLOPE (1 in X)	20.00	20.00	333.33	325.35	326.16	
FULL PIPE VELOCITY (m/s)	0.22	0.52	0.52	0.52	0.52	
PART FULL VELOCITY (m/s)	1.54	0.91	0.91	0.91	0.91	
DATUM RL		39.0				
PIPE FLOW (Cumecs)	0,009	0,057	0,057	0,057	0,057	
W.S.E. IN STRUCTURE	52.469	52.446	51.037	51.013	50.989	50.847
HYDRAULIC GRADE LEVEL	52.446	52.345	51.010	51.009	50.961	50.847
DEPTH TO INVERT	1.294	1.371	2.657	2.589	2.354	1.790
INVERT LEVEL OF DRAIN	52.370	52.300	50.797	50.794	50.748	50.674
DESIGN SURFACE LEVEL	53.664	53.671	53.454	53.384	53.102	52.464
SETOUT COORDINATES	E-989464.732 N6970762.571	E-989463.558 N6970761.792	E-989467.196 N6970761.963	E-989467.894 N6970762.091	E-989474.716 N6970767.278	E-989476.316 N6970749.788
CHAINAGE	0.000	1.409	0.700	8.577	9.277	26.840



ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED
 03/06/2026
 APPLICATION REF
 A006663191**

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
 we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE
 1:500 10 5 0 10 20 A1
 1:1000 HORIZONTAL A3
 1:50 1 0.5 0 1 2 A1
 1:100 VERTICAL A3

PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
 2406003

DRAWING DETAILS
 STORMWATER LONG SECTIONS

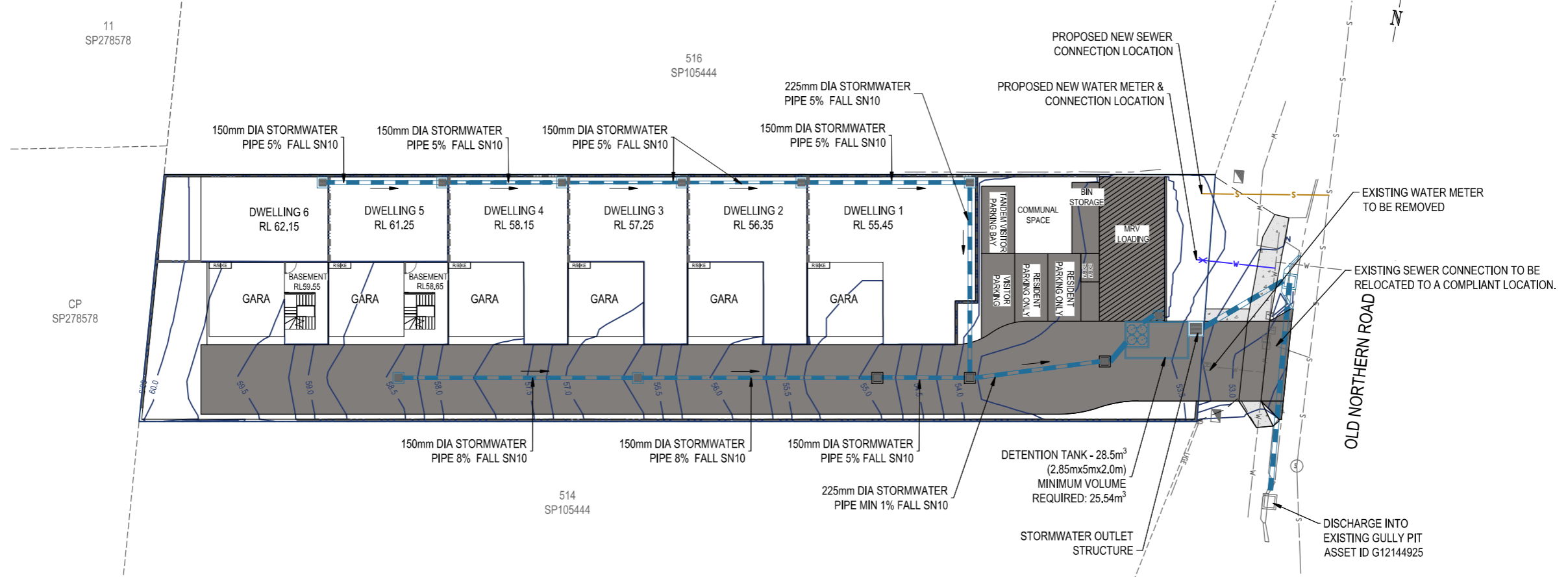
SCALE
 1:1000 1:100 @ A3

DATE
 08.04.26

DRAWING NO.
 220

REVISION
 D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



PLAN
 SCALE 1:200

- LEGEND**
- D---D--- EXISTING STORMWATER
 - W---W--- EXISTING WATER
 - S---S--- EXISTING SEWER
 - UGE---UGE--- EXISTING ELECTRICAL
 - PROPOSED/EXISTING RETAINING WALL
 - PROPOSED ROAD DRIVEWAY
 - W—W— PROPOSED WATER
 - S—S— PROPOSED SEWER
 - PROPOSED STORMWATER
 - 9.50 --- DESIGN CONTOURS
 - PROPOSED 600x600 STORMWATER FIELD INLET
 - PROPOSED 600x600 ATLAN STORMSACKS OR EQUIVALENT
 - DIRECTION OF FLOW
 - 1/1 PROPOSED STORMWATER STRUCTURE NUMBER

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

BCC DS RECEIVED
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
we value our relationship with our customers
 477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

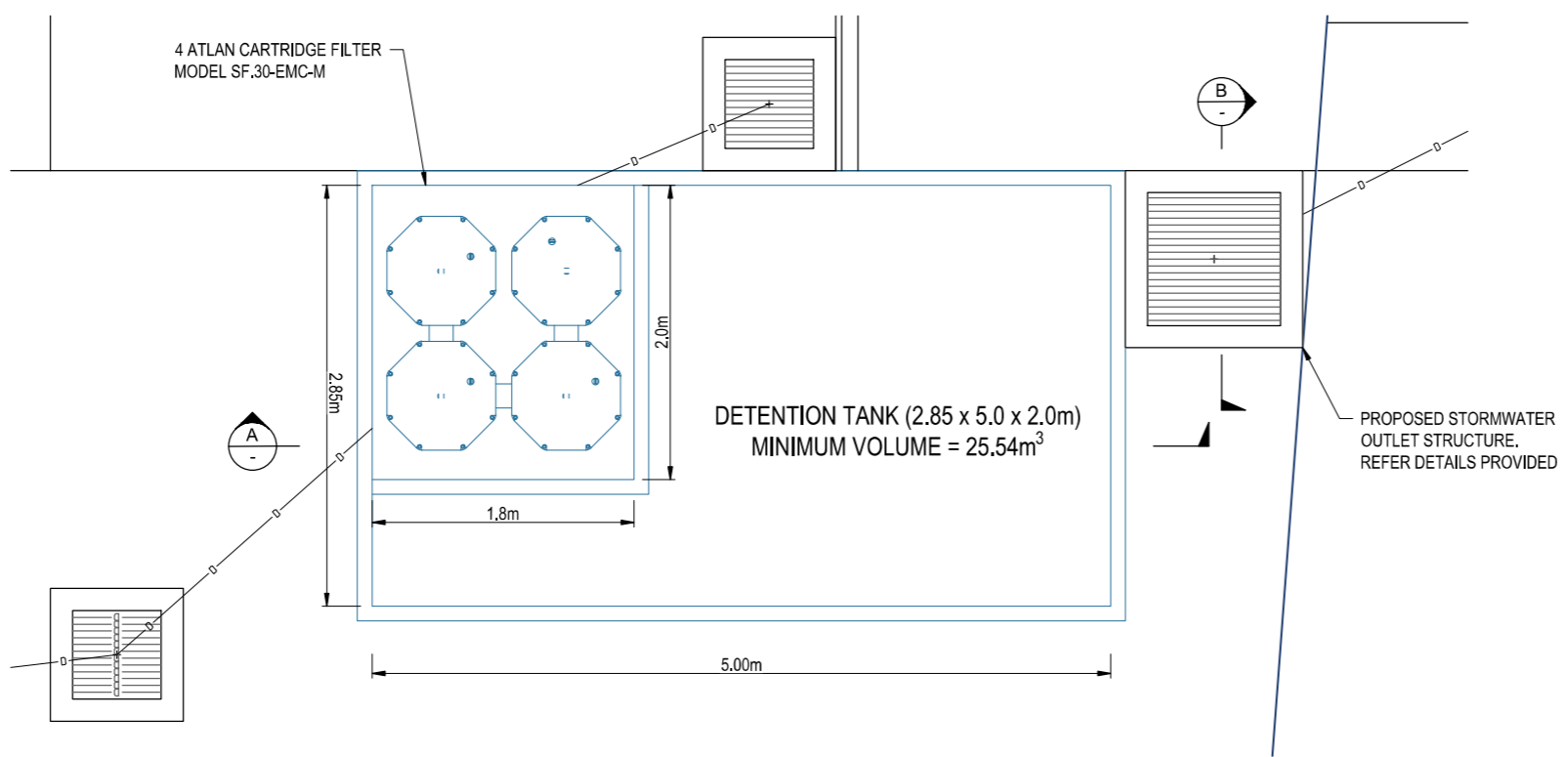
0 1 2 3 4 5 6 7 8
 SCALE 1:100 (A1) SCALE 1:200 (A3)

PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

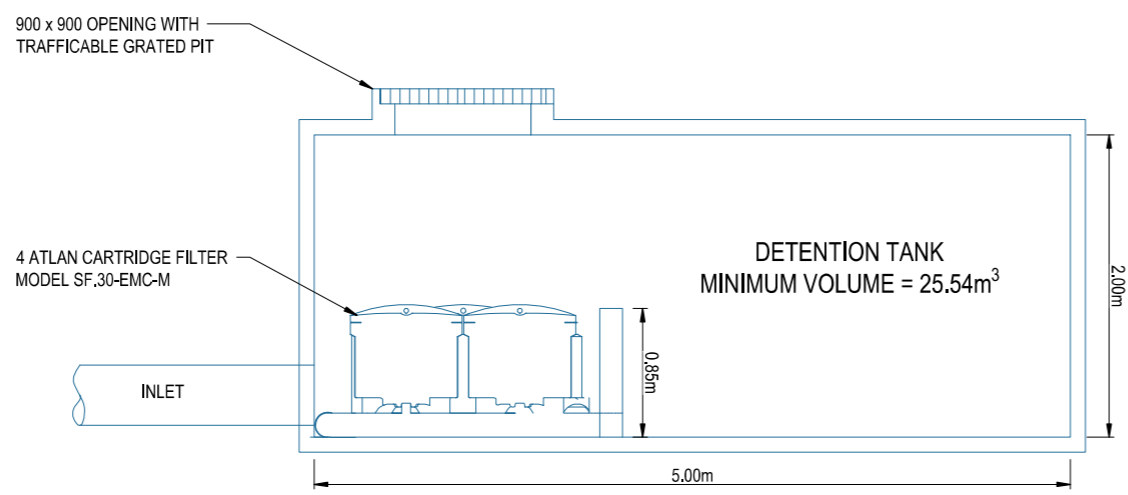
PROJECT NUMBER
2406003

DRAWING DETAILS	
SERVICES LAYOUT PLAN	
SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 450	REVISION D

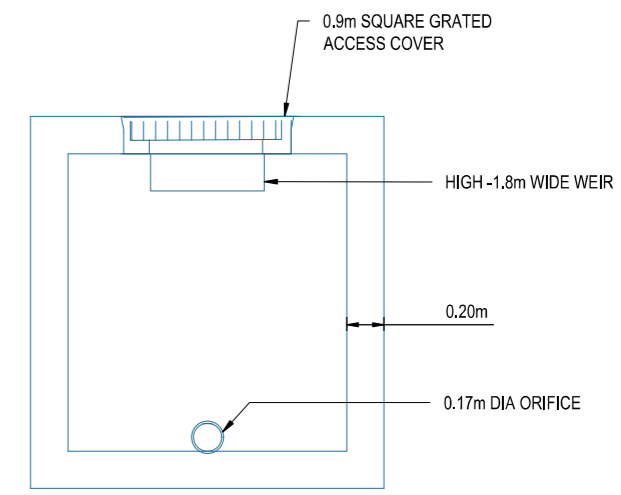
DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



TANK DETAIL
 SCALE 1:25



A SECTION
 SCALE 1:25



B OSD OUTLET STRUCTURE
 SCALE 1:20

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
 we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

0 0.25 0.5 0.75 1 1.25 1.5 1.75 2
 SCALE 1:25 (A1) SCALE 1:50 (A3)

PROJECT DETAILS
 194 OLD NORTHHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS
 DETENTION TANK DETAIL

SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 500	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.

