



# **MORNINGSIDE VISTA**

**685 Wynnum Road Morningside QLD 4170**  
**DA Minor Change Application Version 6 Issue 20 Mar. 2026**



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**APPLICATION REF**  
 A006895033

DRAWING SCHEDULE		
DRAWING NO	ISSUE	TITLE
A-MC- 0.00	6	Cover Page
A-MC- 0.01	6	Development Statistics and Drawing Schedule
SITE ANALYSIS		
A-MC- 1.03	1	Site Survey
PROPOSED DEVELOPMENT		
A-MC- 3.00	4	Ground Floor Plan
A-MC- 3.01	3	Floor Plan Level 1
A-MC- 3.02	4	Floor Plan Level 2
A-MC- 3.03	1	Roof Plan
A-MC- 4.00	3	Elevations North and East
A-MC- 4.01	3	Elevations South and West
A-MC- 4.02	3	Elevations South and North
A-MC- 4.03	1	Cross Sections
A-MC- 4.04	1	Orthographic Height Reference

DEVELOPMENT STATISTICS		
1. Address	685 Wynnum Rd Morningside Q 4170	
2. RPD	Lot 1 on RP13317	
3. Plan Area (m2)	1115.00	
	Road Widening (m2)	90.81
	Net Plan Area (m2)	1024.19
4. Planning Scheme (P/S)	Brisbane City Council City Plan 2014	
5. Zoning	LMR2 (2-3 storey mix)	
6. Neighbourhood Plan	River Gateway Neighbourhood Plan	
7. Setbacks	As Shown	
	P/S	Provided
8. Height (m/no of storey)	9.5/2	AS Shown/3
9. Site Coverage (m2/%)	501.75 / 45%	520.55 / 46.68%
10. Open Space (m2/%)		689/ 61.79%
11. Deep Planting (m2/%)	102.41 / 10%	110.71 / 10.81%
12. Landscaping (m2/%)		77.32/7.54%
13. Carparking		
	Residence	12
	Visitor	2
	Total	14
14. Bicycle		
	Residence	6
	Visitor	2
	Total	8
15. Private Open Space (m2)	P/S	Balc
	Unit 1	12 min.
	Unit 2	12 min.
	Unit 3	12 min.
	Unit 4	12 min.
	Unit 5	12 min.
	Unit 6	12 min.
16. Proposed Apartment (no)	3 Bedroom Unit	
	Building A	4 (unit 1,2,3,4)
	Building B	2(unit 5, 6)
	<b>Total</b>	<b>6</b>

TOWNHOUSE GROSS FLOOR AREA SCHEDULE							
ITEM	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	TOTAL
GROUND TOTAL(m2)	70.15	72.18	72.18	70.31	74.08	60.96	419.86
FIRST TOTAL (m2)	83.87	79.20	79.20	80.72	82.24	80.14	485.37
BALCONY (m2)	17.07	13.45	13.45	14.23	13.76	14.88	86.84
LIVING (m2)	66.80	65.75	65.75	66.49	68.48	65.26	398.53
SECOND TOTAL (m2)	76.46	75.05	75.05	75.99	78.06	71.15	451.76
TOTAL AREA (m2)	230.48	226.43	226.43	227.02	234.38	212.25	1356.99

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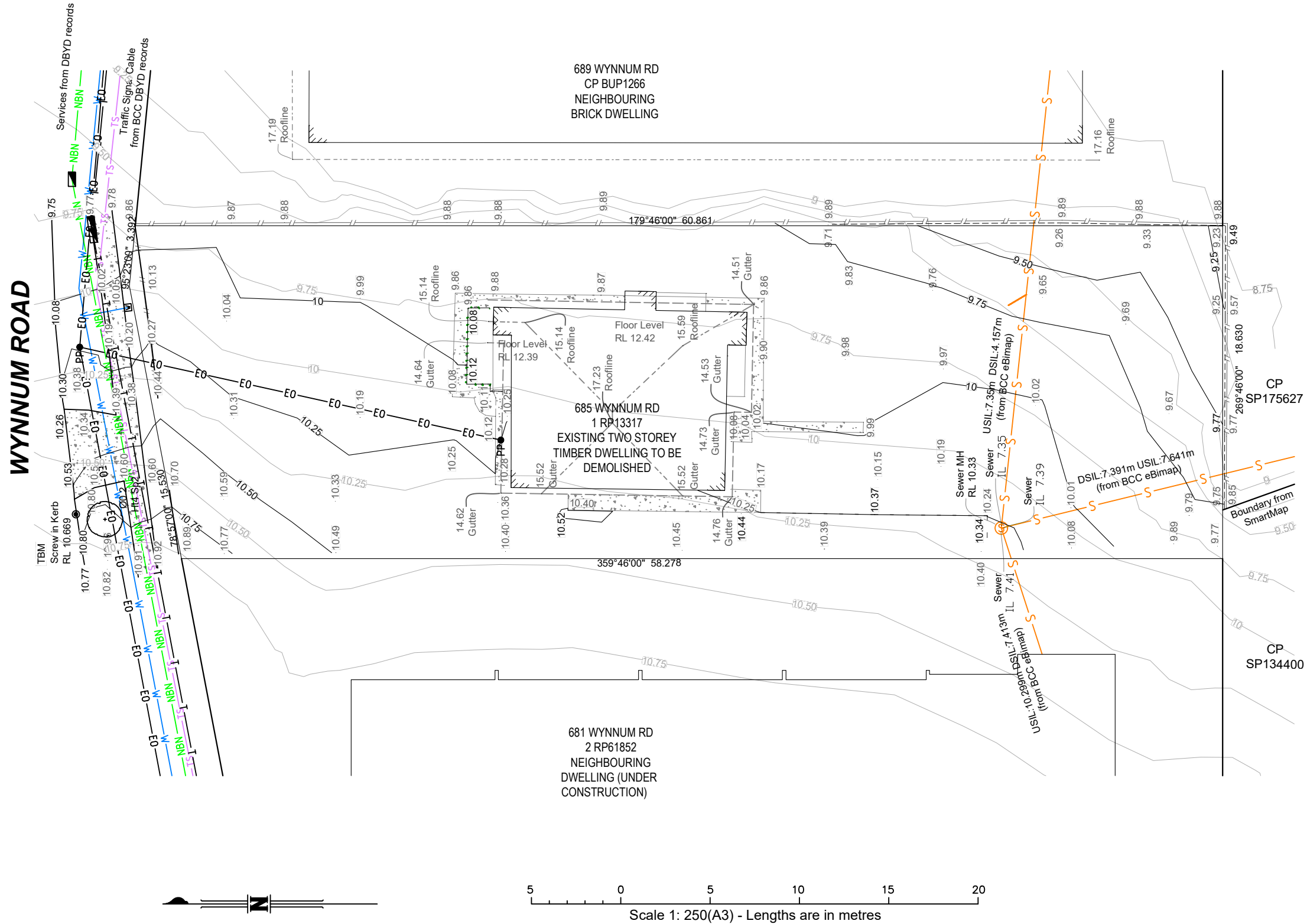
Project:  
**Morningside Vista**

Client:  
**CHF Family Investment**

Associated Consultant:

Title:  
**Detail Survey**  
 Lot 1 on RP13317  
 Locality of MORNINGSIDE  
 Local Government of BRISBANE CITY

Note:  
 The boundaries shown hereon were not marked at the time of survey and have been derived from RP13317, Easement and adjoining lot information, including boundaries, have been derived from Smartmap.  
 The levels shown were existing at the surveyed date and may not represent the Local Authority's definition of Ground Level.  
 Only visible surface features of services shown hereon have been located, where possible, by field survey. If not able to be located, services have been scaled from records and noted hereon.  
 Prior to any demolition, excavation or construction on the site the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.



