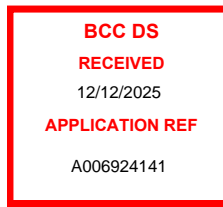


urbis.com.au

Level 32, 300 George Street
Brisbane QLD 4000 Australia (Yuggera Country)

Urbis Ltd
ABN 50 105 256 228



10 December 2025

The Assessment Manager
Brisbane City Council
PO Box 1434
Brisbane City QLD 4001

Dear Sir/Madam,

Other Change to Existing Development Approval at 179 Logan Road, Woolloongabba

In accordance with section 82 of the *Planning Act 2016* (the Act), and on behalf of *Reil Dealership Bonds Pty Ltd* (the Applicant), please find enclosed a 'properly made' Impact Assessable Development Application, seeking an 'Other Change' to existing approval (Council Ref: A006196762) over land at 179 Logan Road, Woolloongabba QLD 4102, formally described as Lot 8 on RP803071 & Lots 33 and 34 on RP11904.

This development application seeks approval for the following aspects of development, and introduces staging as follows:

Stage 1:

- Development Permit for Material Change of Use for Warehouse (Demolition and redevelopment of Building 2 to increase building height to 5 Storeys).

Stage 2:

- Development Permit for Material Change of Use for Warehouse (Extension to the existing Building 1 to increase building height to 4 storeys).

We enclose the following information in support of the application:

- Town planning Report, addressing the applicable assessment benchmarks, including the following
- **Appendix A** – DA Form 1 & Form 5;
- **Appendix B** – Title Searches & Owners Consent;
- **Appendix C** – Existing Development Approval Documents;
- **Appendix D** – Proposed Architectural Plans;
- **Appendix E** – Landscape Concept Plan;
- **Appendix F** – Traffic Impact Assessment;

- **Appendix G** – Brisbane City Plan 2014 Code Assessment.

Once council has received the application and a fee quote has been issued, the required lodgement fee will be paid. The relevant application fee has been calculated based on the 2025–2026 financial year fees and charges schedule, noting that the fee for an Other Change (s82) is equal to the current application assessment fee.

The fee totals **\$31,174**. A breakdown of how this fee was calculated is provided below. This calculation is based on a net increase in Gross Floor Area (GFA), per stage, and does not include existing GFA. This represents a calculation that reflects the changes being assessed.

We look forward to receiving a fee quote on behalf of the applicant, and will arrange payment when received

Table 1 – Development Application Fees

| Development Assessment Area Charge Development (net increase GFA) | | | |
|--|--|------------------------------|-----------------------|
| Stage 1: 2,846m² | | Calculation | Sub total (\$) |
| Base fee up to 50m ² | | Flat fee | 5,577 |
| Plus | \$572 per 100m ² or part thereof, 51m ² to 2,050m ² | 20 x \$572 | 11,440 |
| Plus | \$429 per 100m ² or part thereof, greater than 2,050m ² | (796/100)=7.96 8 x \$429 | 3,432 |
| Stage 2: 923.21m² | | | |
| Base fee up to 50m ² | | Flat fee | 5,577 |
| Plus | \$572 per 100m ² or part thereof, 51m ² to 2,050m ² | (873/100)= 8.73 9 x \$572 | 5148 |
| Total | | | \$31,174 |

We trust this material assists Council to assess the development application. For any queries, please do not hesitate to contact me, or Luca Nociforo, on 07 3007 3800.

Yours sincerely,



Grant Williams
Associate Director



+61 7 3007 3865
gwilliams@urbis.com.au

urbis.com.au

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