DETENTION TANK NOTES

- STORAGE VOLUMES WILL BE ADJUSTED FOR DROWNED ORIFICES.
- ALL PITS GREATER THAN 1.2m SHALL BE FITTED WITH COUNCIL APPROVED STEP IRONS AT nom 300mm C/C IN A STAGGERED CONFIGURATION AND IN ACCORDANCE WITH AS 4198-1994
- MINIMUM PIT SIZE 900mm x 900mm, ALL PITS DEEPER THAN 1.2m SHALL BE A MINIMUM SIZE OF 1200mm 1200mm
- FOR DRIFICE DIAMETERS
 - LESS THAN 150mm: PROVIDE MAXI-MESH TRASH SCREEN WITH SUREACE AREA 50 TIMES THAT OF THE DRIFICE OPENING
 - GREATER THAN 150mm: PROVIDE WELDLOK F40/203 TRASH SCREEN WITH SURFACE AREA 20 TIMES THAT OF THE ORIFICE OPENING
- CONCRETE BENCHING INSIDE THE PITS SHALL BE CARRIED OUT POST INSTALLATION OF THE ORIFICE PLATES 9
- ALL REDUCED LEVELS AND DIAMETERS, DIMENSIONS OR TOLERANCES ARE TO BE NOMINATED BY THE DESIGNER 10.
- THE ORIFICE PLATE SHALL BE 3mm THICK STAINLESS STEEL FOR DRIFICE SIZES 150mm OR FOR ORIFICES 150mm USE 5mm THICK STAINLESS STEEL WITH SHARP EDGES MACHINED TO 0.5mm ACCURACY FASTENED TO PIT WALL USING "HILTI" (OR APPROVED EQUIVALENT) STAINLESS HSIx1(R) - M6x40 BOLTS 11.
- THE DOWNSTREAM PIPE DIAMETER SHALL BE AT LEAST 3x ORIFICE DIAMETER. MINIMUM 100mm & HAVE A MIN CAPACITY OF 2x ORIFICE FLOW 12.
- REFER TO UPRCT "ON-SITE STORMWATER DETENTION HANDBOOK" 4th EDITION DECEMBER 2005
- THE BASE OF THE DETENTION STORAGE TANK IS TO BE BENCHED TO FALL @ 2% TO THE INVERT OF THE OUTLET POINT
- OWNERS MUST BE ABLE TO INSPECT CRITICAL PARTS OF THE STORAGE TANK FROM THE SURFACE WITHOUT HAVING TO REMOVE HEAVY ACCESS COVERS. ALL SECTIONS OF THE OSD SHALL HAVE GRATED ACCESS POINTS
- FOR PITS:
 - LESS THAN 1.2m DEEP OPENINGS MUST BE MINIMUM OF 900mm x 900mm
 - GREATER THAN 1.2m DEEP OPENINGS MUST BE MINIMUM OF 1.2m x 1.2m
- FOR ALL OTHER ACCESS POINTS TO THE DETENTION TANK THE MINIMUM OPENING SIZE IS 900mm x 900mm
- ALL OPENINGS SHALL BE COVERED BY A HINGED GALVANISED MILD STEEL GRATE AND FRAME AND FITTED WITH CHILD PROOF LOCKS
- DETENTION STORAGE ACCESS GRATES TO THE BELOW GROUND OSD ARE TO BE POSITIONED SUCH THAT THE MAXIMUM REACH FROM ANY POINT IN THE TANK TO THE NEAREST GRATE IS DETERMINED BY THE TABLE BELOW

DEPTH OF TANK	LENGTH OF REACH
0.5m - 0.7m	1.5m
0.7m - 1m	2m
1m - 1.5m	3m
1.5m - 2m	4m
>2m	6m

- FOR BELOW GROUND OSD TANKS AS SHOWN ON SHEET 19 THE MINIMUM INTERNAL HEIGHT IS TO BE A MINIMUM OF 0.5m FOR EASE OF MAINTENANCE AND SAFE WORK SPACE REQUIREMENTS.
- THE SAME ACCESS REQUIREMENTS AS IN NOTE 16. APPLY TO FILTER STORAGE AREAS WHERE USED, SEE SHEET 20
- THE MINIMUM ORIFICE SIZE SHALL BE 25mm DIA.
- STRUCTURAL DESIGN OF OSD STORAGE TO BE DESIGNED BY A QUALIFIED ENGINEER
- CONFINED SPACE ENTRY REQUIREMENTS APPLY.
- UNDERGROUND OSD EMERGENCY OVERFLOW WEIR SHALL BE DESIGNED TO CONVEY 100 YEAR ARI, 5 MINUTE STORM EVENT AND BE A MINIMUM HEIGHT OF 100mm