LEGEND	
Sewer (from BCC eBimap)	
Water (from BCC eBimap)	
Electricity - Overhead	
Telecommunications (from Telstra DBYD)	
NBN Cables (from nbn DBYD)	
Gas (from APA Group DBYD)	
Roof line work from Survey & Satellite Imagery	
Retaining Wall	
Top of Bank	
Bottom of Bank	
Fence	
Garden	
Existing Level	
Natural Ground Level	
Temporary Bench Mark	
Sewer M/H	
Electricity Pole	
Telecom Pit	
Water Meter	
Water Valve	
Fire Hydrant	
Stormwater M/H	
Gullypit	

**TOOHEY SURVEY**  
**SURVEYORS & PLANNERS**  
 Toohey Survey Pty Ltd ABN 42 088 495 354  
 (07) 3800 4331 tooheysurvey.com.au

Surveyed: NBS - 16/01/23 Drawn: NBS - 18/01/23

Level Datum: PSM80605 RL:4.174m

Scale: 1:200 (A3)

Dwg No. 231002-D1 Issue: A

**AEC AUSTRALIA**  
 174A Wecker Rd Mansfield Q 4122  
 PO Box: 3211 South Brisbane Q 4101  
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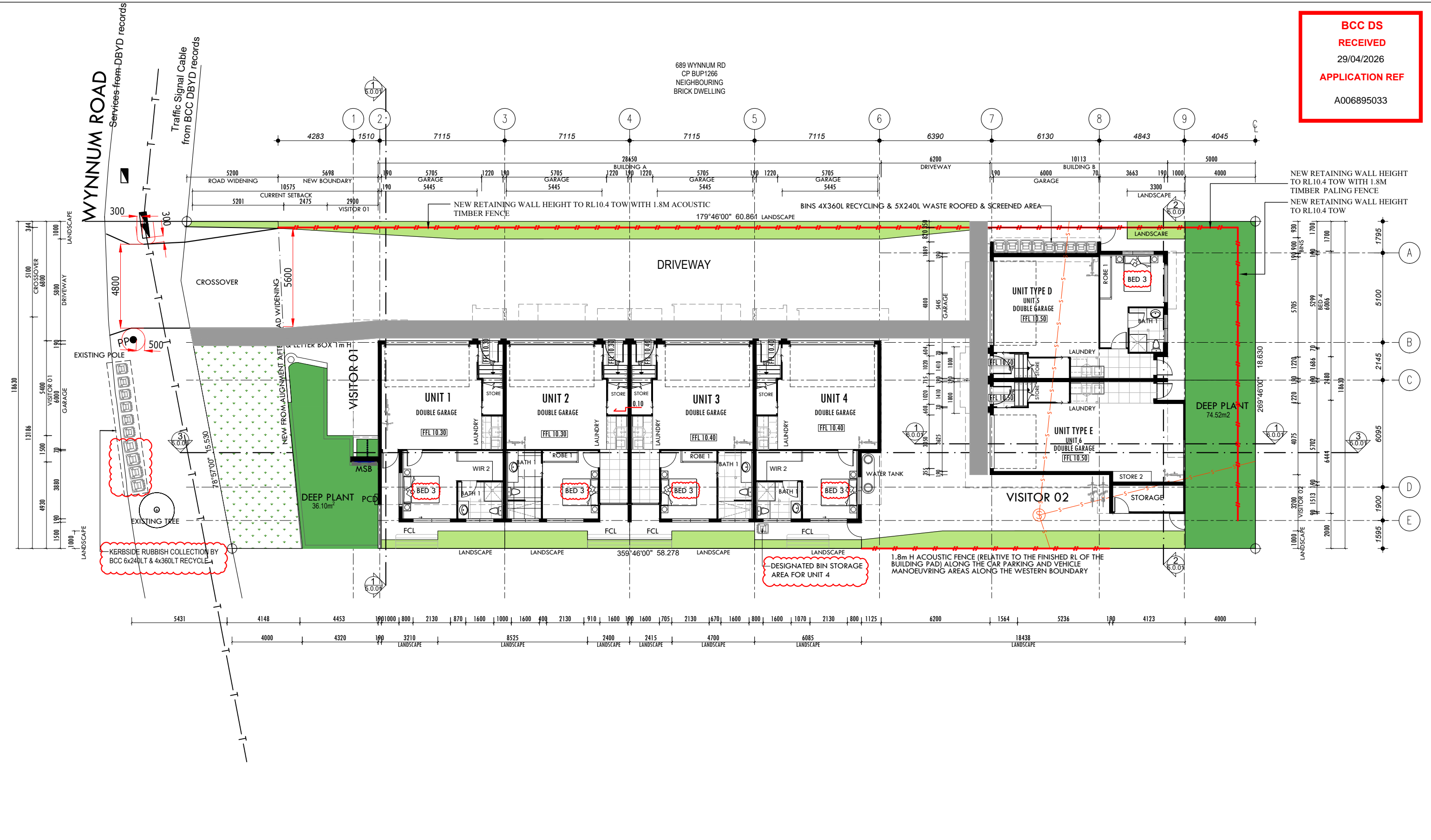
Rev	Date	Revision Details
1	22/10/2025	DA Minor Change Application

Project :	MORNINGSIDE VISTA
Location:	685 WYNNUM RD MORNINGSIDE Q 4170
Drawing Title:	SURVEYOR PLAN
Design:	MP & DC
Scale:	1:250 (A3)



Drawn:	GF
Project No:	AA087
Drawing No:	A-MC-1.03
Issue:	1

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Rev	Date	Revision Details
1	22/10/2025	DA Minor Change Application
2	24/10/2025	DA Minor Change Application
3	27/10/2025	DA Minor Change Application
4	23/12/2025	DA Minor Change Application

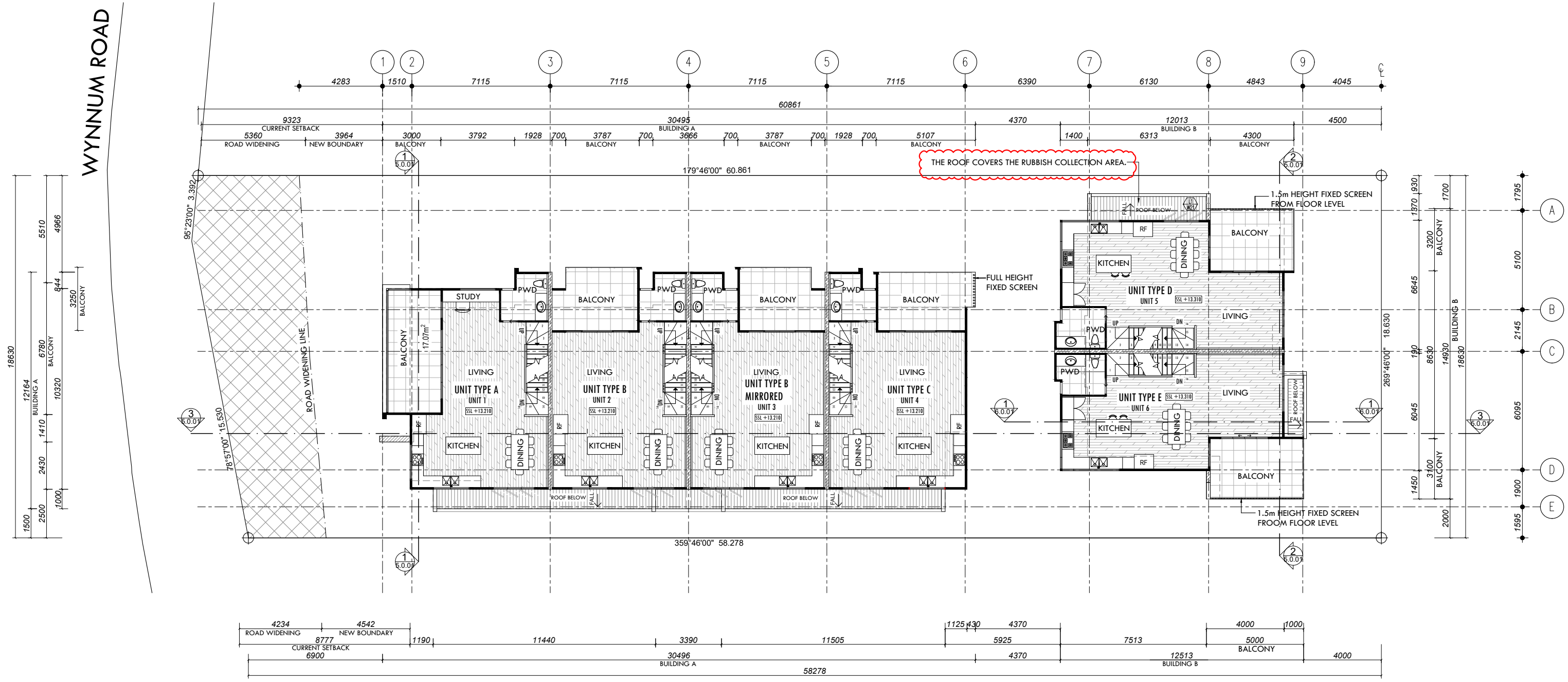
**Project :** MORNINGSIDE VISTA  
**Location:** 685 WYNNUM RD MORNINGSIDE Q 4170  
**Drawing Title:** GROUND FLOOR PLAN  
**Design:** MP & DC  
**Scale:** 1:200 (A3)