CONFINED SPACE DANGER SIGN

NOTES

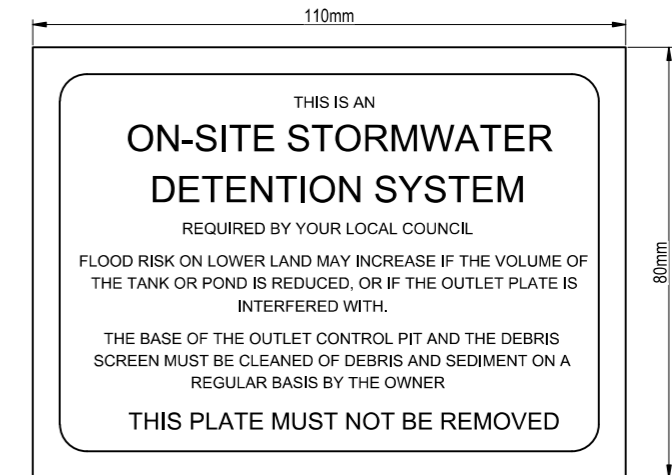
- A CONFINED SPACE DANGER SIGN SHALL BE PLACED NEXT TO EACH AND EVERY ACCESS POINT SO THAT THEY ARE VISIBLE TO PERSONS ENTERING ANY BELOW GROUND TANK OR PIT.
- COLOURS:
 - "DANGER" AND BACKGROUND - WHITE
 - ELLIPTICAL ARE - RED
 - RECTANGLE CONTAINING ELLIPSE - BLACK
 - LETTERING AND BORDER - BLACK
- MINIMUM DIMENSIONS OF THE SIGN:
 - LARGE ENTRIES - 300mm x 450mm
 - SMALL ENTRIES - 250mm x 180 mm
- SIGN TO BE MADE FROM COLOUR BONDED ALUMINIUM OR POLYPROPYLENE
- SIGN FIXED USING HOLL TI CHEMSETS OR EXPOXY



ON SITE STORMWATER DETENTION WARING SIGN

NOTES

- SIGN SHALL BE PLACED IN A CLEAR AND VISIBLE LOCATION AT EACH DETENTION.
- COLOURS:
 - TRIANGLE AND "WARING" - RED
 - WATER - BLUE
 - FIGURE AND LETTERING - BLACK
- SIGN TO BE MADE FROM COLOUR BONDED ALUMINUM OR POLYPROPYLENE.
- SIGN FIXED USING HILTI CHEMSETS OR EXPOXY



ON SITE STORMWATER DETENTION SYSTEM SIGN

NOTES

- CORNERS SQUARE
- COLOURS: ETCHED AND FILLED BLACK LEGEND ON A NATURAL SILVER BACKGROUND.
- CONSTRUCTED FROM ALUMINIUM 0.9mm MILL
- THIS SIGN SHALL BE PLACED IN A VISIBLE LOCATION NEAR A DISCHARGE CONTROL PIT OR AT THE ACCESS TO ONE.
- SIGN FIXED USING HILTI CHEMSETS OR EPOXY