**Drawn:** GF  
**Project No:** AA087  
**Drawing No:** A-MC-3.00  
**Issue:** 4



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**WYNNUM ROAD**



LEGEND	
	BUILDING LINE UNDER
	SECTION INDICATION LINE
	GRID SETOUT LINE
	REVISE CLOUD LINE



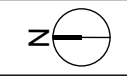
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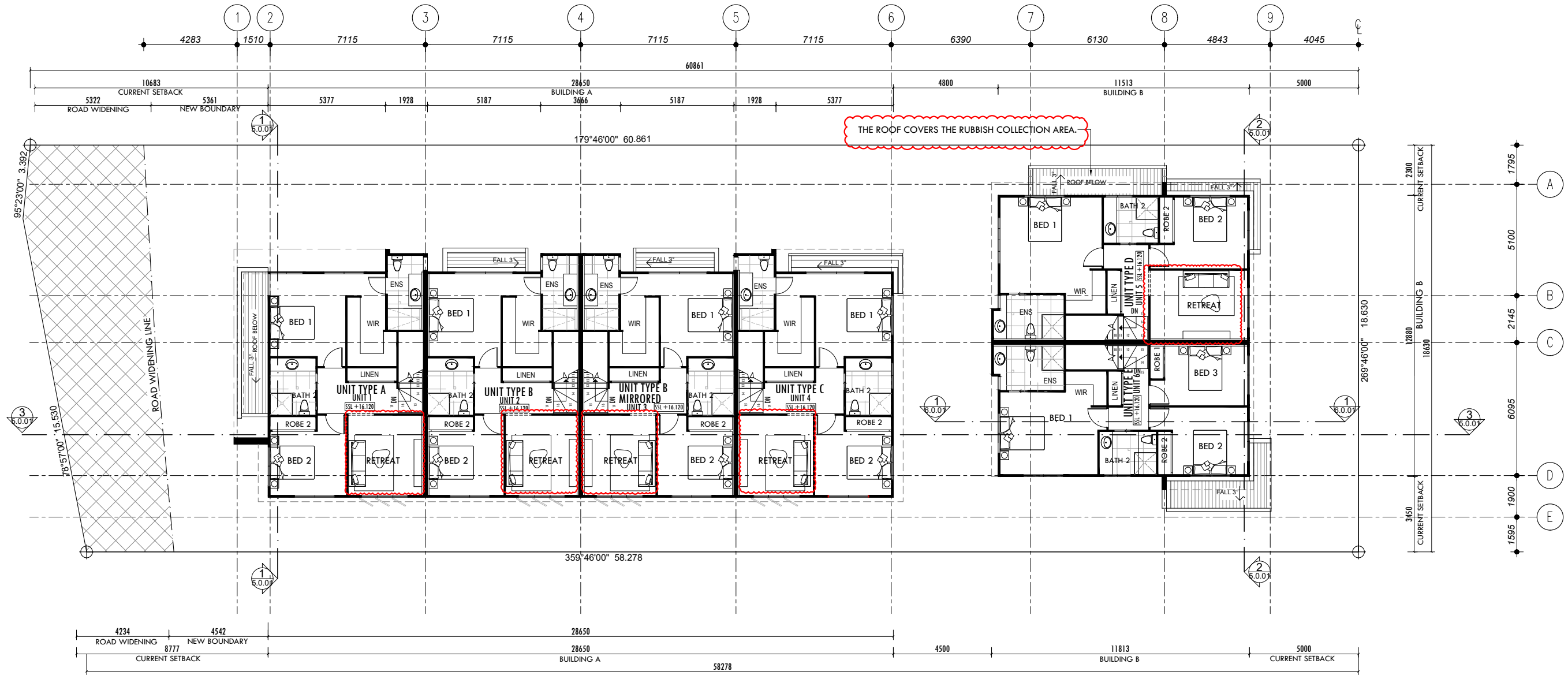
**Project :** MORNINGSIDE VISTA  
**Location:** 685 WYNNUM RD MORNINGSIDE 4170  
**Drawing Title:** FLOOR PLAN - LEVEL 1  
**Design:** MP & DC  
**Scale:** 1:200 (A3)



**Drawn:** GF  
**Project No:** AA087  
**Drawing No:** A-MC-3.01  
**Issue:** 3

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**WYNNUM ROAD**



LEGEND	
	BUILDING LINE UNDER
	SECTION INDICATION LINE
	GRID SETOUT LINE
	REVISE CLOUD LINE



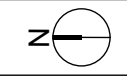
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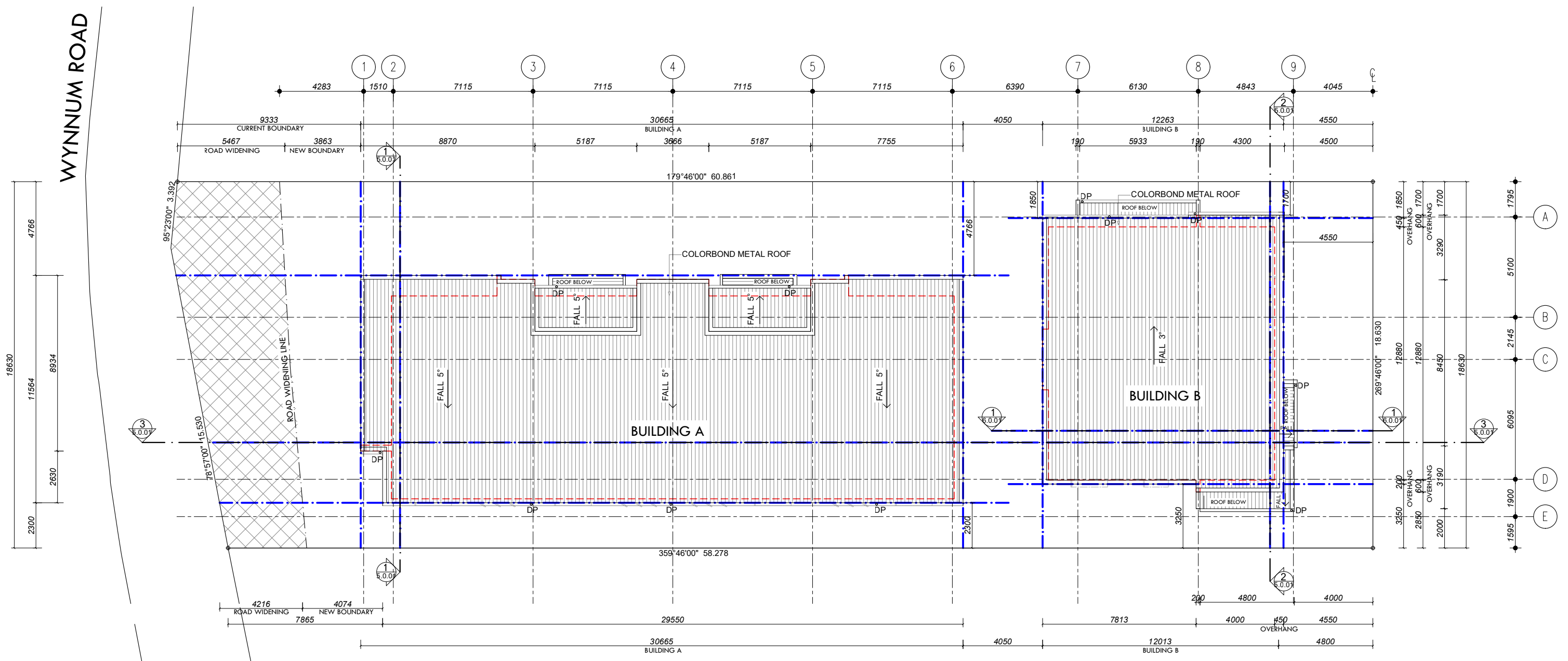
**Project :** MORNINGSIDE VISTA  
**Location:** 685 WYNNUM RD MORNINGSIDE 4170  
**Drawing Title:** FLOOR PLAN - LEVEL 2  
**Design:** MP & DC  
**Scale:** 1:200 (A3)



**Drawn:** GF  
**Project No:** AA087  
**Drawing No:** A-MC-3.02  
**Issue:** 4

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**WYNNUM ROAD**



LEGEND	
<span style="color: red;">- - - - -</span>	BUILDING LINE OVER
<span style="color: blue;">- - - - -</span>	GRID SETOUT LINE
<span style="color: blue;">- . - . - .</span>	LINE OF 9.5M ABOVE NATURAL GROUND LEVEL CORRESPONDING TO RELEVATION ELEVATION / SECTION
<span style="color: red;">- . - . - .</span>	SECTION INDICATION LINE