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

BCC DS RECEIVED
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

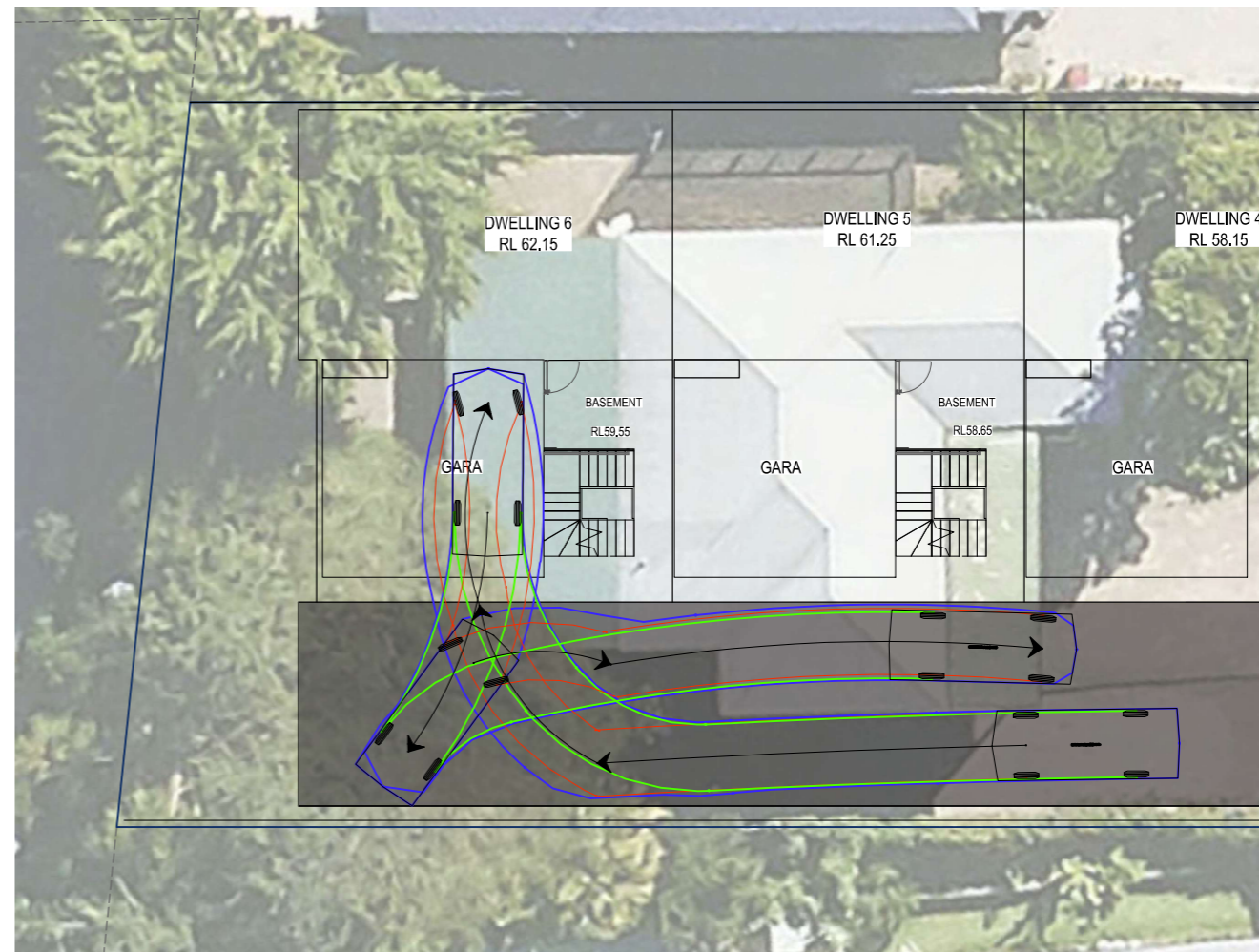
DRAWING DETAILS
 DETENTION TANK NOTES

SCALE 1: @ A3	DATE 08.04.26
DRAWING NO. 501	REVISION D

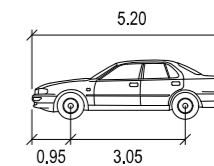
DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



PLAN
 SCALE 1:200



PLAN
 SCALE 1:200



B99
 meters
 Width : 1.94
 Track : 1.84
 Lock to Lock Time : 6.0
 Steering Angle : 33.9

LEGEND

- VEHICLE BODY ENVELOPE
- WHEELS SWEEP PATH

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

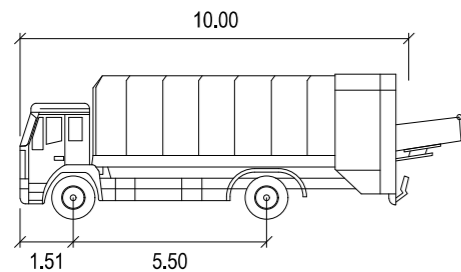
0 1 2 3 4 5 6 7 8
SCALE 1:100 (A1) SCALE 1:200 (A3)

PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS	
TURNING PATH PLAN - SHEET 1 OF 2	
SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 901	REVISION D