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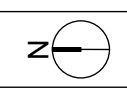
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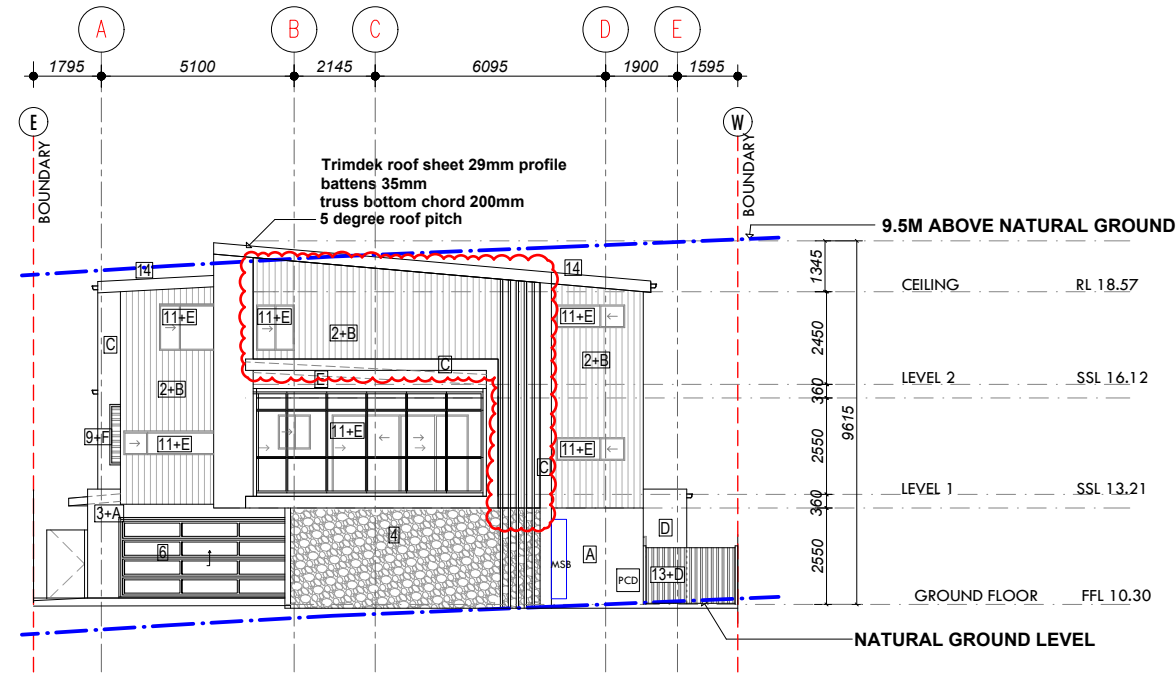
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<b>Project :</b>	685 MORNINGSIDE VISTA
<b>Location:</b>	685 WYNNUM RD MORNINGSIDE 4170
<b>Drawing Title:</b>	ROOF PLAN
<b>Design:</b>	MP & DC
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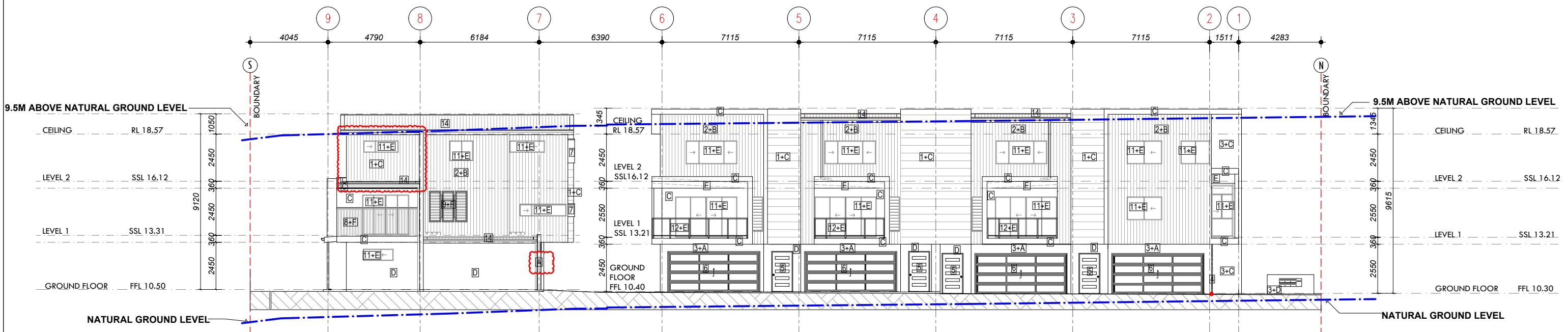
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<b>Project No:</b>	AA087
<b>Drawing No:</b>	A-MC-3.03
<b>Issue:</b>	1



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**ELEVATION - NORTH ( BUILDING A)**



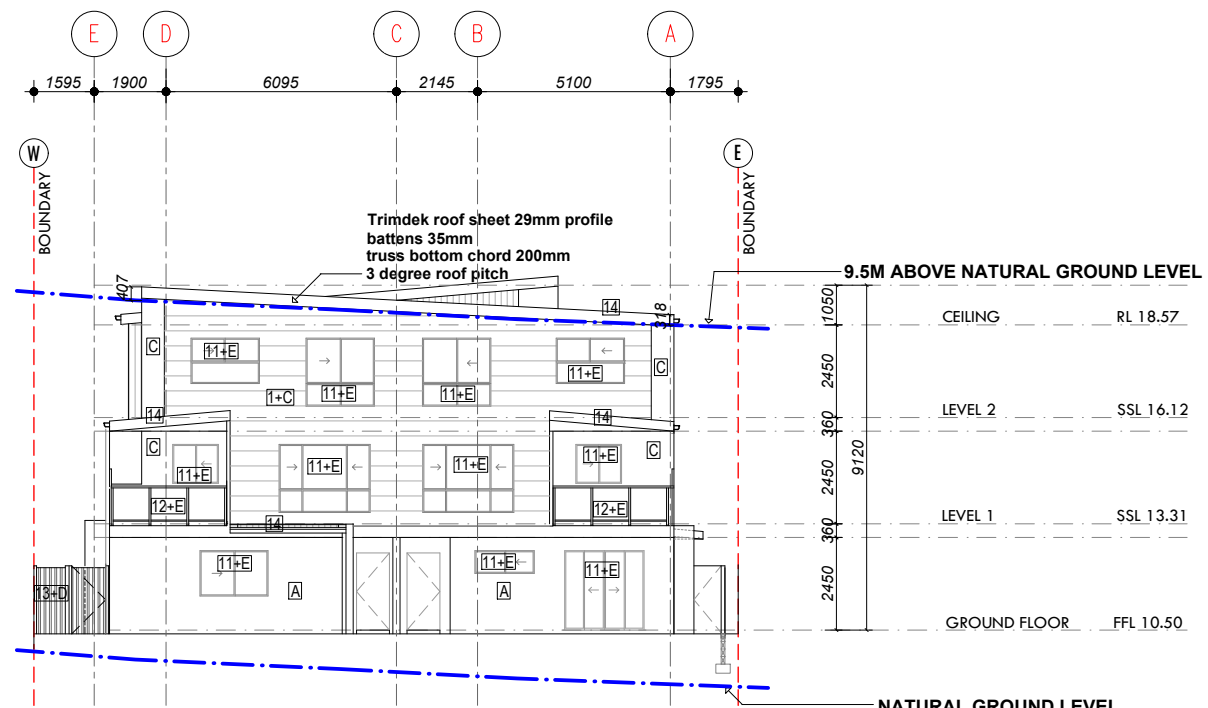
**ELEVATION - EAST ( BUILDING A & B)**

LEGEND	
	BUILDING LINE OVER
	SECTION INDICATION LINE
	GRID SETOUT LINE
	REVISE CLOUD LINE
	LINE OF 9.5M ABOVE NATURAL GROUND LEVEL CORRESPONDING TO RELEVATION ELEVATION / SECTION