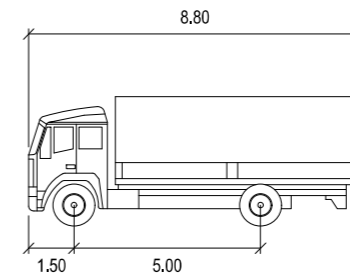
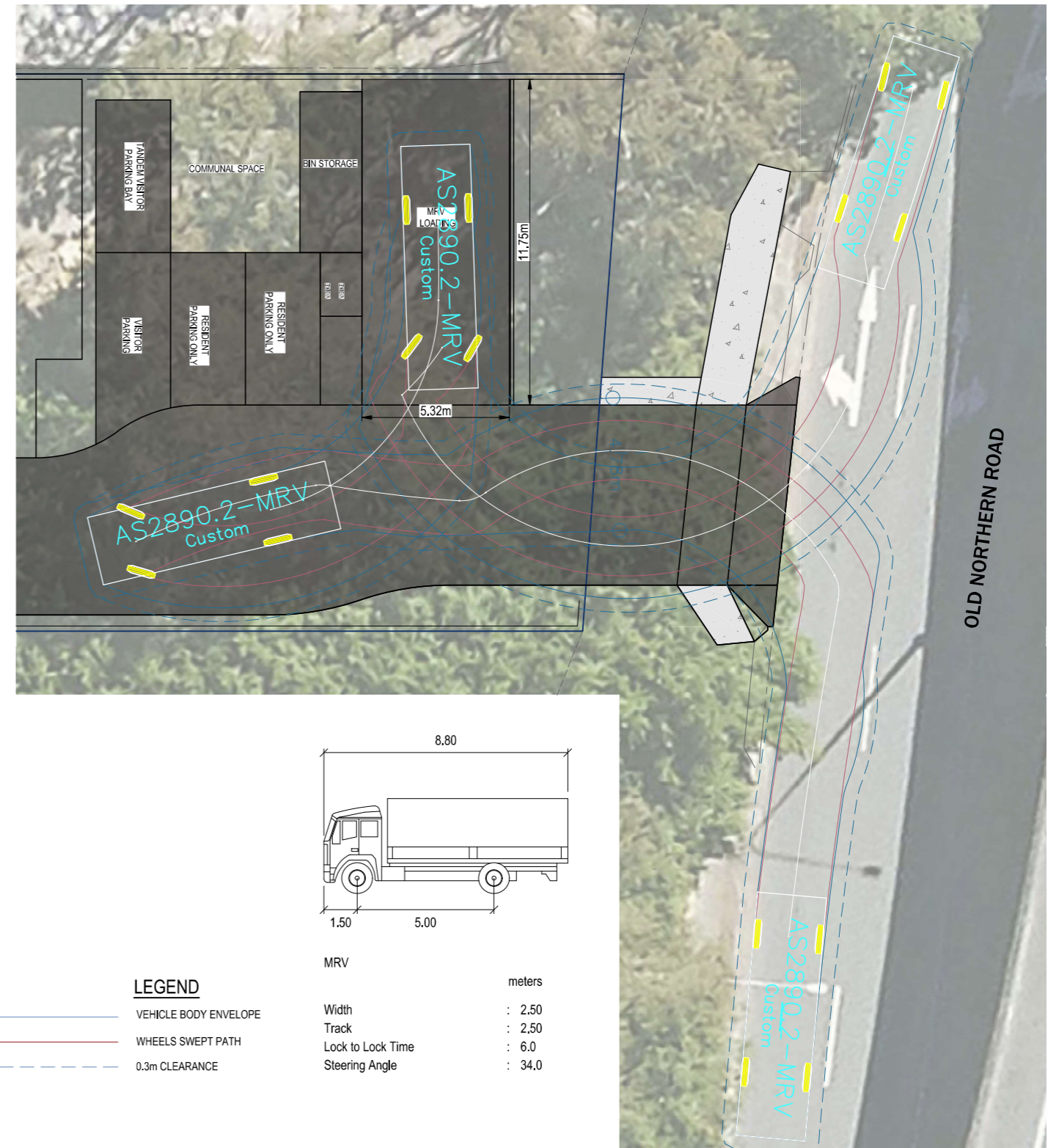
DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



**WCV ACCO 2350 REAR LOADING
 PUP REFUSE TRUCK**

	Width	Track	Lock to Lock Time	Steering Angle
meters	: 2.50	: 2.50	: 5.0	: 37.1

PLAN
 SCALE 1:200



MRV

	Width	Track	Lock to Lock Time	Steering Angle
meters	: 2.50	: 2.50	: 6.0	: 34.0

LEGEND

- VEHICLE BODY ENVELOPE
- WHEELS SWEPT PATH
- - - 0.3m CLEARANCE

PLAN
 SCALE 1:200

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

**BCC DS
 RECEIVED**
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
 we value our relationship with our customers

477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

SCALE 1:100 (A1) SCALE 1:200 (A3)