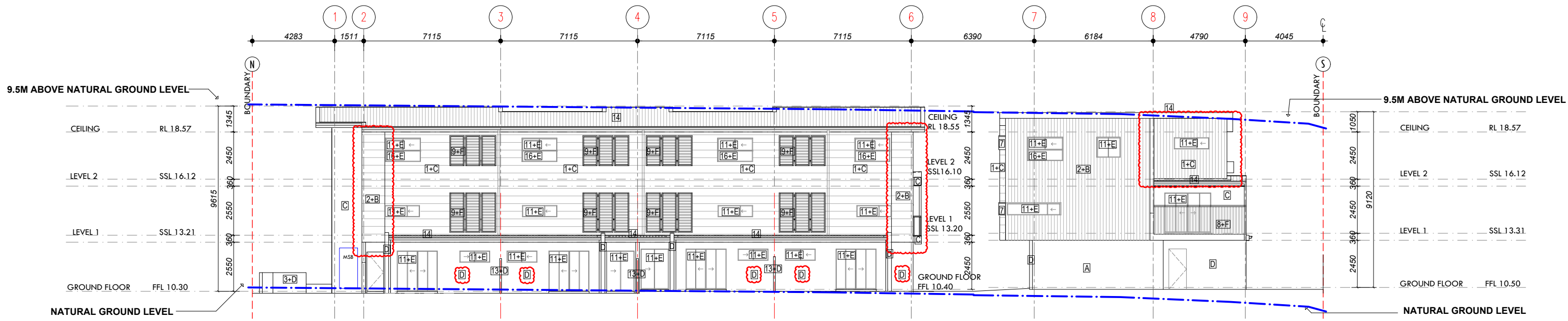
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	A	B	C	D	E	F
Feature Cladding	Feature Cladding	Blockwork	Feature Wall	Entry Door	Garage Door	Vertical Screening	Screen Panel	Ext Louver Window	Ext Window & Door	Balustrade	Privacy Fence	Roofing fascia gutter & flashing	Driveway	Ext Window & Door	Paint Finish	Paint Finish	Paint Finish	Paint Finish	Powdercoated Finish	Powdercoated Finish
James Hardies Scyon Stria Cladding 405mm width	James Hardies Axon cladding 133mm	Rockote Polymer Render & Paint	Natural stone wall cladding	American Oak planked entry door	Alum powdercoated automatic sectional door	powdercoated screen	powdercoated screen	Alum frame powdercoated "Monument" louvre window	Alum frame powdercoated with clear glass glazing	Clear glass balustrade with stand-off ss fixing	Alum powdercoated slat fence	Colorbond "Surfmist"	Broom reinforced concrete slab	Alum frame powdercoated except below 1500mm frosted glazing	Dulux Western Myall	Dulux Bays Water	Dulux Lexicon Half	Dulux Beige Royal Quarter	Dulux Monument	Rich Soil

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**ELEVATION - SOUTH ( BUILDING B )**



**ELEVATION - WEST ( BUILDING A & B )**

LEGEND	
	BUILDING LINE OVER
	SECTION INDICATION LINE
	GRID SETOUT LINE
	REVISE CLOUD LINE
	LINE OF 9.5M ABOVE NATURAL GROUND LEVEL CORRESPONDING TO RELEVATION ELEVATION / SECTION

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	A	B	C	D	E	F
Feature Cladding	Feature Cladding	Blockwork	Feature Wall	Entry Door	Garage Door	Vertical Screening	Screen Panel	Ext Louver Window	Ext Window & Door	Balustrade	Privacy Fence	Roofing fascia gutter & flashing	Driveway	Ext Window & Door	Paint Finish	Paint Finish	Paint Finish	Paint Finish	Powdercoated Finish	Powdercoated Finish
James Hardies Scyon Stria Cladding 405mm width	James Hardies Axon cladding 133mm	Rockote Polymer Render & Paint	Natural stone wall cladding	American Oak planked entry door	Alum powdercoated automatic sectional door	powdercoated screen	powdercoated screen	Alum frame powdercoated "Monument" louvre window	Alum frame powdercoated with clear glass glazing	Clear glass balustrade with stand-off ss fixing	Alum powdercoated slat fence	Colorbond "Surfmist"	Broom reinforced concrete slab	Alum frame powdercoated except below 1500mm frosted glazing	Dulux Western Myall	Dulux Bays Water	Dulux Lexicon Half	Dulux Beige Royal Quarter	Dulux Monument	Rich Soil

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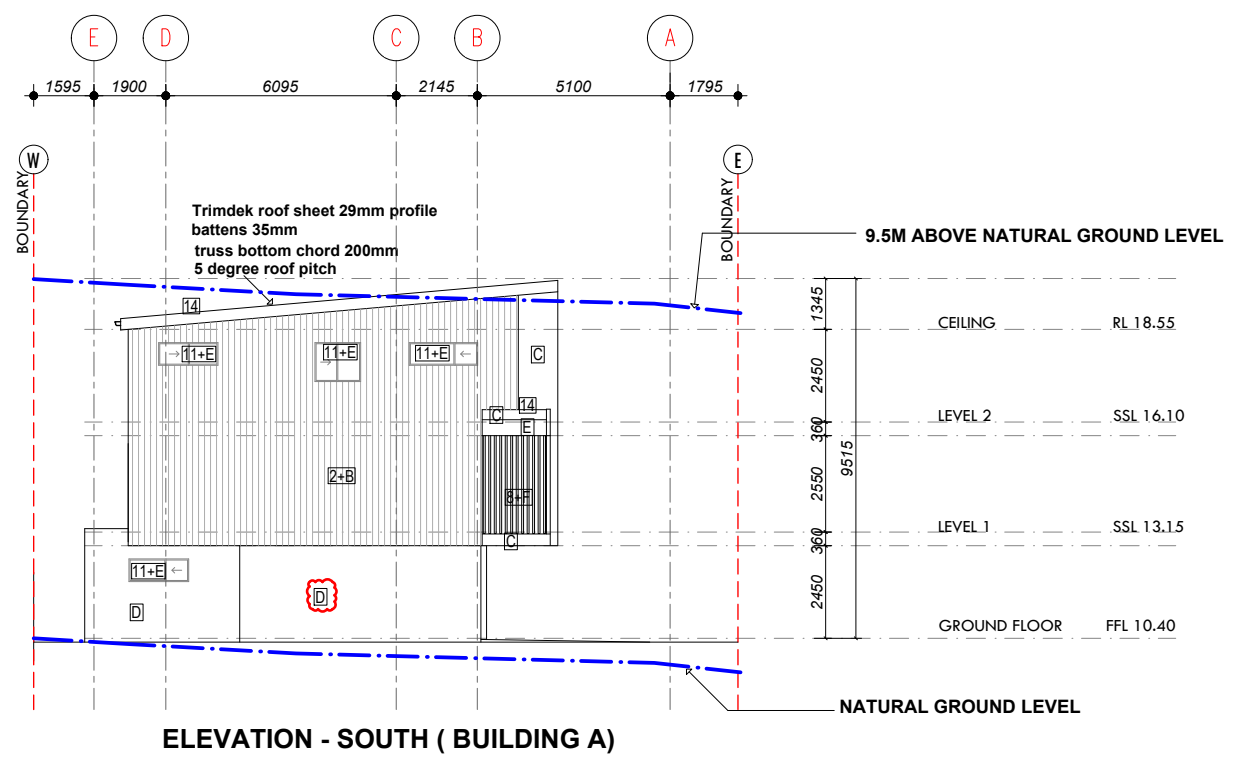
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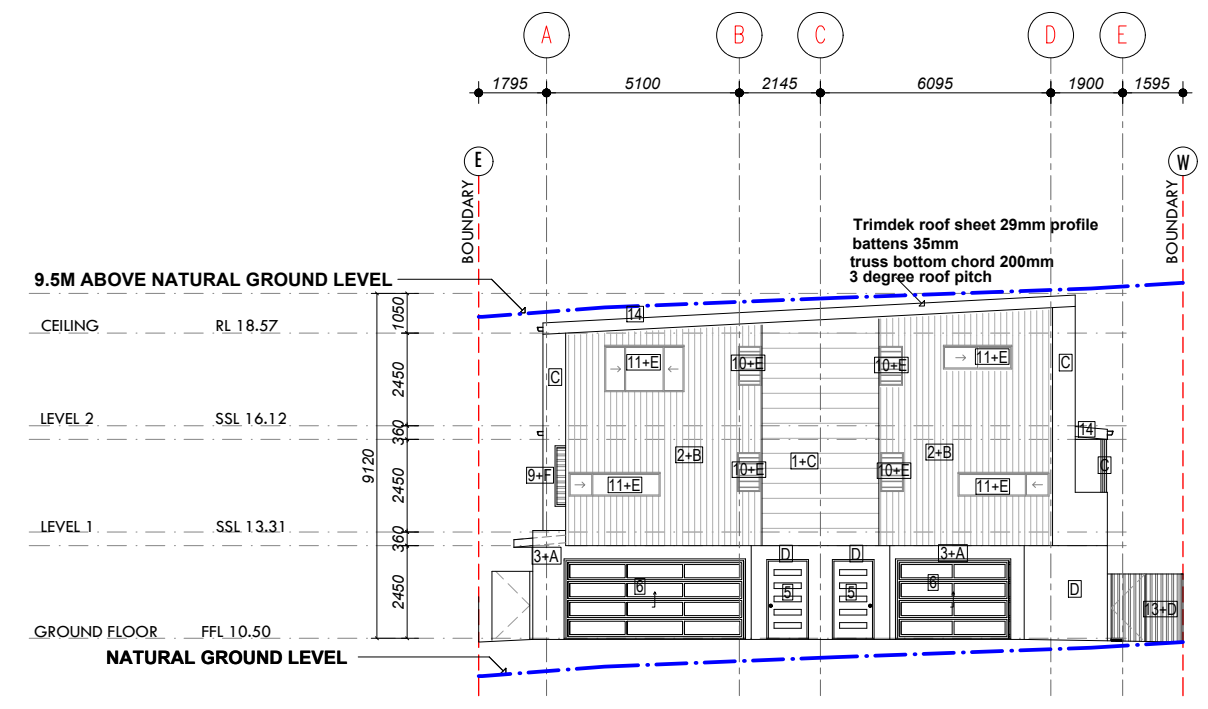
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<b>Location:</b>	685 WYNNUM RD MORNINGSIDE Q 4170	<b>Project No:</b>	AA087
<b>Drawing Title:</b>	ELEVATIONS - SOUTH & WEST	<b>Drawing No:</b>	A-MC-4.01
<b>Design:</b>	MP & DC	<b>Issue:</b>	3
<b>Scale:</b>	1:200 (A3)		

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**ELEVATION - SOUTH ( BUILDING A)**



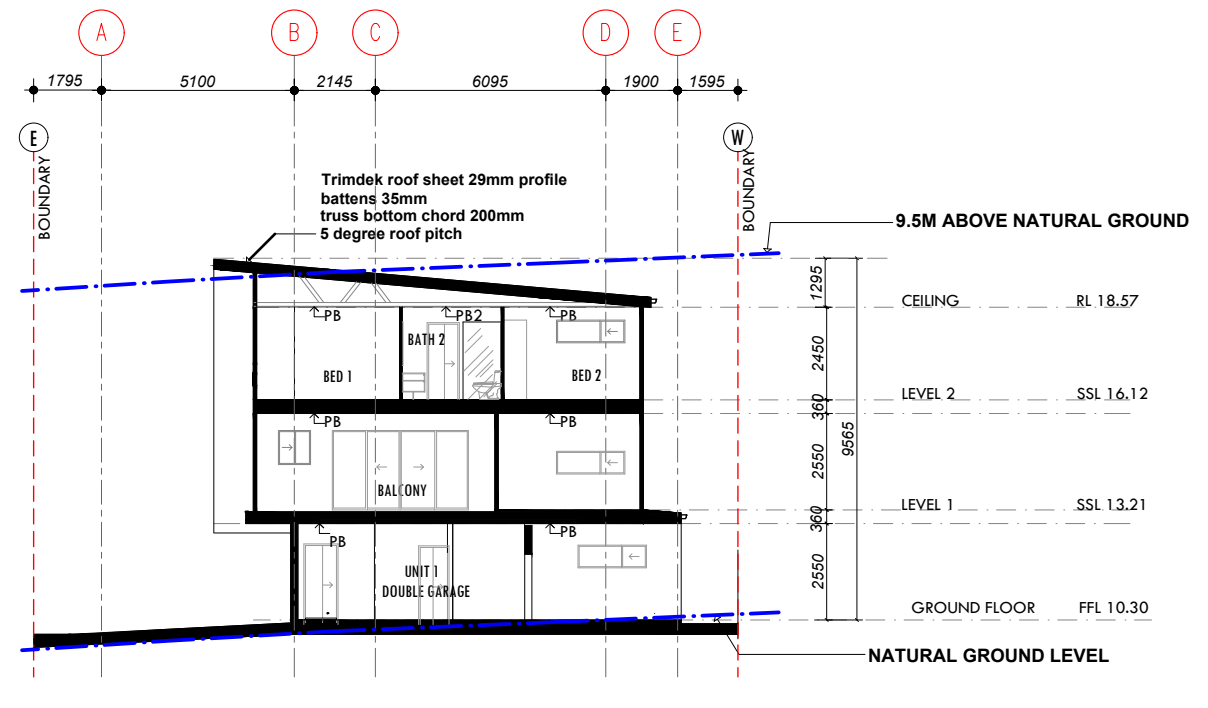
**ELEVATION - NORTH ( BUILDING B)**

LEGEND	
	BUILDING LINE OVER
	SECTION INDICATION LINE
	GRID SETOUT LINE
	REVISE CLOUD LINE
	LINE OF 9.5M ABOVE NATURAL GROUND LEVEL CORRESPONDING TO RELEVATION ELEVATION / SECTION

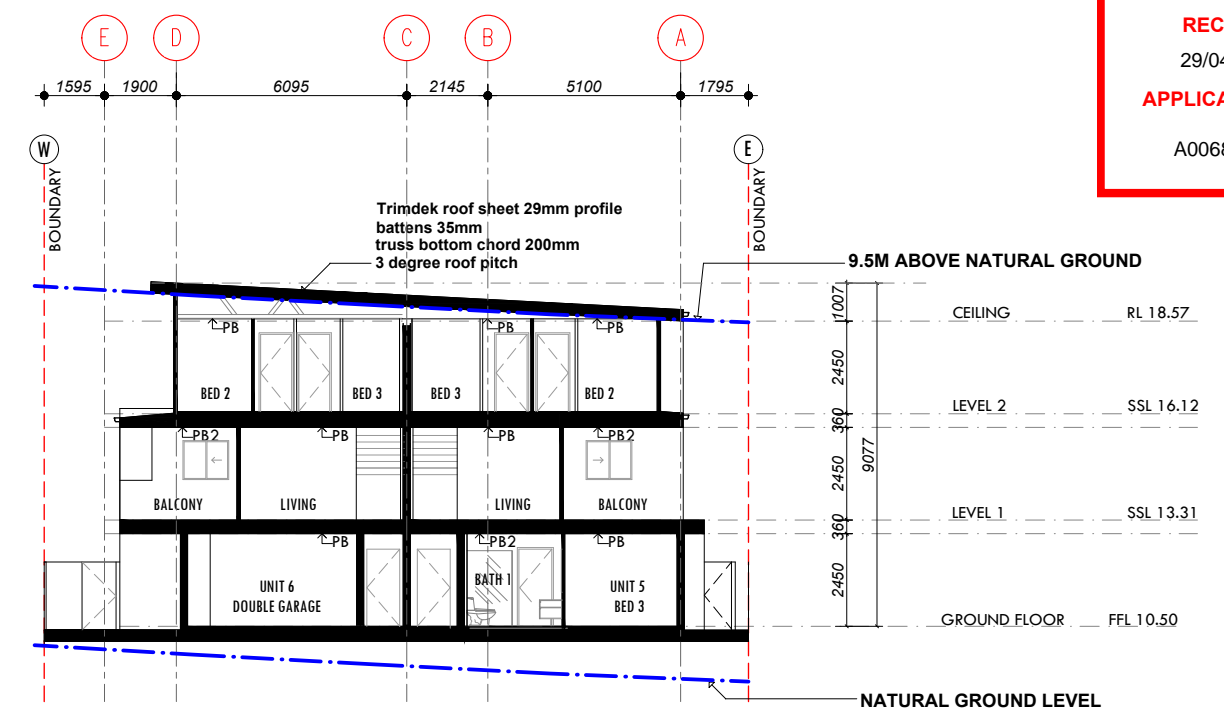
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Feature Cladding	Feature Cladding	Blockwork	Feature Wall	Entry Door	Garage Door	Vertical Screening	Screen Panel	Ext Louver Window	Ext Window & Door	Balustrade	Privacy Fence	Roofing fascia gutter & flashing	Driveway	Ext Window & Door	Paint Finish	Paint Finish	Paint Finish	Paint Finish	Powdercoated Finish	Powdercoated Finish
James Hardies Scyon Stria Cladding 405mm width	James Hardies Axon cladding 133mm	Rockote Polymer Render & Paint	Natural stone wall cladding	American Oak planked entry door	Alum powdercoated automatic sectional door	powdercoated screen	powdercoated screen	Alum frame powdercoated "Monument" louvre window	Alum frame powdercoated with clear glass glazing	Clear glass balustrade with stand-off ss fixing	Alum powdercoated slat fence	Colorbond "Surfmist"	Broom reinforced concrete slab	Alum frame powdercoated except below 1500mm frosted glazing	Dulux Western Myall	Dulux Bays Water	Dulux Lexicon Half	Dulux Beige Royal Quarter	Dulux Monument	Rich Soil