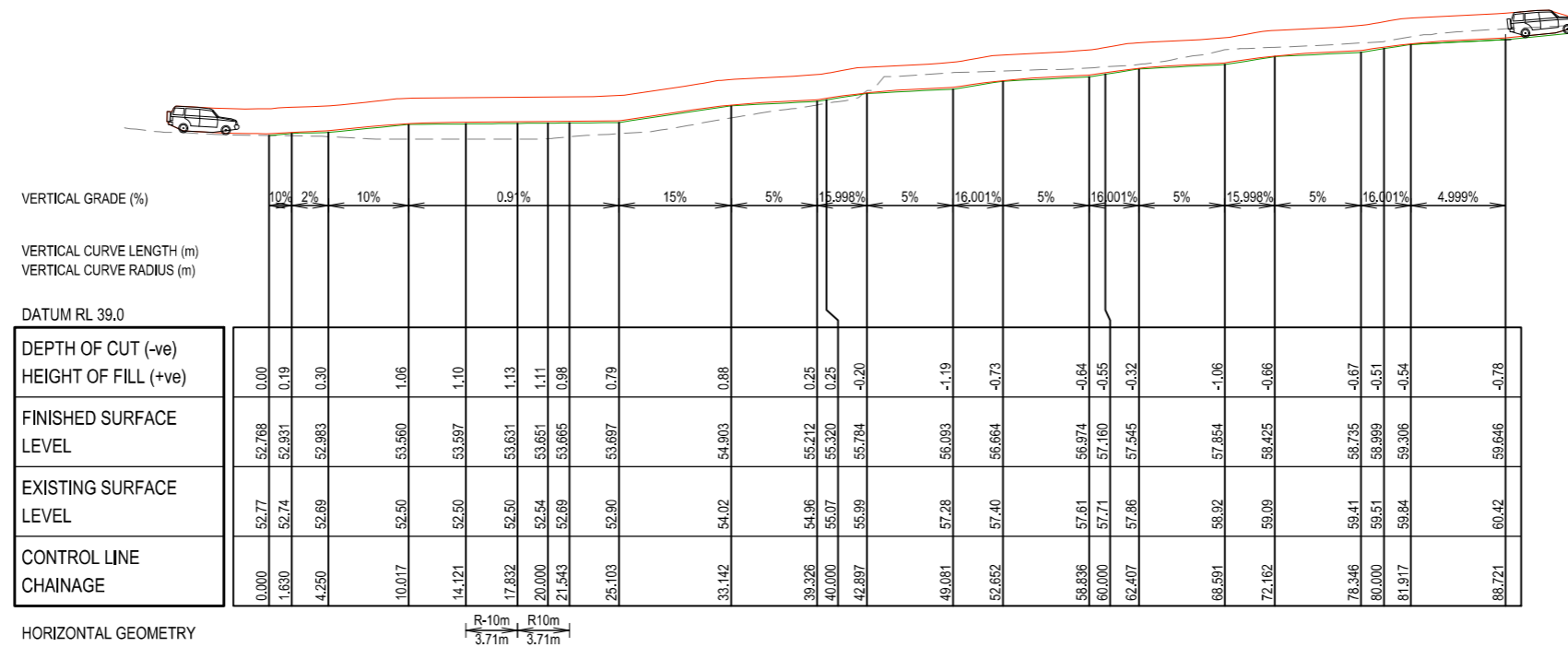
PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS
 TURNING PATH PLAN - SHEET 2 OF 2

SCALE 1:100 @ A3	DATE 08.04.26
DRAWING NO. 902	REVISION D

DISCLAIMER
 ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO CONSTRUCTION.
 USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



LEGEND

- VEHICLE BODY ENVELOPE
- DESIGN SURFACE

ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	REVISION DETAILS
A	VL	VL	EC	AG	23.08.24	ORIGINAL ISSUE
B	VL	VL	EC	AG	28.02.25	COUNCIL RFI
C	MN	HN	EC	AG	24.10.25	COUNCIL RFI
D	MN	HN	EC	AG	08.04.26	COUNCIL RFI

BCC DS RECEIVED
 03/06/2026
APPLICATION REF
 A006663191

DRAWING STATUS
 ISSUED FOR APPROVAL

APPROVED
 BY: AHMED GADALLA RPEQ: 35699
 DATE: 08.04.26

SIGN:

A & E Direct Consulting
we value our relationship with our customers
 477 Boundary Street, Springhill, Brisbane, QLD 4000
 enquiries@aedirectconsulting.com
 www.aedirectconsulting.com

CLIENT DETAILS
 ANAYA PROPERTY PTY LTD

SCALE

0 1 2 3 4 5 6 7 8
 SCALE 1:100 (A1) SCALE 1:200 (A3)

PROJECT DETAILS
 194 OLD NORTHTHERN RD
 EVERTON PARK

PROJECT NUMBER
2406003

DRAWING DETAILS
 DRIVEWAY VETICAL CHECKING

SCALE 1:200 @ A3	DATE 08.04.26
DRAWING NO. 903	REVISION D