	174A Wecker Rd Mansfield Q 4122 PO Box: 3211 South Brisbane Q 4101 T: +617 3707 3181 M: +61 411 641 643 QBCC License No: 15057948 ABN: 30 089 151 762	Copyright of the design and other information shown here is owned by ©AEC Australia Pty Ltd. Reproduction or use of the design by any party for any purpose is expressly forbidden without the written permission of ©AEC Australia Pty Ltd.	<b>CLIENT:</b> <b>CHF FAMILY INVESTMENT PTY LTD</b>	<table border="1"> <thead> <tr> <th>Rev</th><th>Date</th><th>Revision Details</th></tr> </thead> <tbody> <tr> <td>1</td><td>22/10/2025</td><td>DA Minor Change Application</td></tr> <tr> <td>2</td><td>07/01/2026</td><td>DA Minor Change Application</td></tr> <tr> <td>3</td><td>20/03/2025</td><td>DA Minor Change Application</td></tr> </tbody> </table>	Rev	Date	Revision Details	1	22/10/2025	DA Minor Change Application	2	07/01/2026	DA Minor Change Application	3	20/03/2025	DA Minor Change Application	<table border="1"> <tr> <td><b>Project :</b></td><td>685 MORNINGSIDE VISTA</td><td><b>Drawn:</b></td><td>GF</td></tr> <tr> <td><b>Location:</b></td><td>685 WYNNUM RD MORNINGSIDE Q 4170</td><td><b>Project No:</b></td><td>AA087</td></tr> <tr> <td><b>Drawing Title:</b></td><td>ELEVATIONS SOUTH &amp; NORTH</td><td><b>Drawing No:</b></td><td>A-MC-4.02</td></tr> <tr> <td><b>Design:</b></td><td>MP &amp; DC</td><td><b>Issue:</b></td><td>3</td></tr> <tr> <td><b>Scale:</b></td><td>1:200 (A3)</td><td></td><td></td></tr> </table>	<b>Project :</b>	685 MORNINGSIDE VISTA	<b>Drawn:</b>	GF	<b>Location:</b>	685 WYNNUM RD MORNINGSIDE Q 4170	<b>Project No:</b>	AA087	<b>Drawing Title:</b>	ELEVATIONS SOUTH & NORTH	<b>Drawing No:</b>	A-MC-4.02	<b>Design:</b>	MP & DC	<b>Issue:</b>	3	<b>Scale:</b>	1:200 (A3)		
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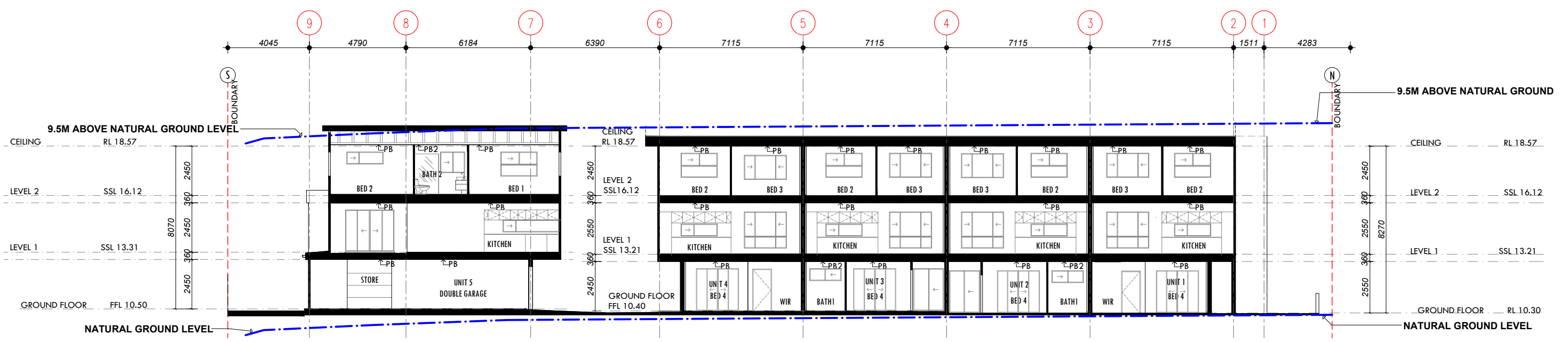
**BCC DS  
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29/04/2026  
**APPLICATION REF**  
A006895033



**SECTION 1 - BUILDING A**



**SECTION 2 - BUILDING B**



**SECTION 3 - BUILDING A & B**

LEGEND	
PB	PLASTERBOARD
PB2	PLASTERBOARD - MOISTURE RESISTANT
--- (dashed blue line)	LINE OF 9.5M ABOVE NATURAL GROUND LEVEL
--- (dashed red line)	GRID SETOUT LINE
--- (wavy red line)	REVISE CLOUD LINE



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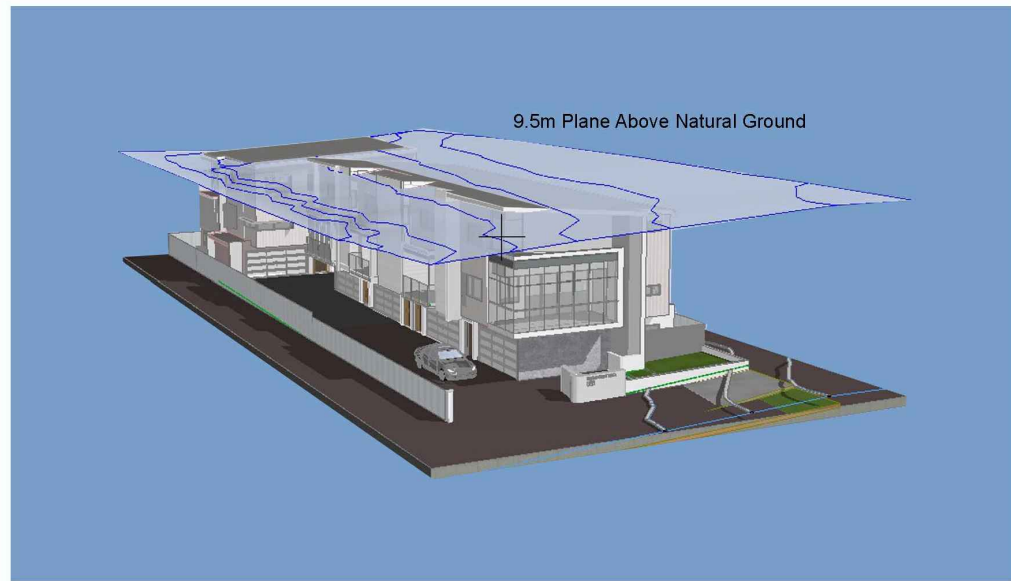
**CLIENT:**  
CHF FAMILY INVESTMENT PTY LTD

Rev	Date	Revision Details
1	22/10/2025	DA Minor Change Application

<b>Project :</b>	MORNINGSIDE VISTA
<b>Location:</b>	685 WYNNUM RD MORNINGSIDE 4170
<b>Drawing Title:</b>	CROSS SECTIONS
<b>Design:</b>	MP & DC
<b>Scale:</b>	1:200 (A3)

<b>Drawn:</b>	GF
<b>Project No:</b>	AA087
<b>Drawing No:</b>	A-MC-4.03
<b>Issue:</b>	1

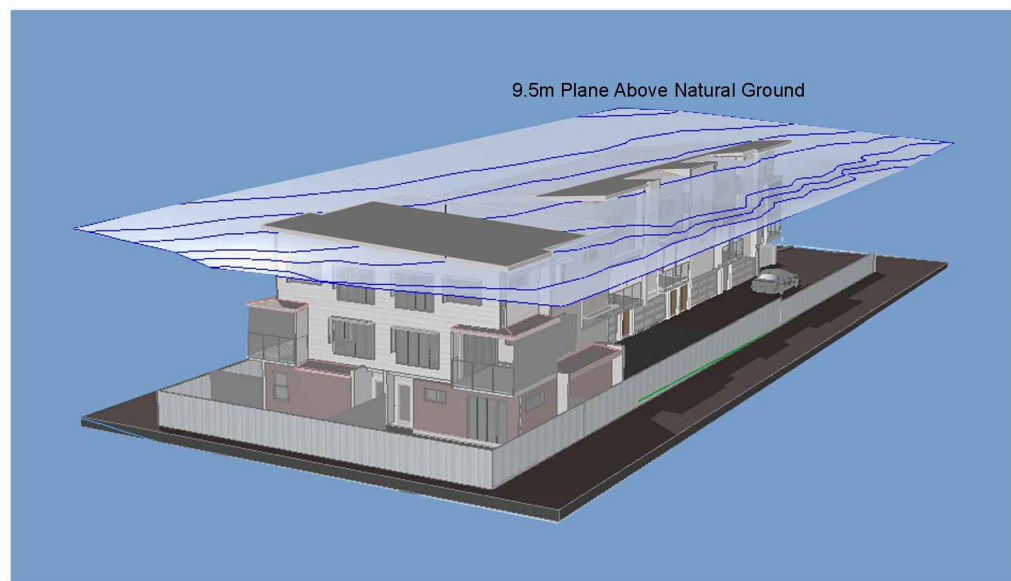
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**APPLICATION REF**  
 A006895033



NORTH EAST ORTHOGRAPHIC HEIGHT



NORTH WEST ORTHOGRAPHIC HEIGHT



SOUTH EAST ORTHOGRAPHIC HEIGHT



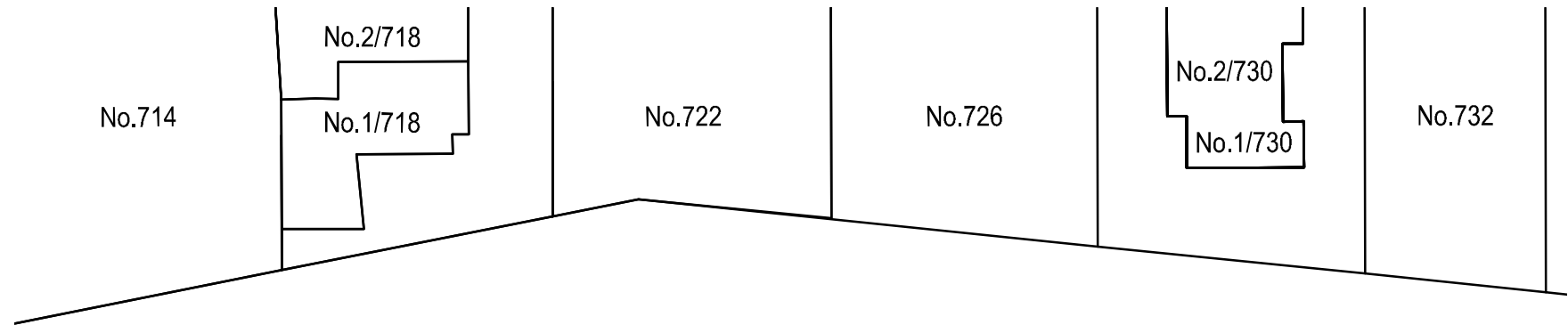
SOUTH WEST ORTHOGRAPHIC HEIGHT

Rev	Date	Revision Details
1	22/01/2025	DA Minor Change Application

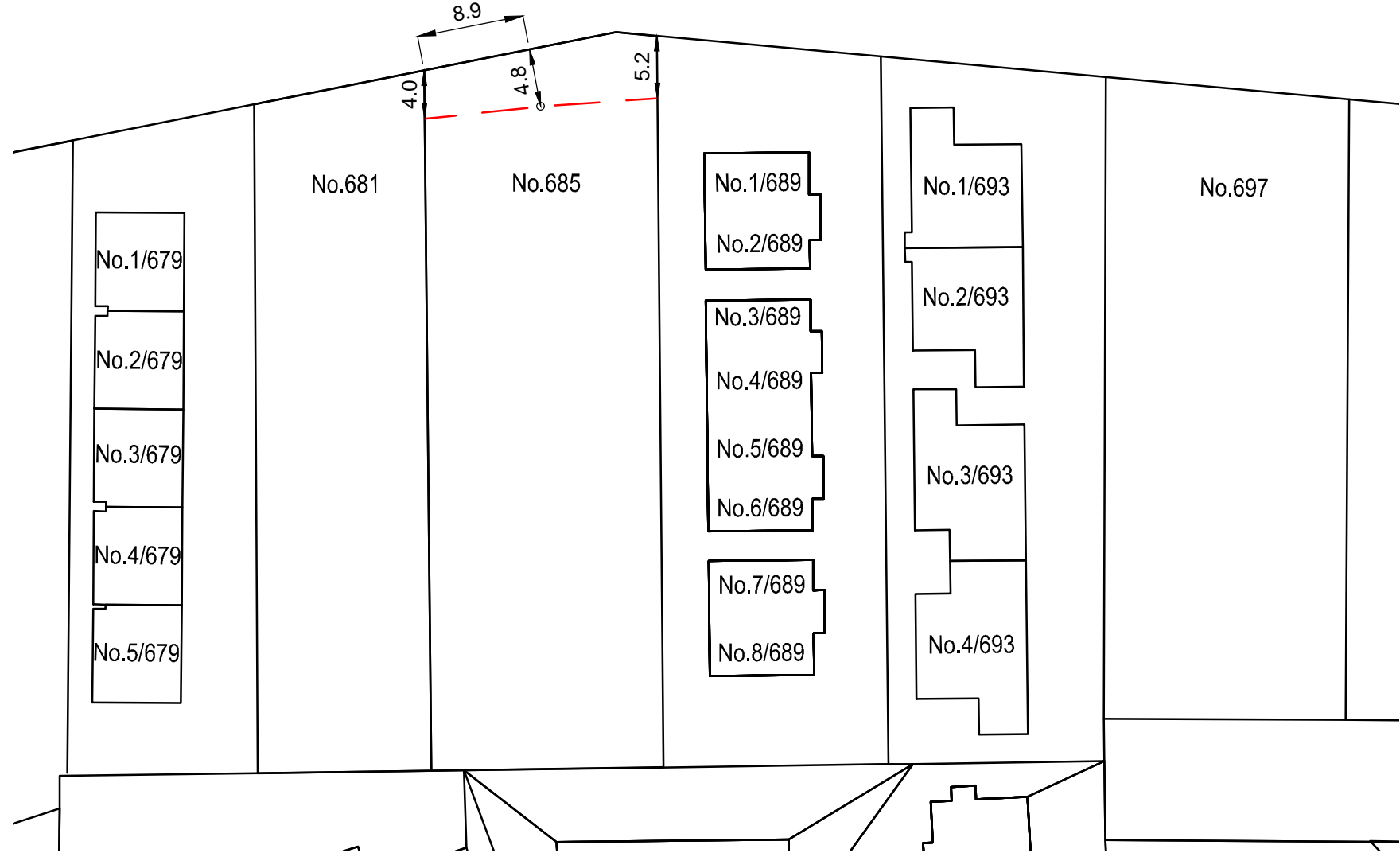
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<b>Location:</b>	685 WYNNUM RD MORNINGSIDE Q 4170
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<b>Design:</b>	MP & DC
<b>Scale:</b>	NTS

<b>Drawn:</b>	GF
<b>Project No:</b>	AA087
<b>Drawing No:</b>	A-MC-4.04
<b>Issue:</b>	1

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**APPLICATION REF**  
 A006895033



WYNNUM ROAD



**GENERAL NOTES**

- G1 THE PROPOSED PROPERTY BOUNDARY SHOWN IS TYPICALLY FOR EDGE OF VERGE. IN SOME CASES, ADDITIONAL WIDENING MAY BE REQUIRED IF BATTERS NEED TO BE ACCOMMODATED IN ROAD RESERVE.
- G2 THE CITY PLAN STREETSCAPE HIERARCHY OVERLAY MAY REQUIRE VERGES TO BE WIDER THAN THOSE PROVIDED FOR IN THIS DRAWING.

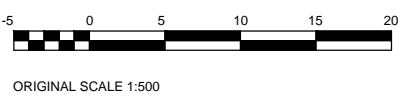
**LEGEND**

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY REQUIREMENT

Dec 22, 2022 - 1:31pm G:\IT\PS\188 TRAFF\_ TRANS\590 Planning\0\Road Corridor Preservation\Projects\RC16004 - Wynnum Road\Design\TPS - Design - Wynnum Road.dwg

**Transport Planning & Operations**  
 Brisbane City Council  
 MAILING ADDRESS:  
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 Brisbane Qld 4001  
 Brisbane Square  
 286 George Street  
 Brisbane, Q 4000  
 Telephone: 07-3403 8888

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 Based on Data provided with permission of the Department of Environment and Resource Management (DERM): Cadastral Data".



**EXISTING CADASTRE AND ROAD RESERVE INFORMATION:**  
 GIS DATA / SURVEY / FIELD MEASUREMENT / AERIAL PHOTOGRAPHY / DEPARTMENT OF NATURAL RESOURCES AND MINES

**ROAD CORRIDOR**  
 WYNNUM - LYTTON - BALMORAL  
**SUBURB(S)**  
 WYNNUM / WYNNUM WEST / TINGALPA / MURARRIE / CANNON HILL / MORNINGSIDE / HAWTHORNE / NORMAN PARK / EAST BRISBANE

**TITLE**  
 ROAD WIDENING PLAN  
 685 WYNNUM ROAD

<b>ROAD WIDENING PLAN AUTHORISED FOR ISSUE</b> F.D. DATE: 22.12.22	<b>ORIG. SIZE</b> A3
<b>ROAD PLANNING NOTE REFERENCE</b> RPN 858, 659, 719, 921, 939, 988, 6107, 6137, 6185, 6424, 6565, 6705	<b>SCALE</b> 1:500
<b>BRAMS CODE</b> RM060, QK590, XQ987, VN980, WP890, TO900, SM965, TM995, RK994	<b>SHEET NO.</b> 1 OF 1
<b>CONCEPT DESIGN NUMBER</b> RC16004	<b>ISSUE</b> 1